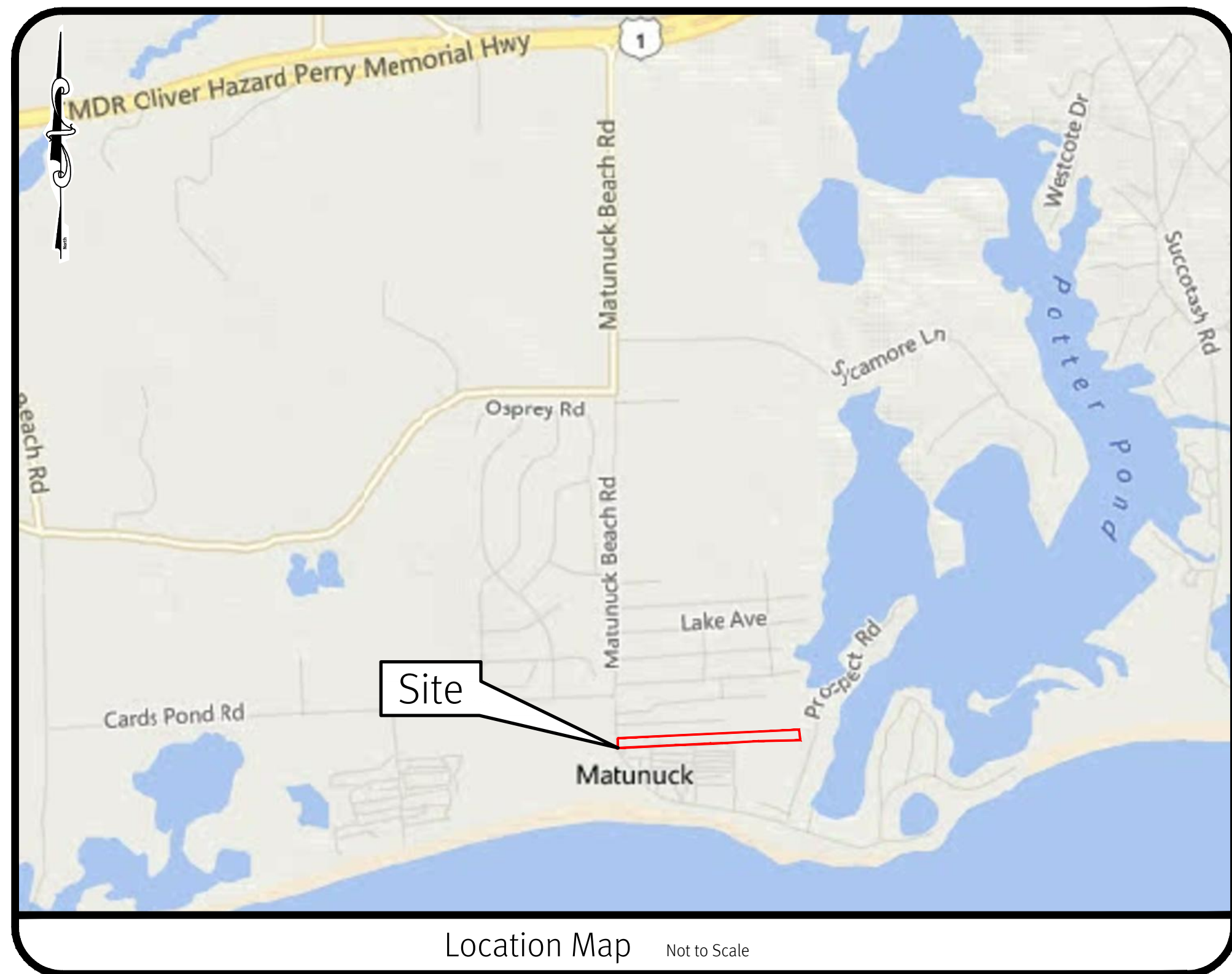


Permitting Submission

Matunuck Beach Condos

Matunuck Beach Road
 South Kingstown, Rhode Island
 Assessor's Plat 92-2 Lot 56



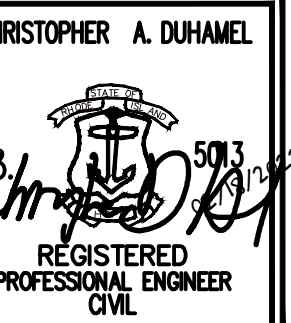
Sheet List Table

- 1 Cover Sheet
- 2 Aerial Half Mile Radius
- 3 General Notes & Legend
- 4 Existing Conditions Plan
- 5 Soil Erosion & Sediment Control Plan
- 6 Site Layout Plan
- 7 Grading Plan
- 8 Drainage and Utilities
- 9 Plan & Profile
- 10 Stormtech & UIS Detail Sheet
- 11 Detail Sheet - 1
- 12 Detail Sheet - 2
- 13 Detail Sheet - 3
- 14 Detail Sheet - 4
- L1-L3 Landscape Architect Plan (Prepared by others)

Applicable State Permits:

1. RIDEM QWTS APPLICATION #2032-1432, 2132-0908, 2132-0909, 2132-0910, 2132-0911, 2132-0912.
2. CRMC ASSENT - TO BE SUBMITTED
3. HISTORICAL PRESERVATION & HERITAGE COMMISSION CRMC FILE NO. 2019-03-087 (DATED: APRIL 15, 2019)
4. CRMC PRELIMINARY DETERMINATION FILE NO. 2019-03-087 (DATE: MARCH 25, 2019)

DiPrete Engineering
 Two Stafford Court Cranston, RI 02920
 tel 401-943-1000 fax 401-464-6006 www.diprete-eng.com



This plan set must not be used for construction purposes unless stamped, issued for construction, and stamped by a registered professional engineer of DiPrete Engineering.
 DiPrete Engineering does not warrant plans by any other party.
 The contractor is responsible for all of the means, methods, safety and construction of the project and shall conform to the implementation of this plan and design.
 Engineer assumes no responsibility for damages incurred due to locations of existing utilities. See Utility Note on Sheet 3.

No.	Date	Description	By	Design By
7	02-17-2022	Response to RIC Comments	S.P.B.	N.D.K.
6	12-02-2021	Response to RIC Comments	S.P.B.	N.D.K.
5	10-06-2021	CRMC Assent Application Submission	S.P.B.	N.D.K.
4	09-29-2021	Work Submission	A.C.	N.D.K.
3	08-11-2021	Preliminary Plan Submission	S.P.B.	N.D.K.
2	07-20-2021	REDEM Submission	S.P.B.	N.D.K.
1				

Cover Sheet
Matunuck Beach Condos
 Assessor's Plat 92-2 Lot 56
 South Kingstown, Rhode Island
Client Owner
Matunuck Beach Road Partners, LLC
 P.O. Box 385
 Wakefield, RI 02880

z:\demain\projects\2389-002\matunuck_beach_condos\autocad drawings\2389-002_cvr.dwg Plotter: 2/18/2022

Z:\Main\Projects\2389-002\matunuck_beach\condos\autoCAD drawings\2389-002_cvr.dwg Plotted: 2/18/2022

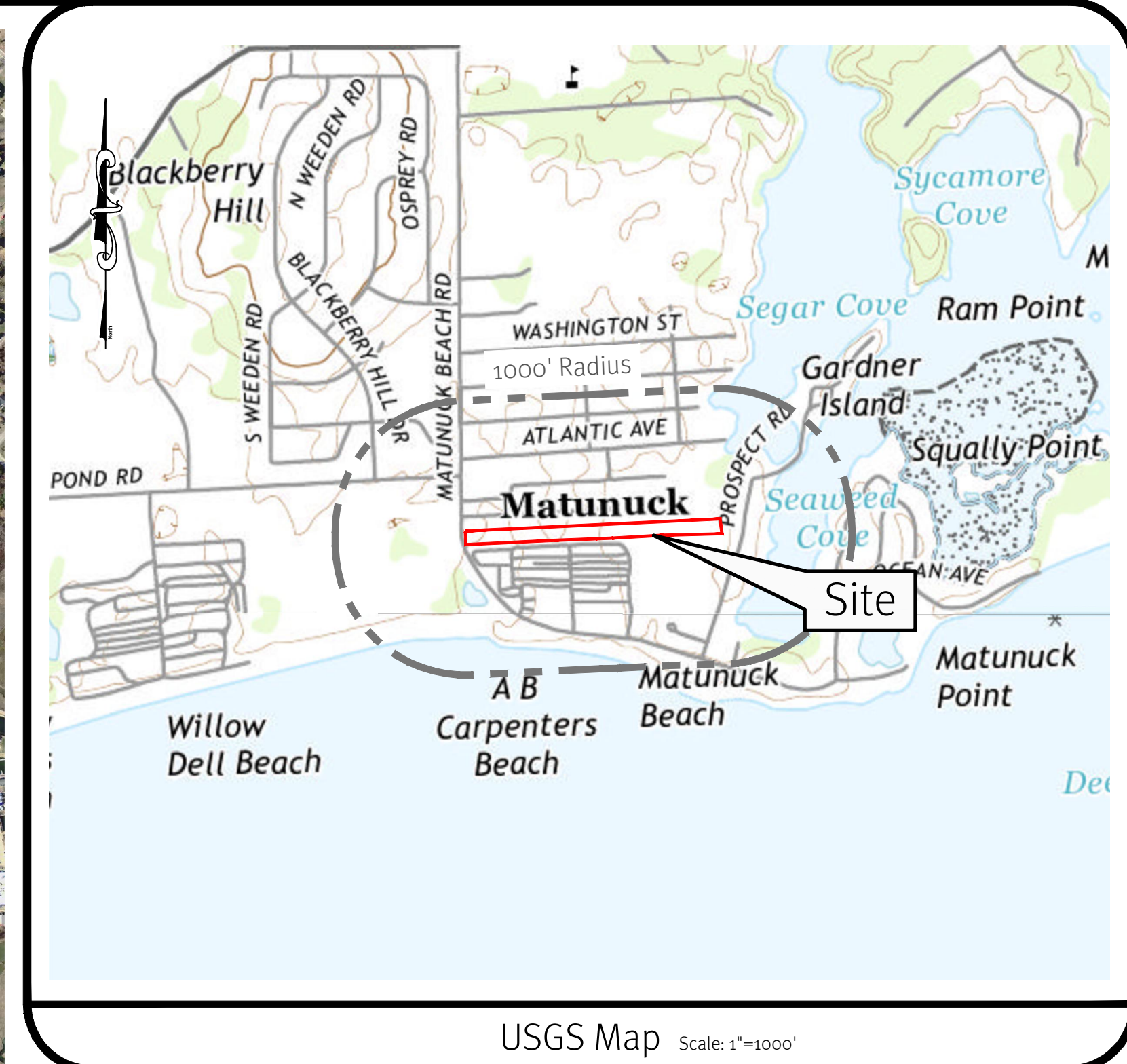
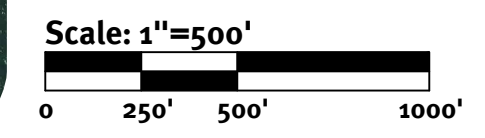


Image obtained from RIGIS 2014 Aerial Photography.



DiPrete Engineering
 Two Stafford Court Cranston, RI 02920
 tel 401-943-1000 fax 401-664-6006 www.diprete-eng.com

CHRISTOPHER A. DUHAMEL
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

This plan set must not be used for construction purposes unless stamped, issued for construction, and stamped by a registered professional engineer of DiPrete Engineering.

The contractor is responsible for all of the means, methods, safety and implementation of this plan and design.

Engineer attests that on this plan are approximate only. DiPrete Engineering assumes no responsibility for damages incurred due to locations of existing utilities. See Utility Note on Sheet 3.

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0	07-20-2021			

Drawn By: N.D.K. Design By: N.D.K.

Aerial Half Mile Radius
Matunuck Beach Condos
 Assessors: BRG 02-188-66
 South Kingstown, Rhode Island
Client Owner
Matunuck Beach Road Partners, LLC
 P.O. Box 385
 Wakefield, RI 02880

z:\deman\projects\2389-002\matunuck_beach\condos\plan\condos\drawings\2389-002-01-exco.dwg Plotdate: 7/16/2022

List of Possible Encroachments:

- BUILDING 3.3' OVER PROPERTY LINE
- SHED 0.2' OVER PROPERTY LINE
- SIDEWALK 4.4' OVER PROPERTY LINE
- WOOD STAIRS 1.9' OVER PROPERTY LINE
- MAINTAINED LAWN AREA
- MAINTAINED LAWN AREA
- ARCHWAY 1.0' OVER PROPERTY LINE

Legend
NOT ALL ITEMS SHOWN WILL APPEAR ON THE SURVEY

BUILDING	ASSASSOR'S PLAT	NAIL FOUND/SET
AP	NOW OR FORMERLY	DRILL HOLE FOUND/SET
N/F	DEED	IRON ROD/PIPE FOUND/SET
(D)	MEASURED	BOUND FOUND/SET
(M)	CHORD ANGLE	SIGN
(CA)	HANDICAPPED	BOLLARD
PROPERTY LINE	ASSESSOR'S LINE	SOIL EVALUATION
TREETLINE	TREETLINE	CATCH BASIN
GUARDRAIL	GUARDRAIL	DOUBLE CATCH BASIN
FENCE	FENCE	DRAINAGE MANHOLE
RETAINING WALL	RETAINING WALL	FLARED END SECTION
STONE WALL	STONE WALL	GUY POLE
MINOR CONTOUR LINE	MINOR CONTOUR LINE	ELECTRIC MANHOLE/HANDHOLE
MAJOR CONTOUR LINE	MAJOR CONTOUR LINE	UTILITY/POWER POLE
WATER LINE	WATER LINE	LIGHTPOST
SEWER LINE	SEWER LINE	SEWER/SEPTIC MANHOLE
SEWER FORCE MAIN	SEWER FORCE MAIN	SEWER VALVE
GAS LINE	GAS LINE	CLEANOUT
ELECTRIC LINE	ELECTRIC LINE	HYDRANT
OVERHEAD WIRES	OVERHEAD WIRES	IRRIGATION VALVE
DRAINAGE LINE	DRAINAGE LINE	WATER VALVE
		WELL
		MONITORING WELL
		UNKNOWN MANHOLE
		GAS VALVE
		WETLAND FLAG
		BENCH MARK
		SHRUB
		TREE



Locus Map Not To Scale

General Notes:

- THE PARCEL IS FOUND ON ASSESSOR'S PLAT 92-2, LOT 56 IN THE TOWN OF SOUTH KINGSTOWN, WASHINGTON COUNTY, RHODE ISLAND.
- THE OWNER PER DEED BOOK 1060, PAGE 711 IS EILEEN R. BIANCUZZO.
- BASED ON GRAPHICAL PLOTTING ONLY, THE PARCEL IS LOCATED IN ZONE AE (ELEV.=13'), ZONE X, AND ZONE VE (ELEV.=16') PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP 4409C0193J, DATED OCTOBER 16, 2013. THIS DESIGNATION MAY CHANGE BASED UPON REVIEW BY A FLOOD ZONE SPECIALIST OR BY THE RESULTS OF A COMPREHENSIVE FLOOD STUDY.
- THE PARCEL IS ZONED R20 AND CN BASED ON THE TOWN OF SOUTH KINGSTOWN GIS. ANY OVERLAY DISTRICTS, SPECIAL PERMITS OR VARIANCES SPECIFIC TO THIS SITE ARE NOT TAKEN INTO CONSIDERATION. PLEASE CONTACT THE ZONING DEPARTMENT FOR ANY ADDITIONAL INFORMATION OR FOR A CERTIFICATE OF ZONING.
- THERE WERE NO CEMETERIES, GRAVE SITES AND OR BURIAL GROUNDS OBSERVED WITHIN THE LIMITS OF THE SURVEY.
- FIELD SURVEY PERFORMED BY DIPRETE ENGINEERING ON OCTOBER 7, 2019 AND FEBRUARY 10, 2022. THIS PLAN REFLECTS ON THE GROUND CONDITIONS AS OF THAT DATE.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. DIPRETE ENGINEERING IS NOT RESPONSIBLE FOR ANY UNKNOWN OR UNRECORDED EASEMENTS, DEEDS OR CLAIMS THAT A TITLE REPORT WOULD DISCLOSE.
- CONTOUR DATA SHOWN ON THIS PLAN CONFORMS TO A T-4 TOPOGRAPHICAL SURVEY STANDARD AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS; SAID DATA IS BASED ON ELEVATION INFORMATION THAT WAS COLLECTED WITH AIRBORNE LIDAR TECHNOLOGY FOR THE ENTIRE AREA OF RHODE ISLAND BETWEEN APRIL 22 AND MAY 6, 2011 AS PART OF THE NORTHEAST LIDAR PROJECT. THIS DATA'S POSITIONAL ACCURACY AND RELIABILITY HAS NOT BEEN VERIFIED BY DIPRETE ENGINEERING AND IS SUBJECT TO CHANGES AN AUTHORITY FIELD SURVEY MAY DISCLOSE.

Plan References:

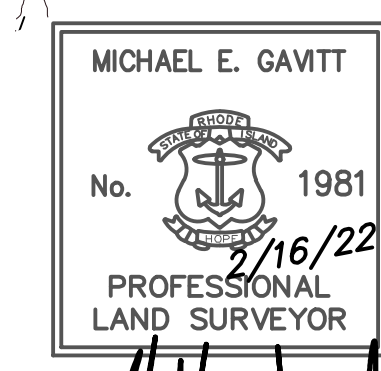
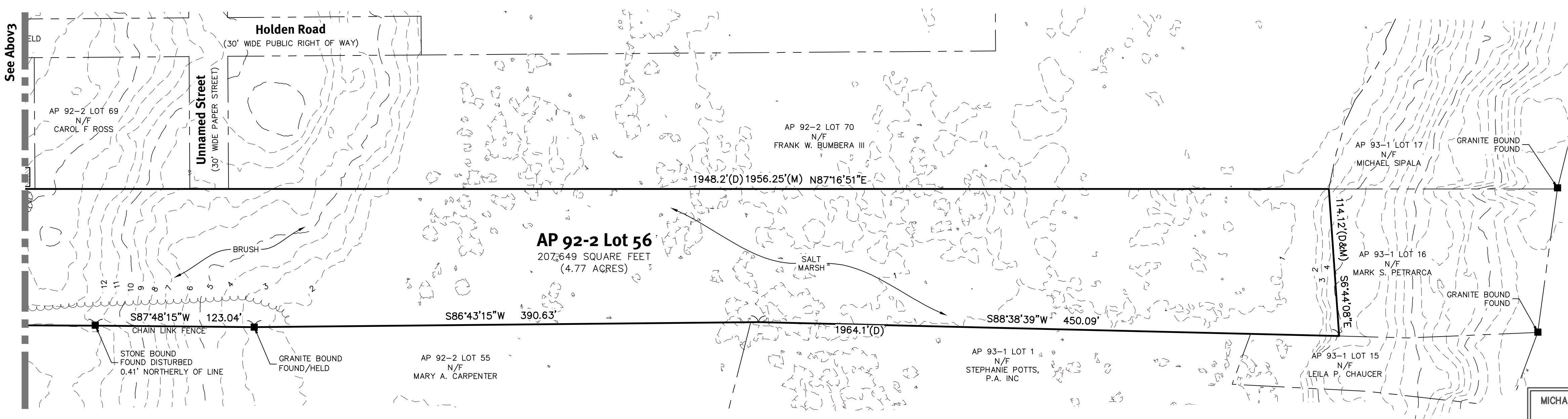
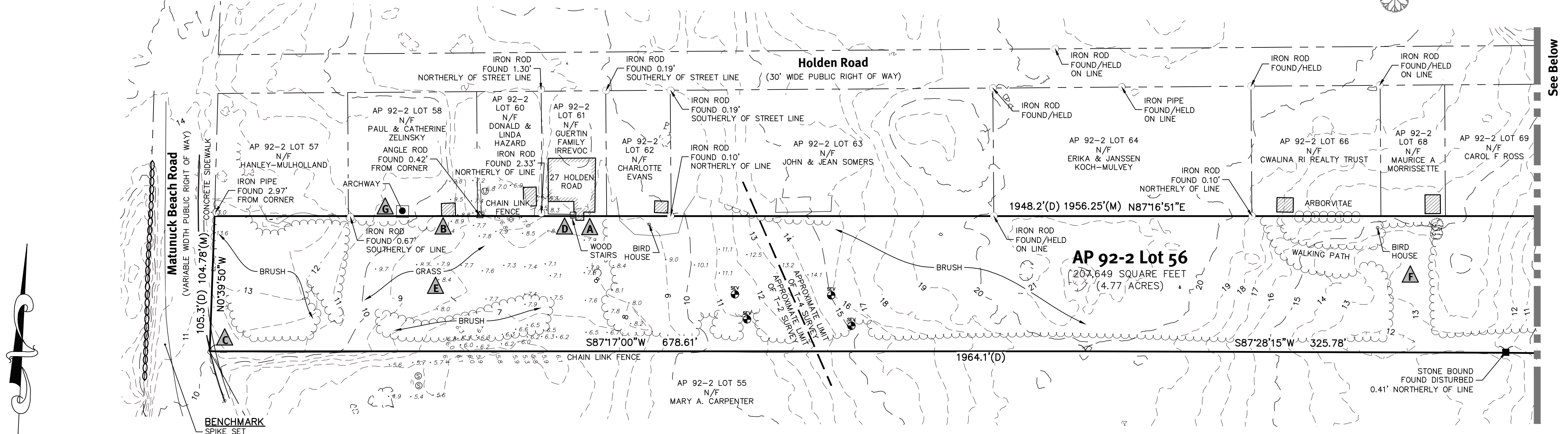
- PLAN OF LAND AT MATUNUCK IN THE TOWN OF SOUTH KINGSTOWN, R.I. CONVEYED BY S. LEROY CARPENTER TO JOHN W. MILLER AND ELLIE C. MILLER. SCALE 1"=40'. DATED MAY, 1934. PLAN BY LEON L. HOLLAND, CIVIL ENGINEER. RECORDED IN DEED BOOK 48, PAGE 568-569.
- MAP OF TUCKER ROAD SUBDIVISION OF PALMER ESTATE TOWN OF SOUTH KINGSTOWN, R.I. HENRY A. HOLDEN, OWNER. SCALE 1"=60'. DATED SEPTEMBER, 1925. PLAN BY EARL WHALEY AND LATHROP HOLDEN. RECORDED IN BOOK 47, PAGE 230-231.
- ADMINISTRATIVE SUBDIVISION PLAN SHOWING A REDIVISION OF CERTAIN LAND OF: MARY A. CARPENTER MAP NO. 92-2 LOTS 52, 53 & MAP NO. 93-1 LOT 1 AND DAVID VAN PELT YALE MAP NO. 93-1 LOT NO. 12 ON MATUNUCK BEACH ROAD AND PROSPECT STREET ROAD IN THE TOWN OF SOUTH KINGSTOWN, R.I. SCALE 1"=50'. DATED OCTOBER, 2000. PLAN BY LLOYD L. WHALEY. RECORDED ON CARD C2000-55.
- PLAT OF CAMPGROUND AT MATUNUCK BEACH PROPERTY OF THE ESTATE OF ARTHUR B. CARPENTER SURVEYED AND PLATTED. SCALE 1"=80'. DATED 1949-1950. PLAN BY LEON L. HOLLAND, CIVIL ENGINEER. RECORDED IN BOOK 12 PAGE 699.
- DIANA TUTALO ET AL 106 SYCAMORE LANE, WAKEFIELD, RI 02879 SUBDIVISION A.P. 92-2 LOT 71 SOUTH KINGSTOWN, RHODE ISLAND. SCALE 1"=40'. DATED JUNE 28, 1994. PLAN BY RAYMOND W. SCHWAB ASSOCIATES, INC. RECORDED IN BOOK PL. 24, PAGE 55.

Datum Note:

- ELEVATIONS SHOWN HEREON, IN U.S. SURVEY FEET, ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), AS DETERMINED BY DIPRETE ENGINEERING USING REAL TIME KINEMATIC G.P.S. OBSERVATIONS.

**This Plan Should Be Indexed
By The Following Streets:**

- Matunuck Beach Road

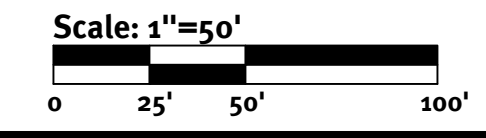


Certification:

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

TYPE OF SURVEY	MEASUREMENT SPECIFICATION
COMPREHENSIVE BOUNDARY SURVEY	CLASS 1
DATA ACCUMULATION SURVEY (LIMITED)	CLASS T-2
DATA ACCUMULATION SURVEY (LIMITED)	CLASS T-4

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:
PERIMETER RETRACEMENT PERFORMED BY DIPRETE ENGINEERING FOR THE PURPOSE OF SITE ENGINEERING AND PERMITTING.



Diprete Engineering
Two Stafford Court Cranston, RI 02920
tel 401-943-1000 fax 401-644-6006 www.diprete-eng.com

Boston • Providence • Newport

**Boundary and Topographic Survey
Matunuck Beach Condos**
South Kingstown, Rhode Island

Client
Stephen DeSimone
PO Box 5674, Wakefield, Rhode Island 02880

DE JOB NO: 2389-002-A01 Copyright 2022 by Diprete Engineering Associates, Inc.

Rev.	Date	Description	By:
1	7/16/22	Boundary and Topographic Survey	A.L.F.
2	8/23/19	Boundary and Topographic Survey	A.L.F.

Drawn By: A.L.F.

**Boundary and Topographic Survey
Matunuck Beach Condos**
South Kingstown, Rhode Island

Client
Stephen DeSimone
PO Box 5674, Wakefield, Rhode Island 02880

DE JOB NO: 2389-002-A01 Copyright 2022 by Diprete Engineering Associates, Inc.

Michael E. Gavitt
No. 1981
7/16/22
PROFESSIONAL
LAND SURVEYOR

Certification:

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

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Scale: 1"=50'

0 25' 50' 100'

SHEET 1 OF 1

Soil Erosion Control Legend:

- TEMPORARY SEDIMENT TRAP
- EROSION CONTROL (COMPOST SOCK, SILT FENCE (RI STD 9.2.0) OR APPROVED EQUAL)
- CLASS C SILT FENCE
- LIMIT OF DISTURBANCE (NO SEDIMENT CONTROL)
- LIMIT OF DISTURBANCE (WITH SEDIMENT CONTROL)
- TRIBUTARY AREA TO SESC BMP
- TEMPORARY DIVERSION BERM
- CONSTRUCTION ENTRANCE (RIDOT STD 9.9.0)
- INFILTRATING AREA (TO BE PROTECTED BY COMPOST SOCK OR SILT FENCE)
- FINAL CONTOUR GRADE
- INLET SEDIMENT CONTROL

Soil Erosion Control Implementation Phasing

- Phase IA** - INSTALL EROSION CONTROL SILT FENCE & STONE CONSTRUCTION ENTRANCE.
- Phase IB** - INSTALL TEMPORARY SEDIMENTATION TRAP, CONSTRUCT CLEAN WATER DIVERSIONS
- Phase IIA** - CLEAR AND GRUB IMPERVIOUS AREAS, CONSTRUCT PROPOSED BUILDING & INSTALL UTILITIES WITH ROADWAYS, INSTALL DRAINAGE NETWORK WORKING FROM THE DOWN GRADIENT BASINS UP TO THE START OF NETWORK, INSTALL ASPHALT PAVING.
- Phase IIB** - STABILIZE ALL DISTURBED AREAS, DE-CONSTRUCT DIVERSIONS AND TEMPORARY SEDIMENTATION TRAPS.

GENERAL NOTES:

1. THE TEMPORARY SEDIMENT TRAPS MUST MEET ALL REQUIREMENTS FOR TEMPORARY SEDIMENT TRAPS OUTLINED IN THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK (LATEST REVISION) SECTION SIX: SEDIMENT CONTROL MEASURES
2. THE TEMPORARY SEDIMENT TRAP MUST PROVIDE A STORAGE VOLUME FOR ONE INCH OF RUNOFF FROM THE CONTRIBUTING AREA. HALF OF THE STORAGE MUST BE PROVIDED IN THE FORM OF WET STORAGE. SEE DETAIL BELOW SECTION 6 OF THE RISESCH.
3. ALL CUT AND FILL SLOPES MUST BE 2:1 OR FLATTER EXCEPT FOR THE EXCAVATED WET STORAGE AREA WHERE SLOPES MUST NOT EXCEED 1.5:1.
4. THE OUTLET MUST BE LOCATED AT THE MOST DISTANT HYDRAULIC POINT FROM THE INLET.
5. THE OUTLET CONSISTS OF A PERVIOUS STONE DIKE WITH A CORE OF MODIFIED RIPRAP AND FACED ON THE UPSTREAM SIDE WITH STONE.
6. TEMPORARY SEDIMENT TRAPS MUST OUTLET ONTO STABILIZED GROUND.
7. MAXIMUM HEIGHT OF A TEMPORARY SEDIMENT TRAP EMBANKMENT IS LIMITED TO 5 FEET (BOTTOM OF DRY STORAGE TO TOP OF EMBANKMENT). TOTAL EMBANKMENT HEIGHT MUST NOT EXCEED 6 FEET (BOTTOM OF WET STORAGE TO TOP OF EMBANKMENT).
8. SIDE SLOPES OF THE EMBANKMENT MUST BE 2:1 OR FLATTER.
9. MODIFIED RIPRAP: SHALL MEET THE REQUIREMENTS OF RIDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SUBSECTION M.10.03.2.
10. FILTER STONE: SHALL MEET THE REQUIREMENTS OF RIDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SUBSECTION M.01.03 TABLE I, COLUMN V FILTER STONE.
11. THE SITE IS WITHIN A:
 - SALT PONDS SPECIAL AREA MANAGEMENT PLAN (CRMC)
 - STATEWIDE IMPORTANCE FARMLAND SOILS
 - NARROW RIVER LAND TRUST (TOWN)
 - COASTAL RESILIENCY OVERLAY DISTRICT (TOWN)
 - SPECIAL FLOOD HAZARD AREA OVERLAY DISTRICT (TOWN)
 - OWTS CRITICAL RESOURCE AREA
12. THE SITE IS NOT WITHIN A:
 - LISTED ON THE NATIONAL REGISTER OF HISTORIC PLACES
 - NATURAL HERITAGE AREA
 - GROUNDWATER PROTECTION AREA
 - TMDL WATERSHED
 - DRINKING WATER SUPPLY WATERSHED (RIDEM)
13. THERE ARE NO STONE WALLS ON SITE.
14. THERE ARE NO HISTORIC BUILDINGS ON SITE.
15. THERE ARE NO AGRICULTURAL USES ON SITE.
16. THERE ARE NO UNIQUE NATURAL FEATURES ON SITE.

INSPECTION, MAINTENANCE, AND REMOVAL REQUIREMENTS:

1. INSTALL "SEDIMENT STORAGE" STAKE WITH A MARKER AT ONE HALF OF THE WET STORAGE VOLUME.
2. INSPECT THE TEMPORARY SEDIMENT TRAP AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL AMOUNT OF 0.25 INCH OR GREATER.
3. CHECK THE OUTLET TO ENSURE THAT IT IS STRUCTURALLY SOUND AND HAS NOT BEEN DAMAGED BY EROSION OR CONSTRUCTION EQUIPMENT.
4. CHECK FOR SEDIMENT ACCUMULATION AND FILTRATION PERFORMANCE.
5. WHEN SEDIMENTS HAVE ACCUMULATED TO ONE HALF THE MINIMUM REQUIRED VOLUME OF THE WET STORAGE, DEWATER THE TRAP AS NEEDED, REMOVE SEDIMENTS AND RESTORE THE TRAP TO ITS ORIGINAL DIMENSIONS.
6. DISPOSE OF THE SEDIMENT REMOVED FROM THE BASIN IN A SUITABLE AREA AS DESIGNATED BY THE GEOTECHNICAL ENGINEER.
7. THE TEMPORARY SEDIMENT TRAP MAY BE REMOVED AFTER THE CONTRIBUTING DRAINAGE AREA IS STABILIZED.

INSTALLATION NOTES:

1. CLEAR, GRUB AND STRIP ANY VEGETATION AND ROOT MAT FROM ANY PROPOSED EMBANKMENT AND OUTLET AREA.
2. REMOVE STONES AND ROCKS WHOSE DIAMETER IS GREATER THAN THREE (3) INCHES AND OTHER DEBRIS.
3. EXCAVATE WET STORAGE AND CONSTRUCT THE EMBANKMENT AND/OR OUTLET AS NEEDED TO ATTAIN THE NECESSARY STORAGE REQUIREMENTS.
4. USE ONLY FILL MATERIAL FOR THE EMBANKMENT THAT IS FREE FROM EXCESSIVE ORGANICS, DEBRIS, LARGE ROCKS (OVER SIX (6) INCHES) OR OTHER UNSUITABLE MATERIALS. COMPACT THE EMBANKMENT IN 9-INCH LAYERS BY TRAVERSING WITH EQUIPMENT WHILE IT IS BEING CONSTRUCTED.
5. STABILIZE THE EARTHEN EMBANKMENT USING ANY OF THE FOLLOWING MEASURES: SEEDING FOR TEMPORARY VEGETATION COVER; SEEDING FOR PERMANENT VEGETATIVE COVER; OR SLOPE PROTECTION, IMMEDIATELY AFTER INSTALLATION

INSTALLATION NOTES:

(REFERENCE: SOIL MAPPING OBTAINED FROM RIGIS, SOIL GEOGRAPHIC DATA DEVELOPED BY THE RHODE ISLAND SOIL SURVEY PROGRAM IN PARTNERSHIP WITH THE NATIONAL COOPERATIVE SOIL SURVEY)

SOIL NAME DESCRIPTION

BhB**	BRIDGEHAMPTON SILT LOAM, 3 TO 8 PERCENT SLOPES
FIA	FORTRESS SAND
Mk	MATUNUCK MUCKY PEAT
MU	MERRIMAC-URBAN LAND COMPLEX

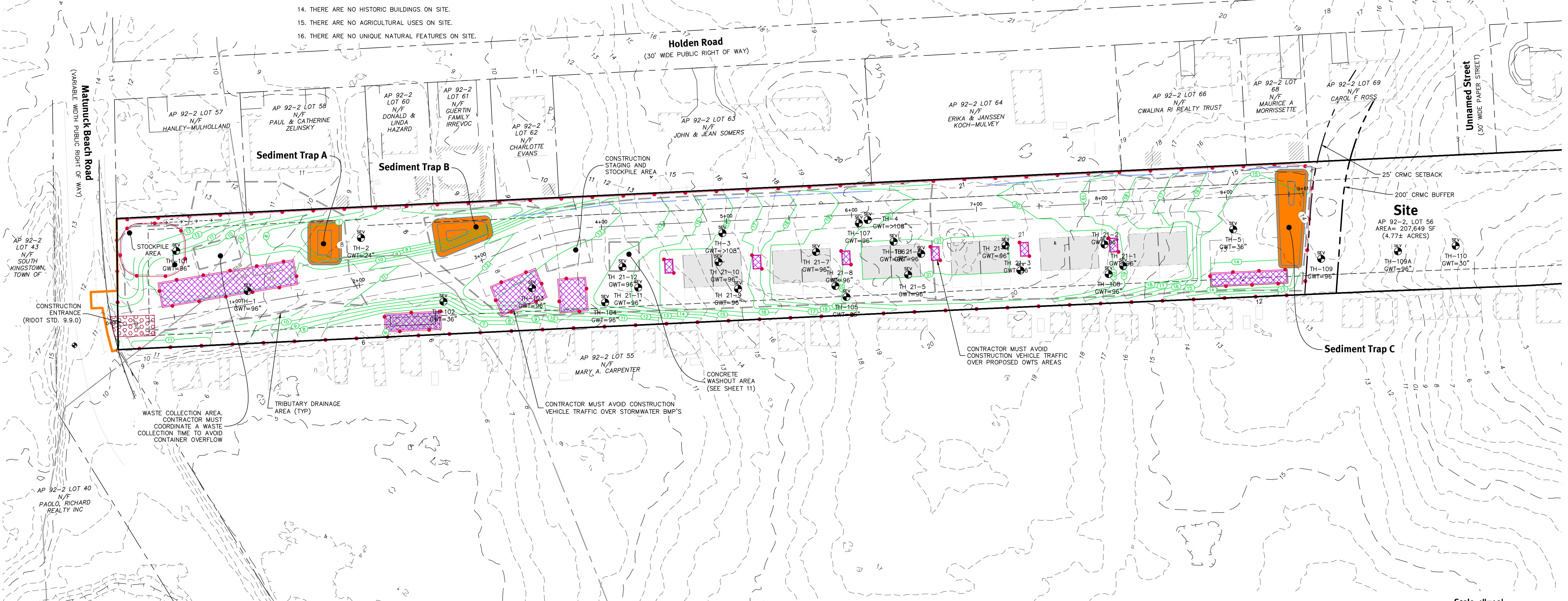
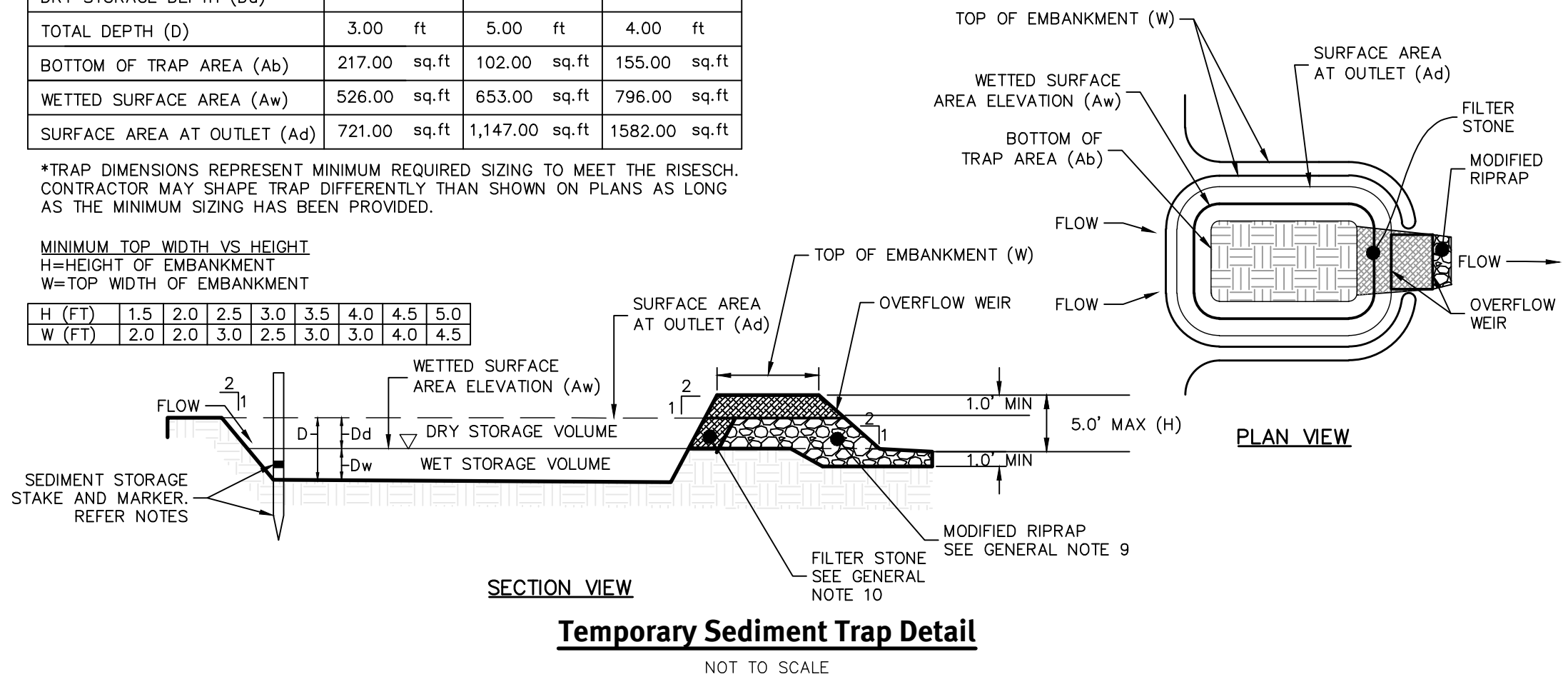
NOTE: *PRIME FARMLAND
**FARMLAND OF STATEWIDE IMPORTANCE

SEDIMENT TRAP DIMENSIONS*	TRAP A	TRAP B	TRAP C
TRIBUTARY DRAINAGE AREA	0.39 ac	0.80 ac	0.67 ac
WET STORAGE DEPTH (Dw)	2.00 ft	3.00 ft	2.00 ft
DRY STORAGE DEPTH (Dd)	1.00 ft	2.00 ft	2.00 ft
TOTAL DEPTH (D)	3.00 ft	5.00 ft	4.00 ft
BOTTOM OF TRAP AREA (Ab)	217.00 sq.ft	102.00 sq.ft	155.00 sq.ft
WETTED SURFACE AREA (Aw)	526.00 sq.ft	653.00 sq.ft	796.00 sq.ft
SURFACE AREA AT OUTLET (Ad)	721.00 sq.ft	1,147.00 sq.ft	1582.00 sq.ft

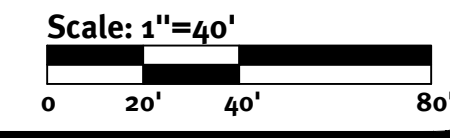
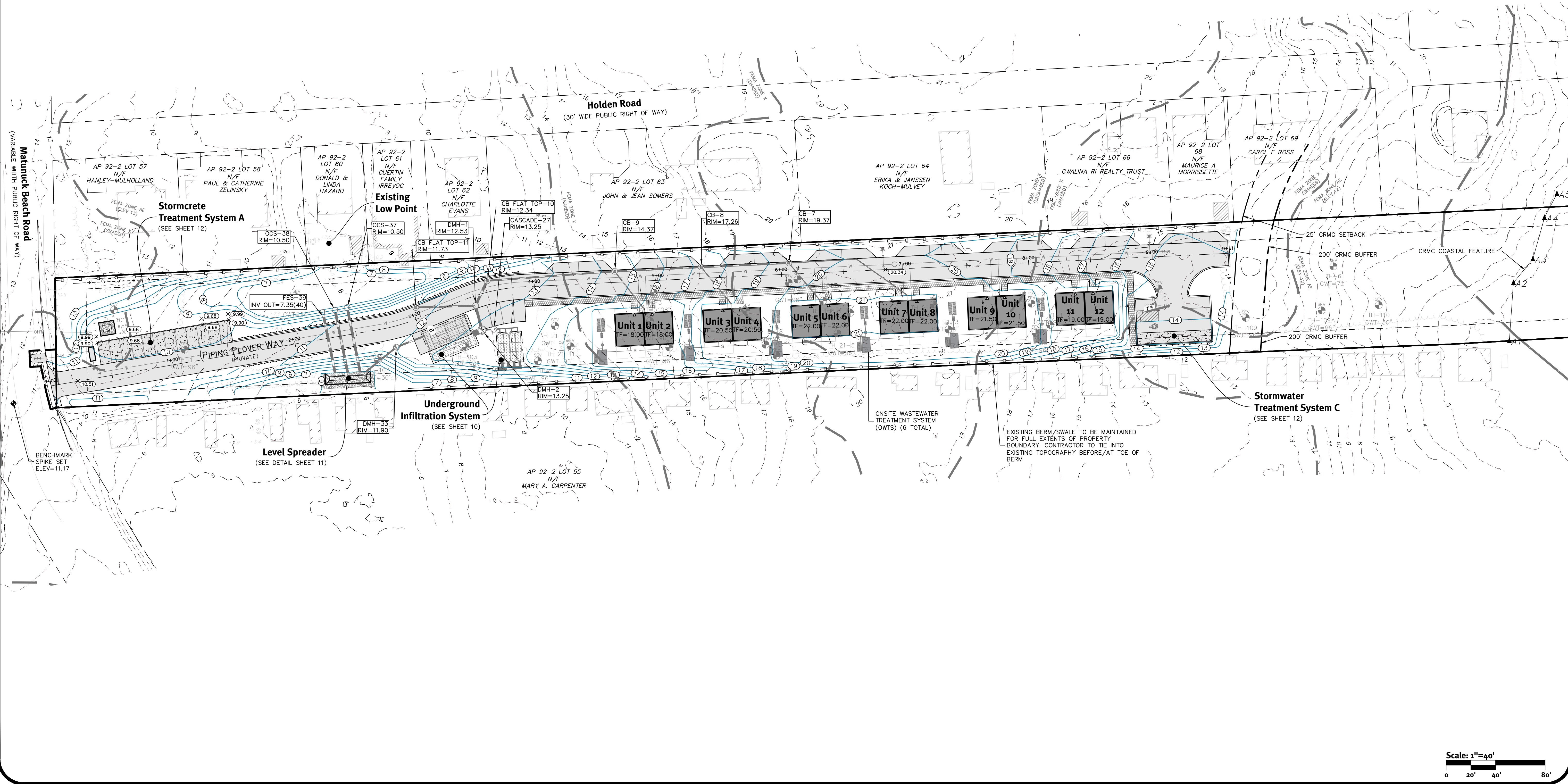
*TRAP DIMENSIONS REPRESENT MINIMUM REQUIRED SIZING TO MEET THE RISESCH. CONTRACTOR MAY SHAPE TRAP DIFFERENTLY THAN SHOWN ON PLANS AS LONG AS THE MINIMUM SIZING HAS BEEN PROVIDED.

MINIMUM TOP WIDTH VS HEIGHT

H (FT)	1.5	2.0	2.5	3.0	3.5	4.0	4.5	5.0
W (FT)	2.0	2.0	3.0	2.5	3.0	3.0	4.0	4.5



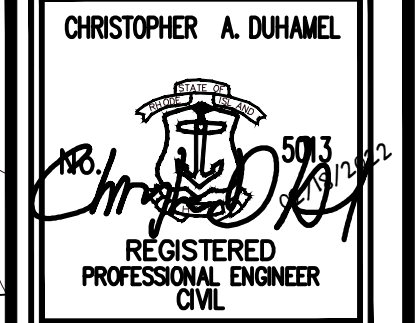
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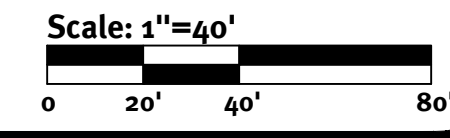
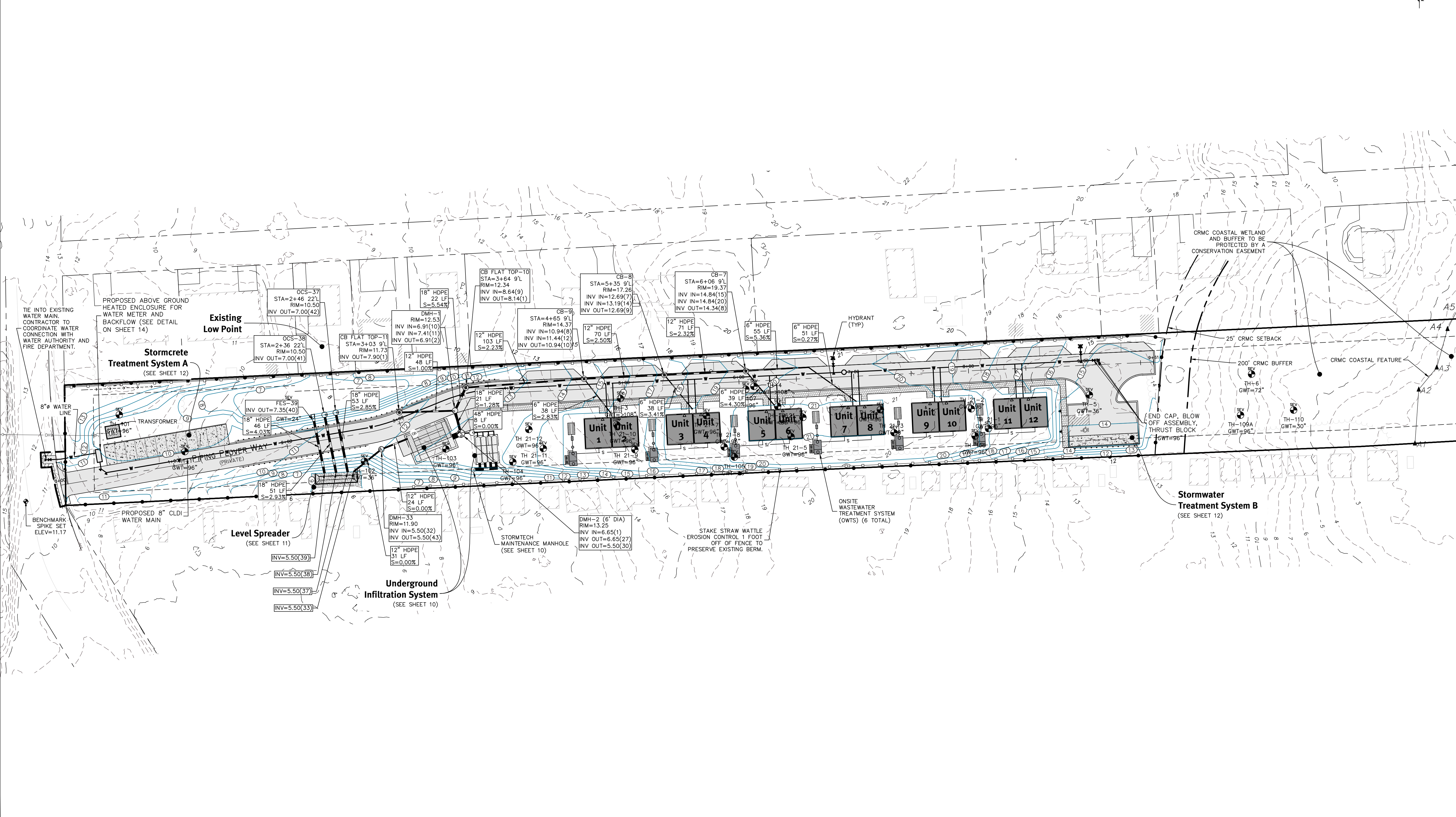
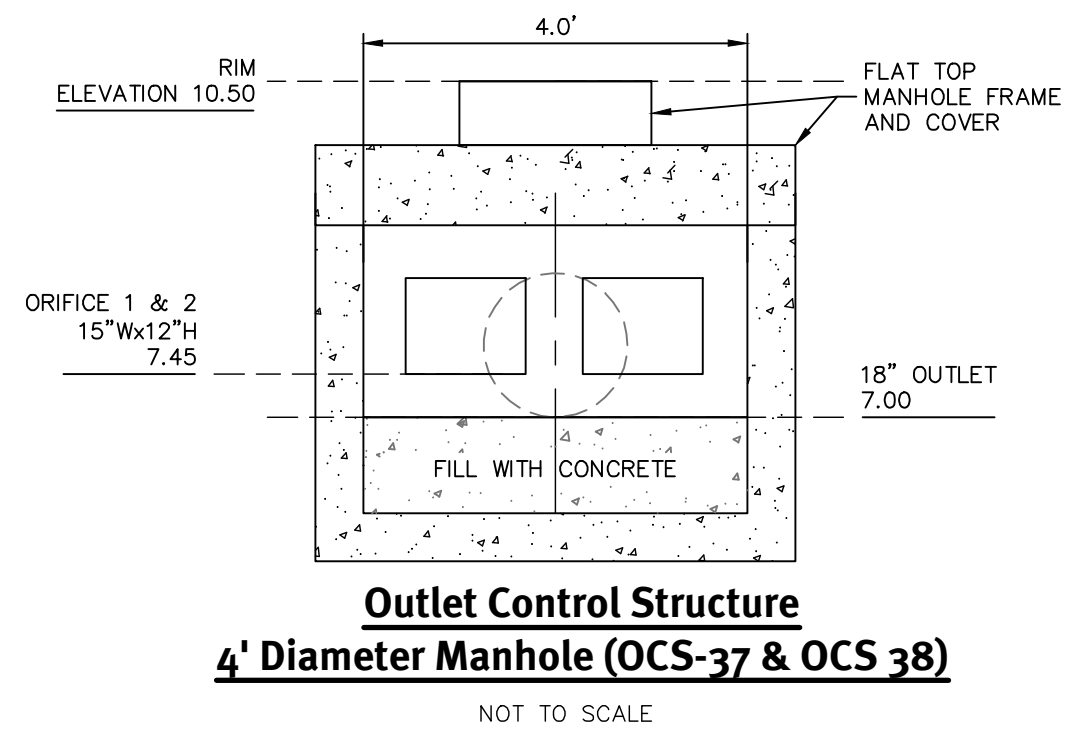
Grading Plan
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Matunuck Beach Road Partners, LLC
 P.O. Box 395
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DiPrete Engineering
 Two Stafford Court Cranston, RI 02920
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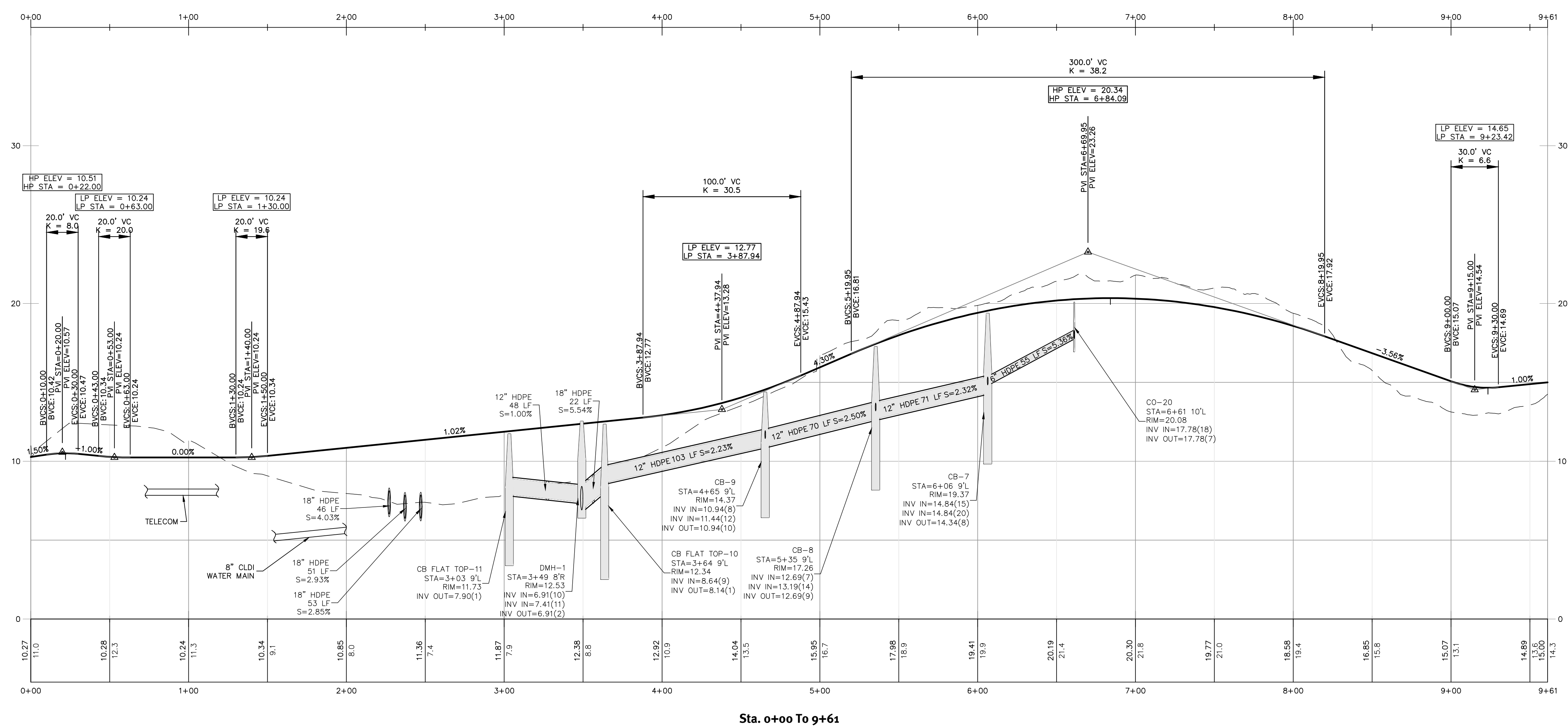
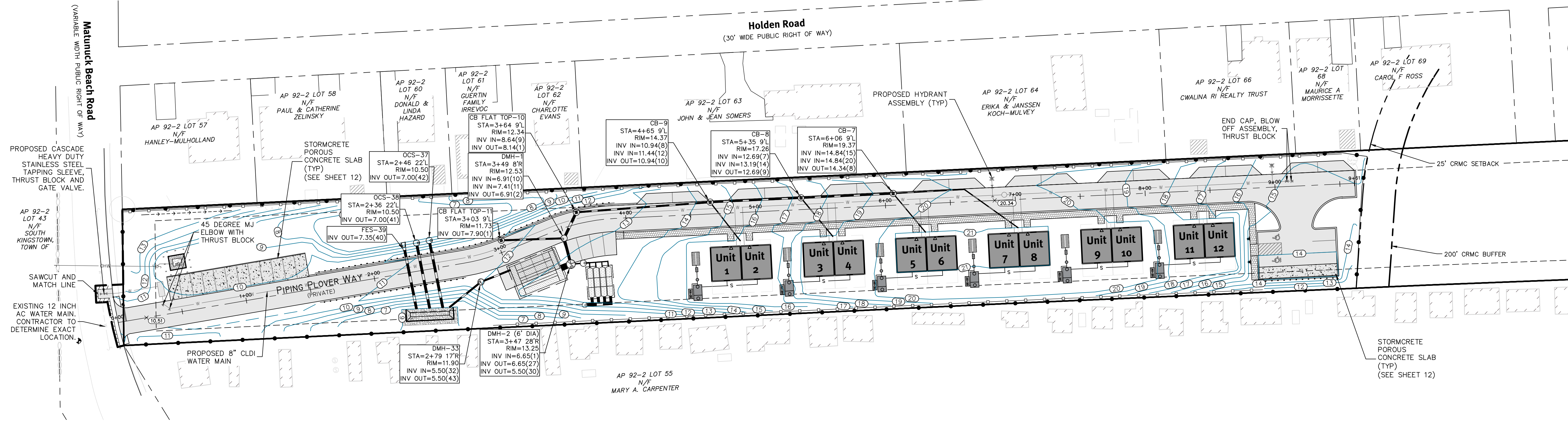
CHRISTOPHER A. DUHAMEL
REGISTERED PROFESSIONAL ENGINEER
CIVIL

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The contractor is responsible for all of the means, methods, safety and implementation of this plan and design.
Engineering assumes no responsibility for damages incurred due to locations of existing utilities. See Utility Note on Sheet 3.

No.	Date	Description	By
1	02-27-2022	Response to I.R.C. Comments	N.D.K.
2	03-02-2022	Response to I.R.C. Comments	N.D.K.
3	03-02-2022	Response to I.R.C. Comments	N.D.K.
4	03-02-2022	CRMC Assent Application Submission	N.D.K.
5	03-02-2022	Work Submission	N.D.K.
6	03-02-2022	Final Submission	N.D.K.
7	03-02-2022	Final Submission	N.D.K.

Drainage and Utilities Plan
Matunuck Beach Condos
Assessors: Blk 027 Lot 66
South Kingsdown, Rhode Island
Project Owner
Matunuck Beach Road Partners, LLC
P.O. Box 385
Waketield, RI 02880
DE JOB NO: 2389-002 Copyright 2022 by DiPrete Engineering Associates, Inc.

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CHRISTOPHER A. DUHAMEL
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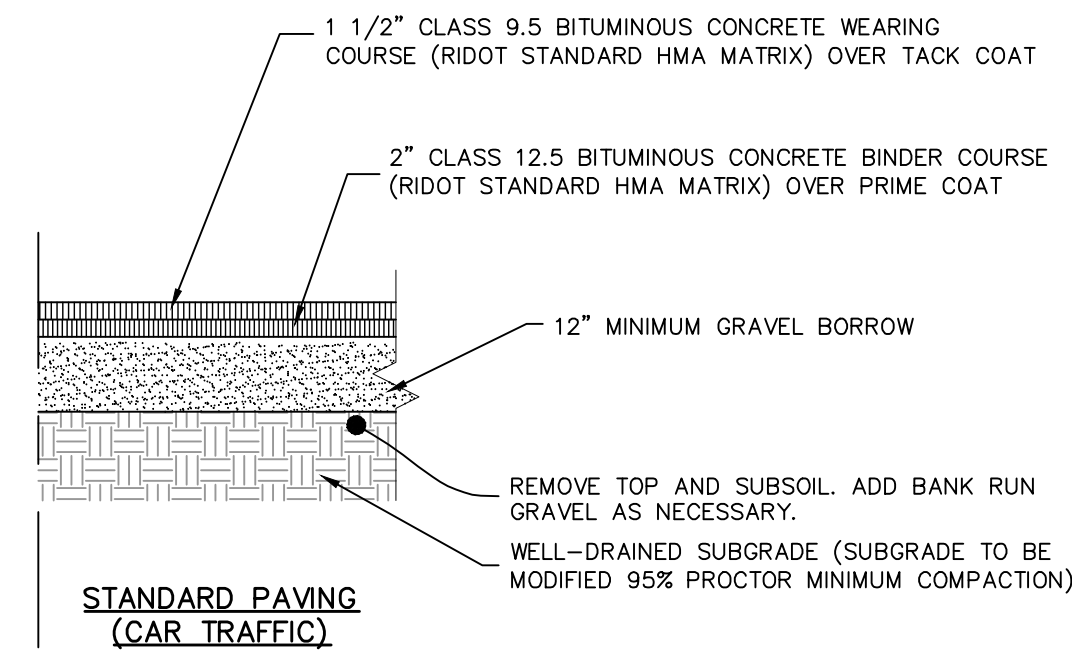
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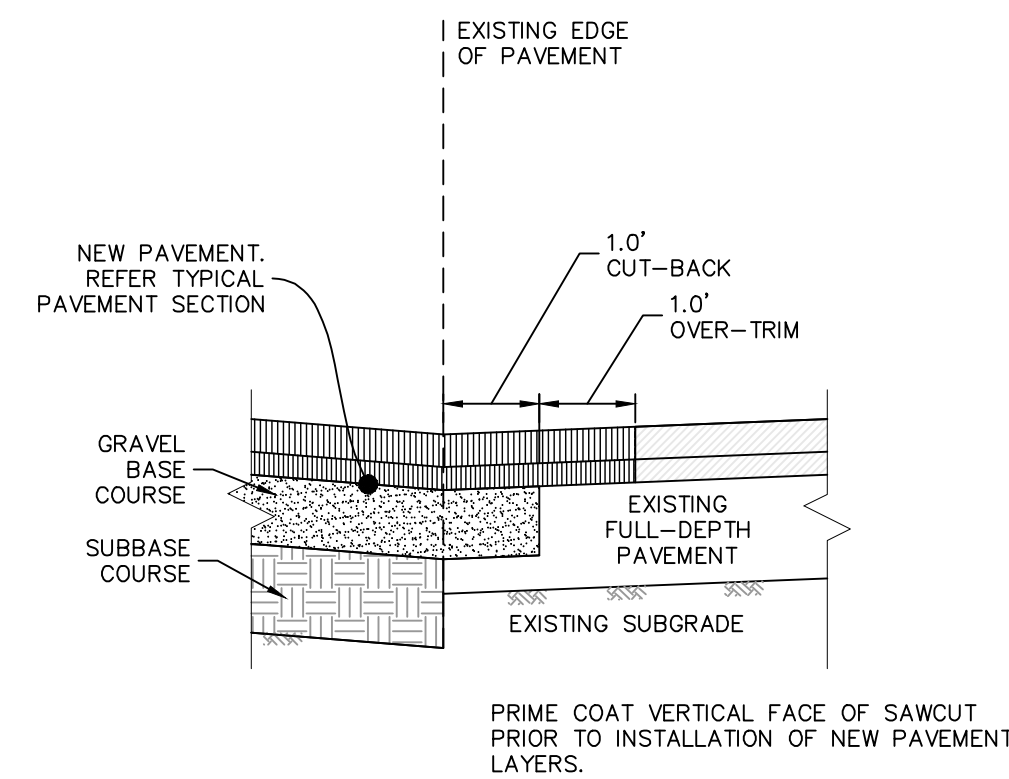
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No.	Date	Description	Design By: N.D.K.
1	02-27-2022	Response to IBC Comments	
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6	03-02-2022	Permit Application Submission	
7	03-02-2022	Permit Application Submission	

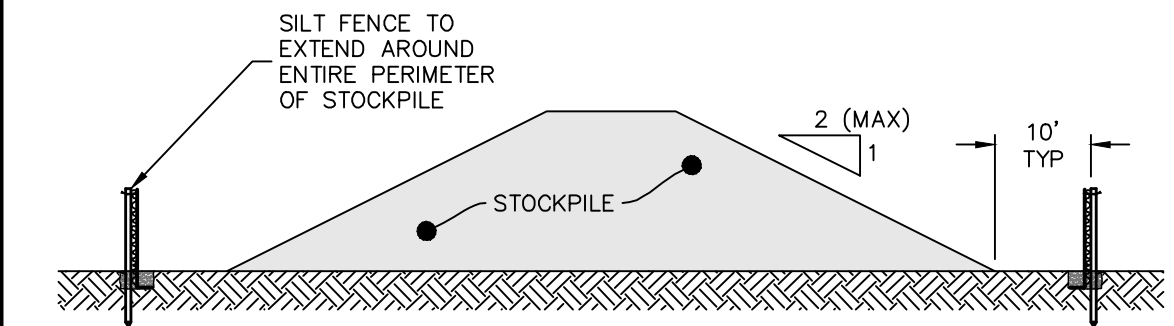
Plan & Profile
Matunuck Beach Condos
Assessors: Pkt 02-2 Lot 66
South Kingstown, Rhode Island
Affiliated Owner:
Matunuck Beach Road Partners, LLC
P.O. Box 385
Waketield, RI 02880



Typical Pavement Section
NOT TO SCALE

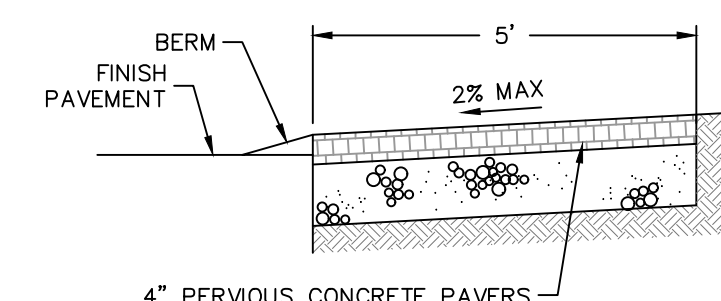


Pavement Tie-In Detail
NOT TO SCALE

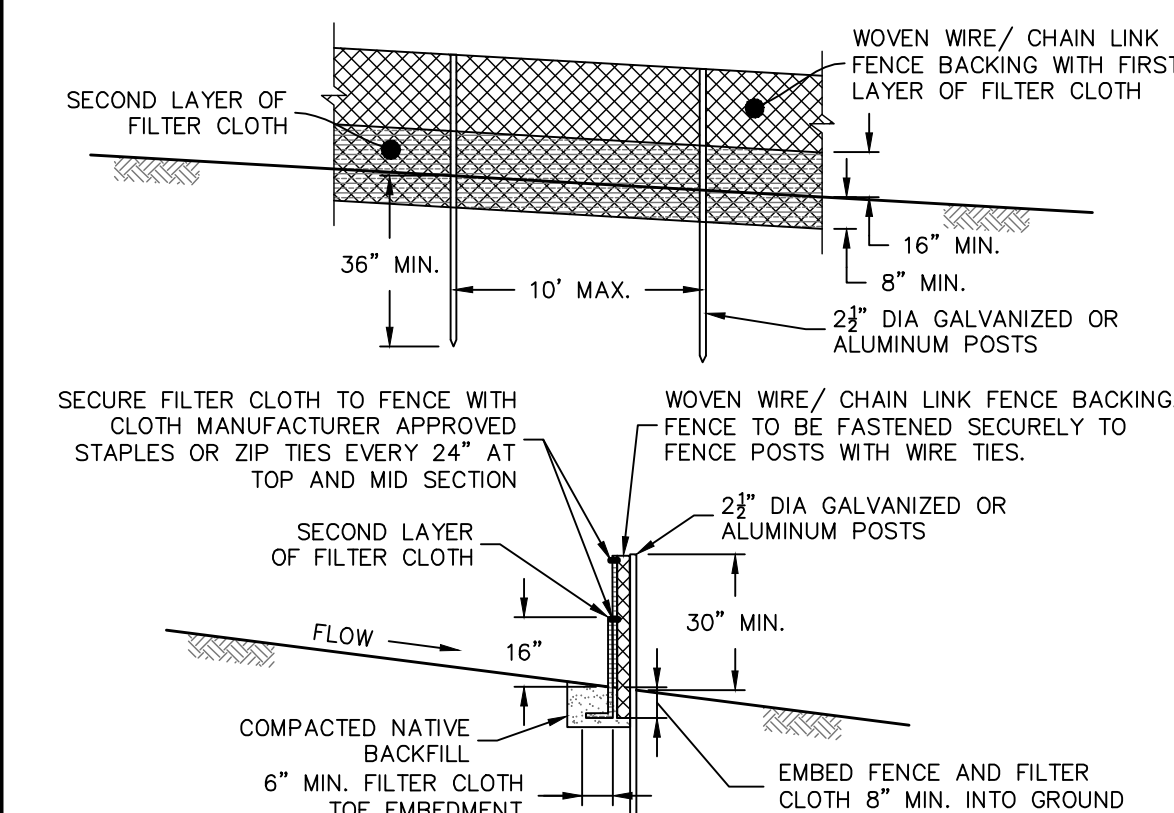


- NOTES:**
1. ALL STOCKPILES MUST BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH SECTION 4-9 "STOCKPILE MANAGEMENT" OF THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL (LATEST REVISION).
 2. DIVERT ALL STORMWATER AWAY FROM STOCKPILES.
 3. SOIL STOCKPILES THAT ARE NOT TO BE USED WITHIN 30 DAYS MUST BE SEEDED AND MULCHED IMMEDIATELY AFTER FORMATION OF THE STOCKPILE WITH SEED MIX COMPATIBLE WITH THE SOIL TYPE.
 4. STOCKPILE AND SILT FENCE MUST BE INSPECTED AT LEAST ONCE PER WEEK AND AFTER RAIN EVENTS IN EXCESS OF 1" OF RAINFALL. REPAIR/ REPLACE SILT FENCE (AND STOCKPILE COVERS WHERE APPLICABLE) AS NEEDED TO KEEP THEM FUNCTIONING ADEQUATELY.
 5. SEDIMENT TRAPPED BY SILT FENCES MUST BE REMOVED AND PROPERLY DISPOSED OF WHENEVER SIGNIFICANT ACCUMULATION OCCURS.

Stockpile Protection
NOT TO SCALE



Pervious Concrete Pavers Sidewalk
NOT TO SCALE

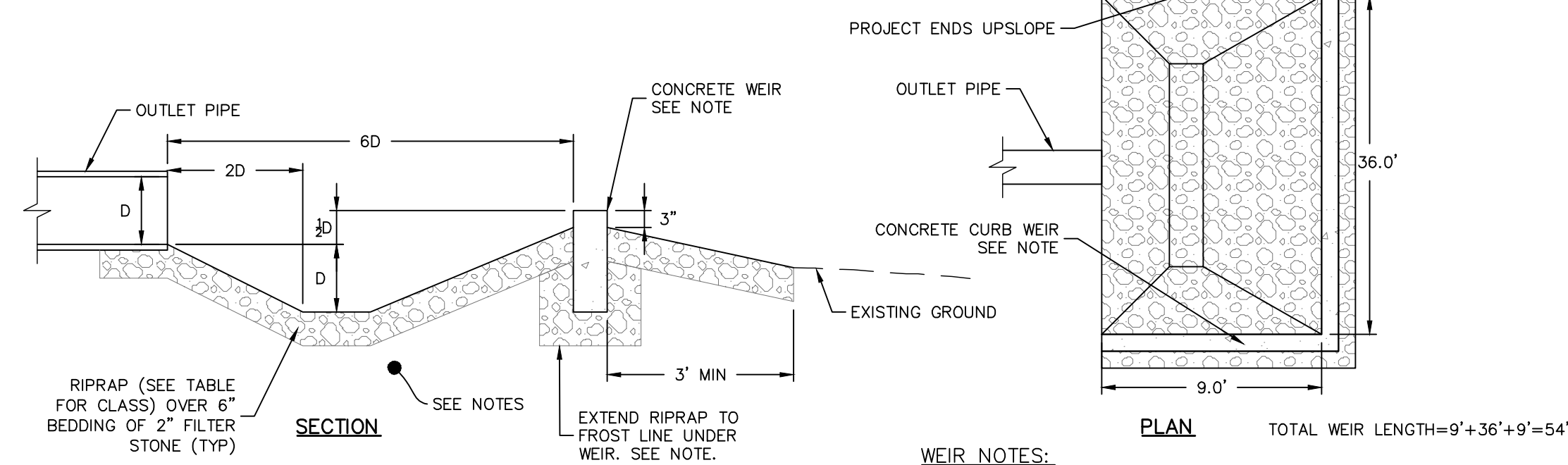


- NOTES:**
1. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY MUST BE OVERLAPPED BY A MINIMUM OF 6" AND FOLDED.
 2. FILTER CLOTH TO BE MIRAF 100 OR APPROVED EQUAL.

Class C Silt Fence
NOT TO SCALE

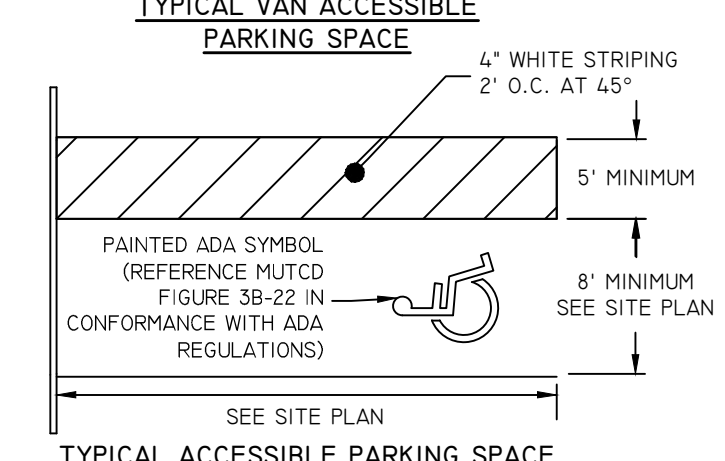
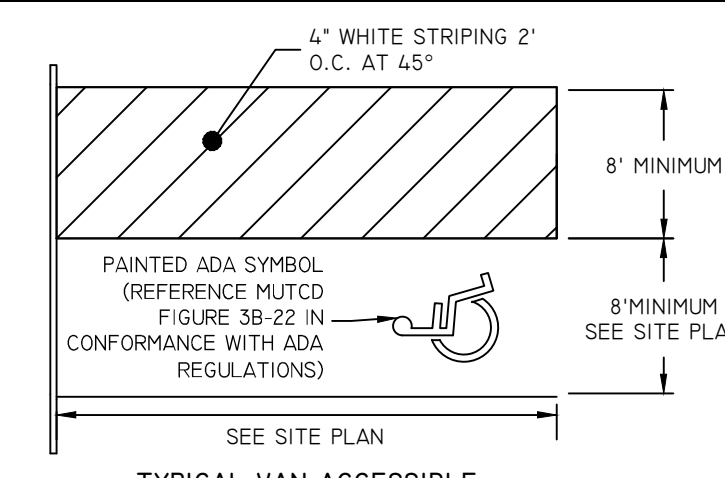
- NOTES:**
1. CONTRACTOR MUST REMOVE TOP AND SUBSOILS/ EXCAVATE DOWN TO THE C HORIZON WITHIN THE FOOTPRINT OF THE LEVEL SPREADER.
 2. IF FILL IS REQUIRED WITHIN THE FOOTPRINT OF THE LEVEL SPREADER, CONTRACTOR MUST REMOVE TOP AND SUBSOILS/ EXCAVATE DOWN TO THE C HORIZON AND BACKFILL WITH SUITABLE MATERIAL THAT HAS EQUAL OR GREATER INFILTRATION PARAMETERS THAN THE EXISTING HORIZONS BENEATH. ONSITE MATERIALS MAY BE USED AT THE DIRECTION OF THE SITE ENGINEER OR GEOTECHNICAL ENGINEER. OTHERWISE ASTM C-33 OR AASHTO M6 CONCRETE SAND MUST BE USED.

PIPE INVERT	PIPE DIA (D)	WIDTH (6D)	LENGTH (L)	CONCRETE CURB WEIR ELEV	RIPRAP CLASS
5.50'	1.50'	9.0'	36.0'	6.25'	R-3



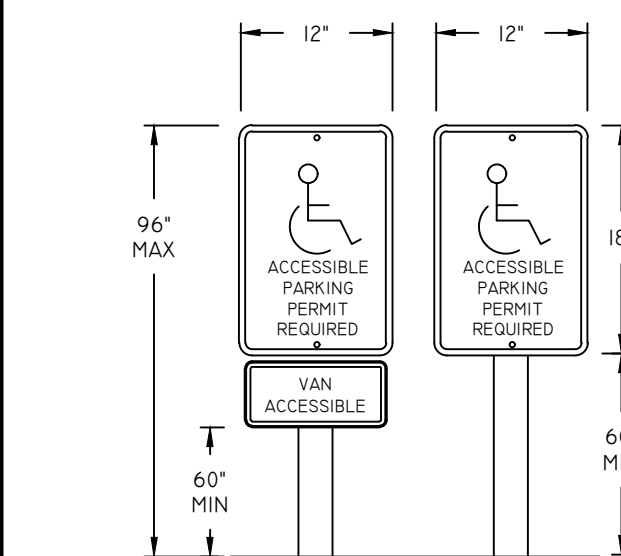
Level Spreader
NOT TO SCALE

- WEIR NOTES:**
- CONCRETE WEIR MAY BE:
 - MONOLITHIC, CAST IN PLACE CONCRETE WITH INVERT BELOW THE FROST LINE (MINIMAL MAINTENANCE)
 - SERIES OF PRECAST CONCRETE CURB SECTIONS, NO END CHAMFERS. (FREQUENT MAINTENANCE TO KEEP WEIR LEVEL) - MUST INCLUDE GRAVEL BASE DOWN TO FROST DEPTH
 - TIMBER NOT PERMITTED



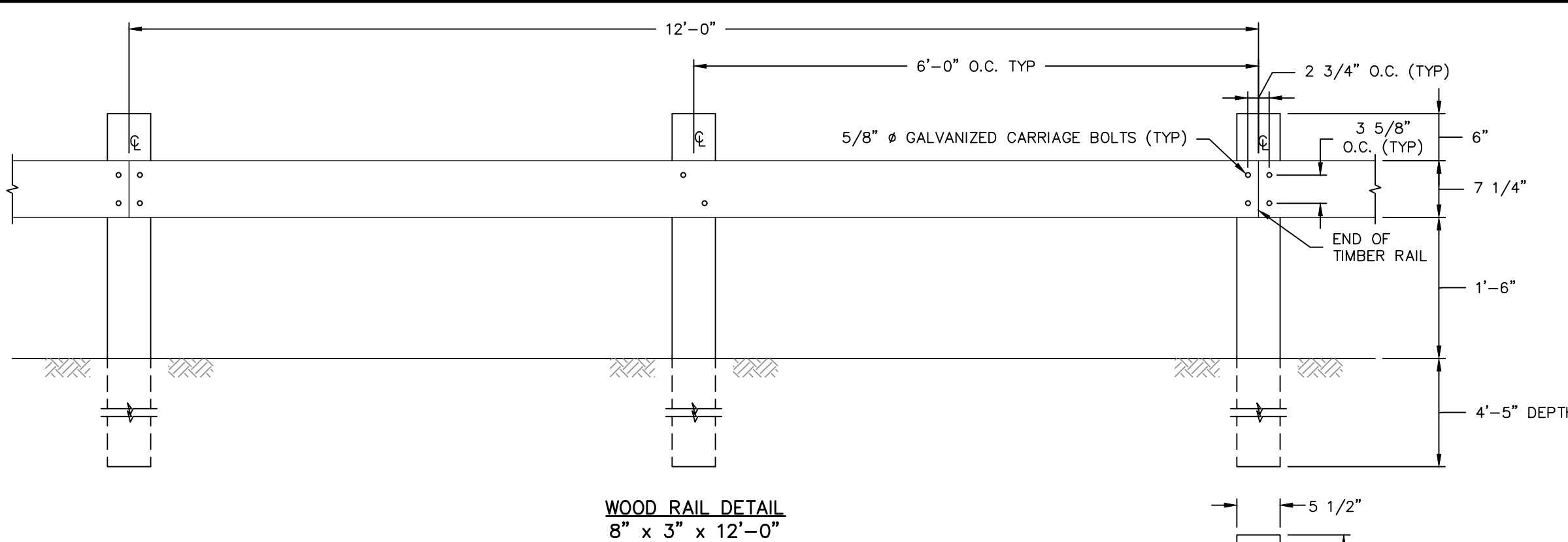
TYPICAL ACCESSIBLE PARKING SPACES
NOT TO SCALE

- NOTES:**
1. ALL PAINT MUST BE FAST DRYING TRAFFIC PAINT, MEETING THE REQUIREMENTS OF AASHTO M248 TYPE F. PAINT MUST BE APPLIED AS SPECIFIED BY THE MANUFACTURER.
 2. APPLY 2 COATS OF TRAFFIC TYPE PAINT. APPLY THE FIRST COAT NOT LESS THAN FIVE DAYS AFTER THE PLACING OF BITUMINOUS PAVEMENT. ALLOW FOR MINIMUM CURE TIME OF 24 HOURS BETWEEN APPLICATIONS.
 3. FOR REDEVELOPMENT SITES, PAINT COLOR AND SIZE/ STENCILING OF PAINTED ADA SYMBOL MUST MATCH ADJACENT SPACES, SO LONG AS THEY COMPLY WITH THE CURRENT EDITIONS OF ALL APPLICABLE STANDARDS AND REGULATIONS.



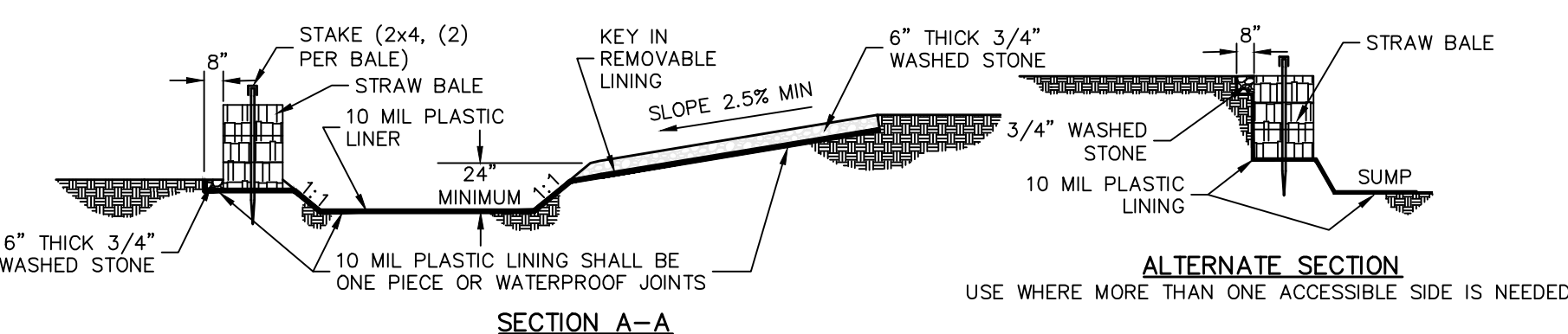
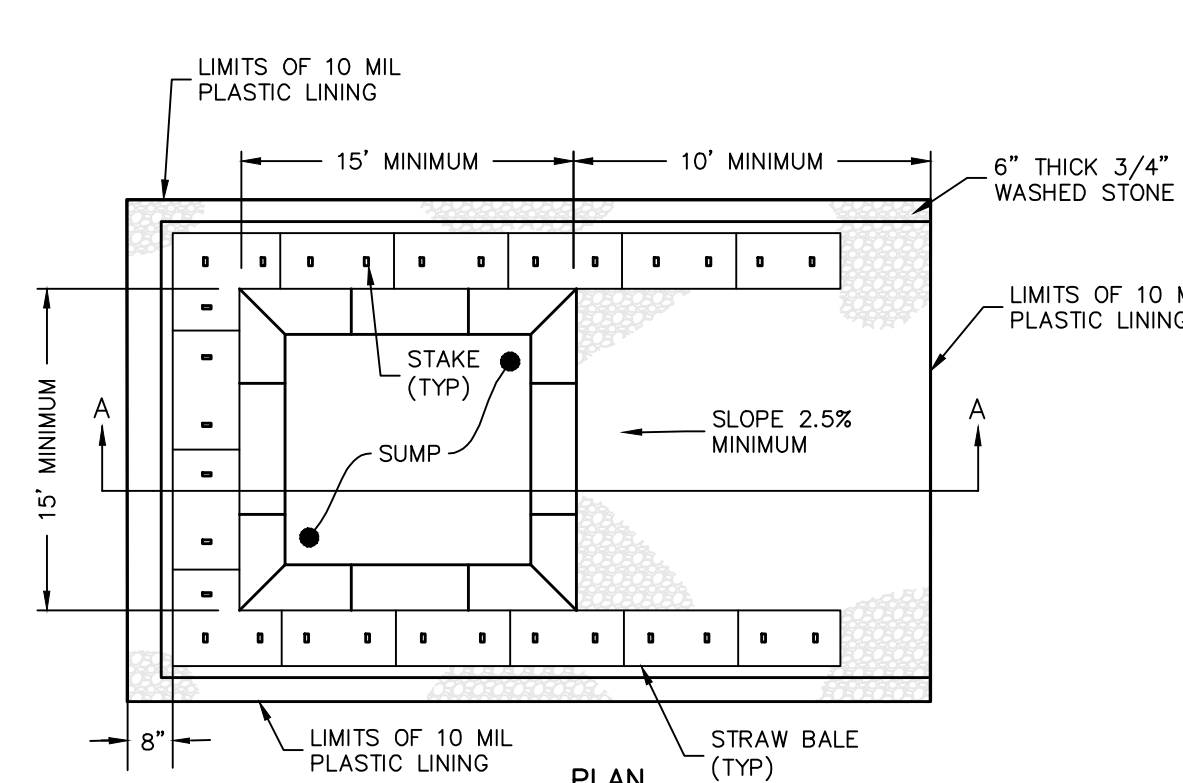
TYPICAL ACCESSIBLE PARKING SIGN
NOT TO SCALE

- NOTES:**
1. SIGN MUST BE PLACED BEHIND APPLICABLE VAN ACCESSIBLE OR ACCESSIBLE SPACE AS SHOWN ON SITE PLAN.
 2. ACCESSIBLE PARKING SPACES AND SIGNAGE MUST COMPLY WITH LATEST VERSION OF THE ADA STANDARDS FOR ACCESSIBLE DESIGN, THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) OR THE APPLICABLE STATE/ MUNICIPAL BUILDING CODE, WHICHEVER STANDARD CONTROLS.
 3. THE MAXIMUM HEIGHT OF THE TOP OF THE HIGHEST SIGN SHALL BE 96".
 4. THE MINIMUM HEIGHT OF THE BOTTOM OF THE LOWEST SIGN SHALL BE 60".



- NOTES:**
1. SHALL BE IN ACCORDANCE WITH PART 900 OF THE R.I. STANDARD SPECIFICATIONS.
 2. ALL FASTENER HARDWARE SHALL BE WEATHERING STEEL AS SPECIFIED.

Wood Guardrail
NOT TO SCALE

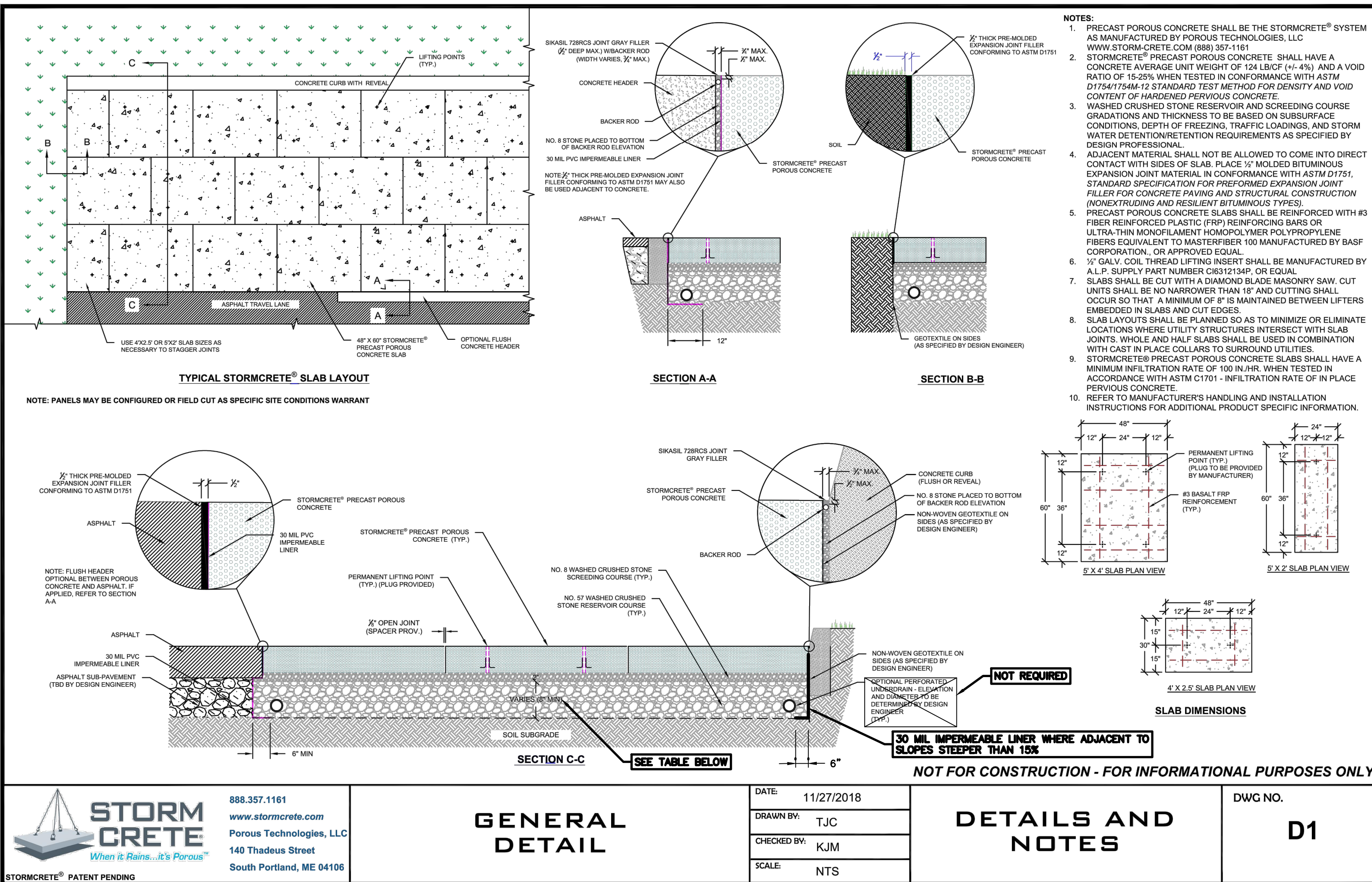


NOTES:

1. PIT IS SPECIFICALLY DESIGNATED, DIKED AND IMPEROUS CONTAINMENT TO PREVENT CONTACT BETWEEN CONCRETE WASH AND STORMWATER.
2. WASH WATER SHALL NOT BE ALLOWED TO FLOW TO SURFACE WATER.
3. FACILITY MUST HOLD SUFFICIENT VOLUME TO CONTAIN CONCRETE WASTE WITH A MINIMUM FREEBOARD OF 12".
4. FACILITY SHALL NOT BE FILLED BEYOND 95% CAPACITY UNLESS A NEW FACILITY IS CONSTRUCTED.
5. SAWCUT PORTLAND CEMENT CONCRETE, RESIDUE FROM SAWCUT AND GRINDING TO BE DISPOSED OF IN THE PIT.
6. CONCRETE WASHOUTS SHALL BE LOCATED A MINIMUM OF 100' FROM DRAINAGE WAYS, INLETS, AND SURFACE WATERS.
7. MANUFACTURED CONCRETE WASHOUT DEVICES MAY BE USED IF REMOVED FROM THE SITE WHEN 95% FULL CAPACITY.

Concrete Washout Area
NOT TO SCALE

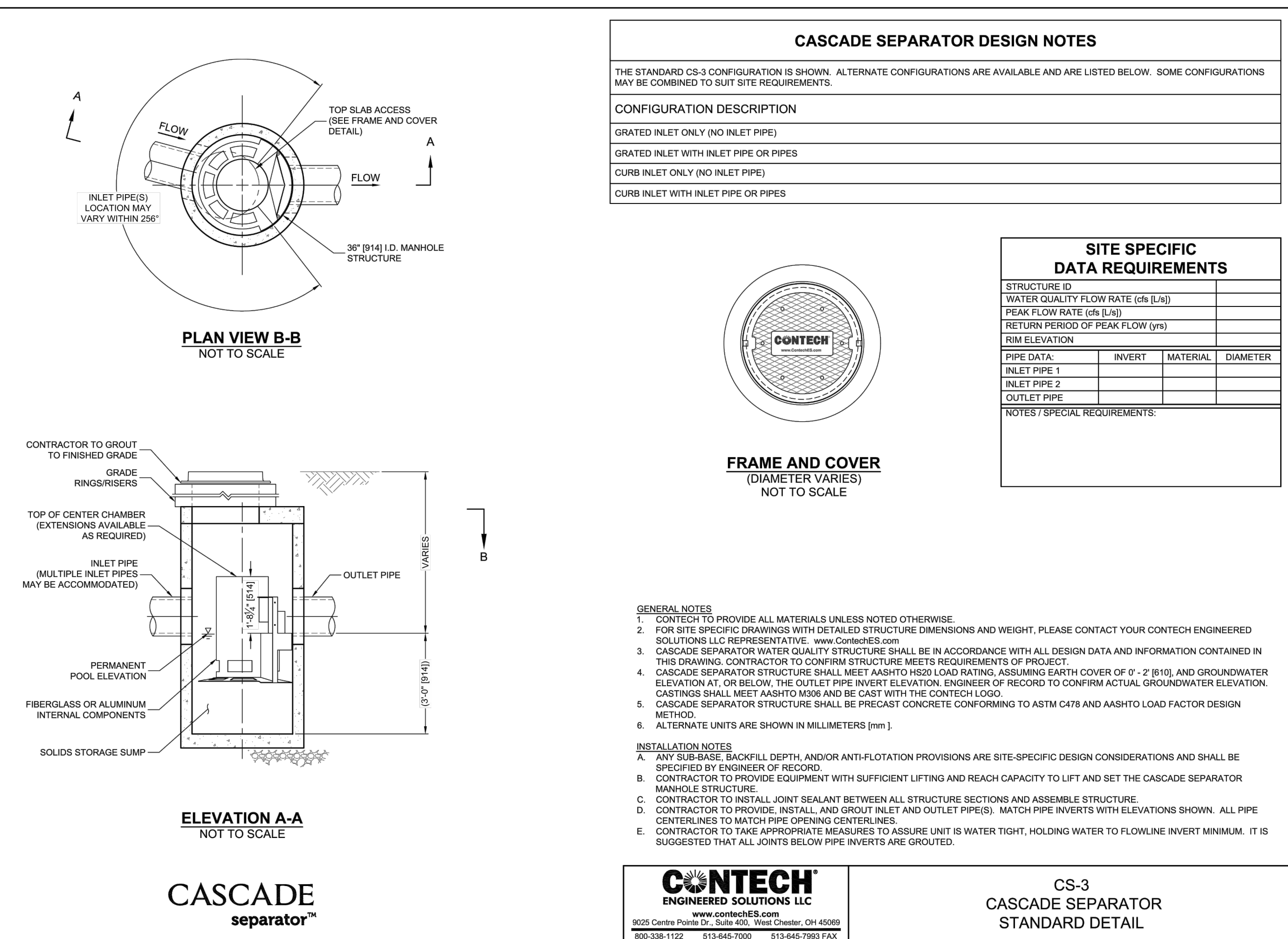
No.	Date	Description	By	Check
7	02-27-2022	Response to IBC Comments	NDK	
6	10-23-2021	Response to IBC Comments	NDK	
5	10-20-2021	CHK Assent Application Submission	NDK	
4	10-06-2021	CHK Assent Application Submission	NDK	
3	09-29-2021	Permit Submission	NDK	
2	08-11-2021	Permit Submission	NDK	
1	07-20-2021	Permit Submission	NDK	



- NOTES:**
- CONTRACTOR MUST REMOVE TOP AND SUBSOILS/ EXCAVATE DOWN TO THE C HORIZON WITHIN THE FOOTPRINT OF ALL INFILTRATION DEVICES.
 - IF FILL IS REQUIRED WITHIN THE FOOTPRINT OF AN INFILTRATION DEVICE, CONTRACTOR MUST REMOVE TOP AND SUBSOILS/ EXCAVATE DOWN TO THE C HORIZON AND BACKFILL WITH SUITABLE MATERIAL THAT HAS EQUAL OR GREATER INFILTRATION PARAMETERS THAN THE EXISTING HORIZONS BENEATH. ON-SITE MATERIALS MAY BE USED AT THE DIRECTION OF THE SITE ENGINEER OR GEOTECHNICAL ENGINEER, OTHERWISE ASTM C-33 OR AASHTO M6 CONCRETE SAND MUST BE USED.

Stormcrete Precast Porous Concrete Slab
 NOT TO SCALE

	TREATMENT SYSTEM A	TREATMENT SYSTEM B
STORMCRETE THICKNESS	6"	6"
LEVELING COURSE THICKNESS	2"	2"
STONE THICKNESS	12"	28"



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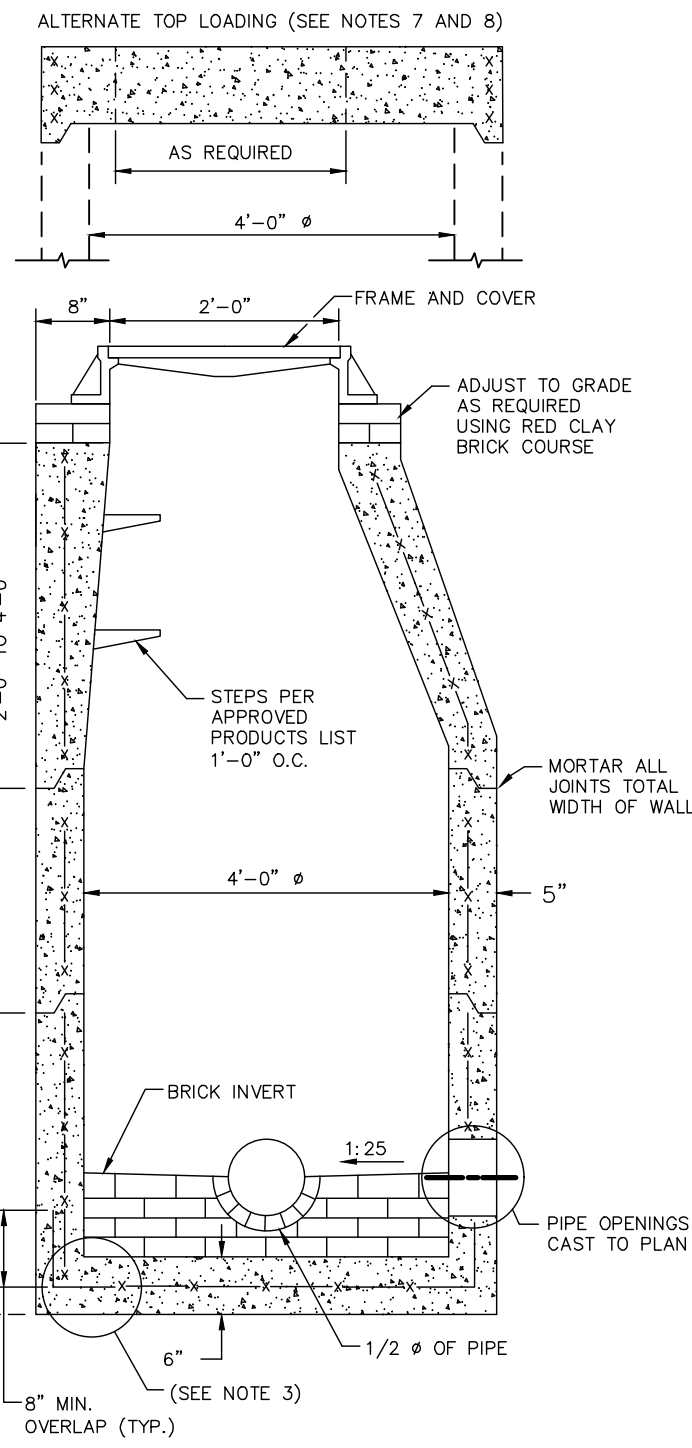
Rev.	Date	Description	By	Check
1	07-20-2023	REVISION		
2	07-20-2023	REVISION		
3	07-20-2023	REVISION		
4	07-20-2023	REVISION		
5	07-20-2023	REVISION		
6	07-20-2023	REVISION		
7	02-27-2022	Response to R.C. Comments		
8	12-22-2021	Response to R.C. Comments		
9	10-26-2021	CHK. Assent Application Submission		
10	09-29-2021	Work Submission		
11	08-11-2021	Final Submission		
12	07-20-2021	REVISION		

Detail Sheet - 2

Matunuck Beach Condos
 Access: Rte 92, Lot 66
 South Kingsdown, Rhode Island

Matunuck Beach Road Partners, LLC
 P.O. Box 395
 Waketield, RI 02880

Design By: N.D.K.
 Drawn By: N.D.K.

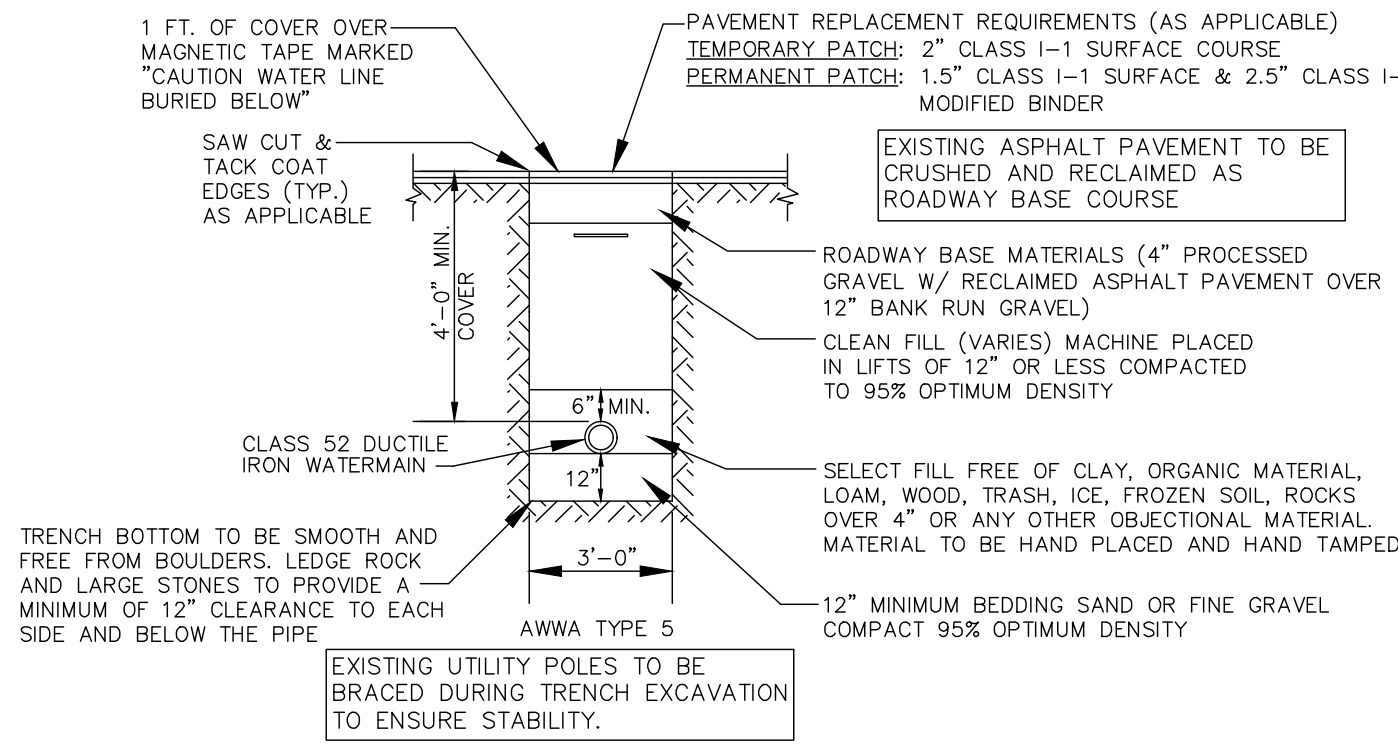


- NOTES:**
- SHALL BE IN ACCORDANCE WITH SECTION 702 OF THE R.I. STANDARD SPECIFICATIONS.
 - CIRCUMFERENTIAL STEEL REINFORCEMENT REQUIRED = 0.12 SQ. IN. / LIN. FT. MINIMUM.
 - STEEL REINFORCEMENT FOR BASE SECTION BOTTOM SHALL BE A MINIMUM OF 0.12 SQ. IN./LIN. FT. (BOTH WAYS).
 - ONE POUR MONOLITHIC BASE SECTION.
 - ANY NECESSARY ADJUSTMENTS DURING CONSTRUCTION WILL BE DONE BY SAW-CUTTING AND/OR CORING ONLY. NO JACKHAMMERS, HAMMERS AND CHISELS OR PNEUMATIC TOOLS WILL BE ALLOWED.
 - STEPS SHALL CONFORM TO STD. S.3.0 AND SHALL BE INSTALLED AT THE CASTING PLANT.
 - ALTERNATE TOP SLAB IS ONLY FOR USE WHEN REDUCING SECTION DOES NOT FIT BECAUSE OF STRUCTURE DEPTH.
 - REFER TO STD. S.2.0 FOR MAXIMUM PIPE SIZES.

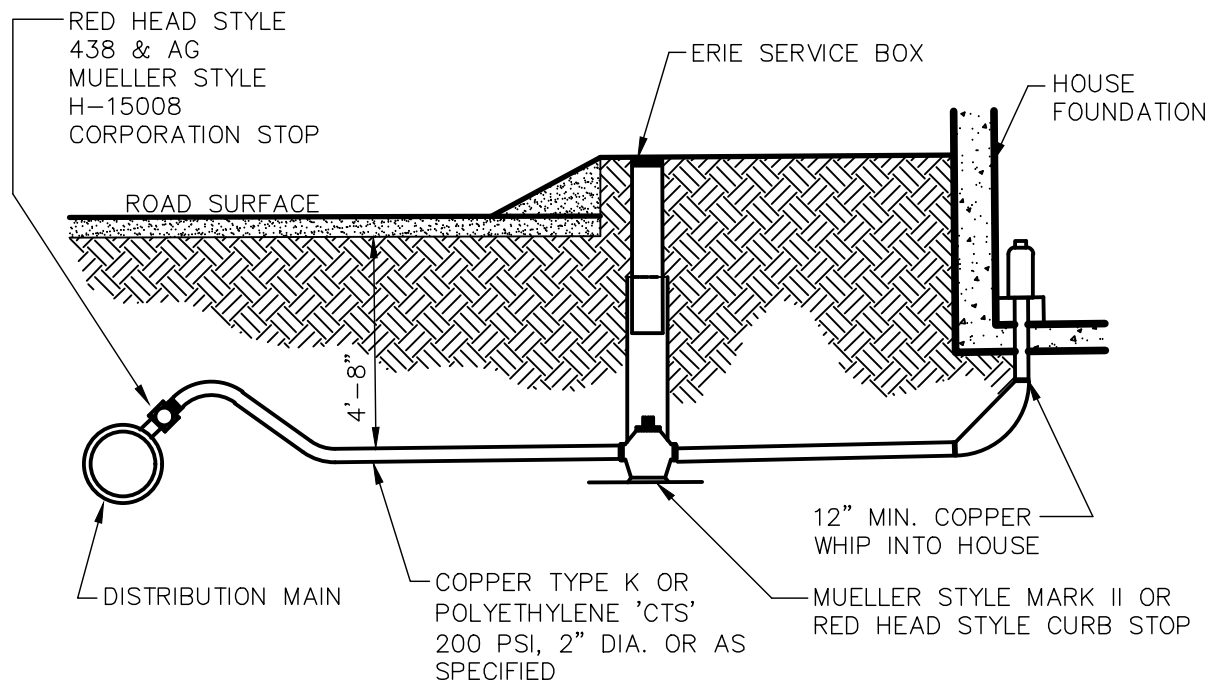
PRECAST 4'-0" ROUND MANHOLE
NOT TO SCALE

LEAKAGE AND PRESSURE TESTING FOR WATERMAINS

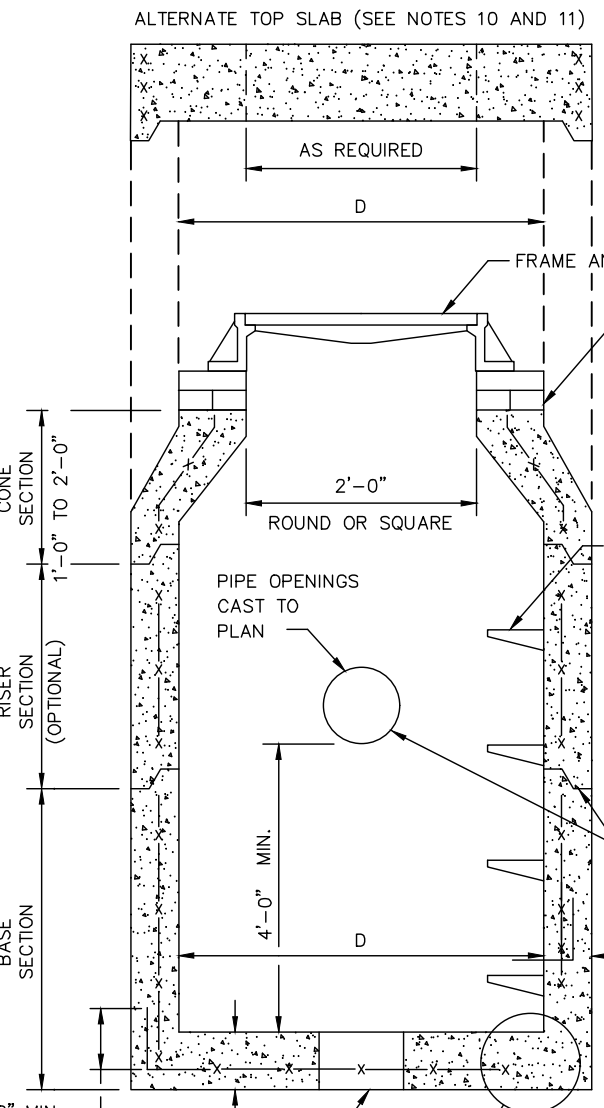
- GENERAL**
HYDROSTATIC AND LEAKAGE TESTS SHALL BE PERFORMED ON ALL COMPLETED SECTIONS OF NEWLY INSTALLED WATERMAIN PIPELINE IN ACCORDANCE WITH AWWA C600, THE TOWN OF SOUTH KINGSTOWN, AND AS SPECIFIED BELOW.
THE CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL LABOR, TOOLS AND EQUIPMENT NECESSARY FOR TESTING.
- TESTING PROCEDURES**
ALL AIR SHALL BE EXPELLED AT THE HIGH POINTS AND THE PIPELINE SLOWLY FILLED WITH POTABLE WATER.
THE INTERNAL PRESSURE SHALL BE BUILT UP TO 150 PSI AND MAINTAINED FOR A PERIOD OF NOT LESS THAN ONE (1) HOUR.
ALL LEAKS IN THE PIPELINE SHALL BE STOPPED; CRACKED OR DEFECTIVE PIPE, FITTINGS OR ACCESSORIES SHALL BE REMOVED AND REPLACED WITH NEW BY THE CONTRACTOR.
THE PIPELINE SHALL BE RETESTED AS MAY BE REQUIRED AND NECESSARY UNTIL THE LEAKAGE FALLS WITHIN THE ALLOWABLE DETERMINED FOR THE PIPE NETWORK, AT WHICH TIME THE PIPELINE MAY BE CONSIDERED READY FOR:
a. WATERMAINS - DISINFECTION STEP



WATER TRENCH DETAIL N.T.S.



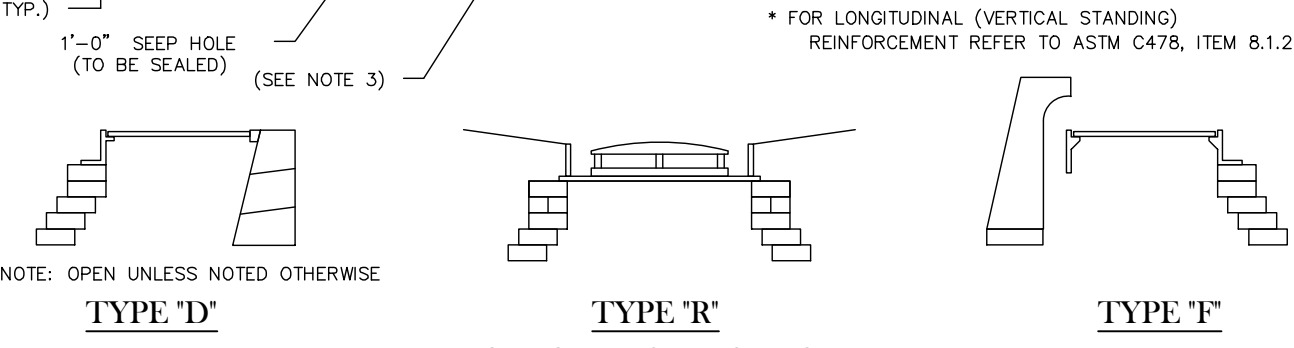
TYPICAL 2" OR SMALLER WATER SERVICE N.T.S.



NOTE: ALL CATCHBASINS TO BE 4' UNLESS OTHERWISE NOTED.

CATCH BASIN DIAMETER (D)	CIRCUMFERENTIAL STEEL REINFORCEMENT REQUIRED *	
	A	B
4'-0"	5"	6"
5'-0"	6"	7"
6'-0"	7"	8"

* FOR LONGITUDINAL (VERTICAL STANDING) REINFORCEMENT REFER TO ASTM C478, ITEM 8.1.2

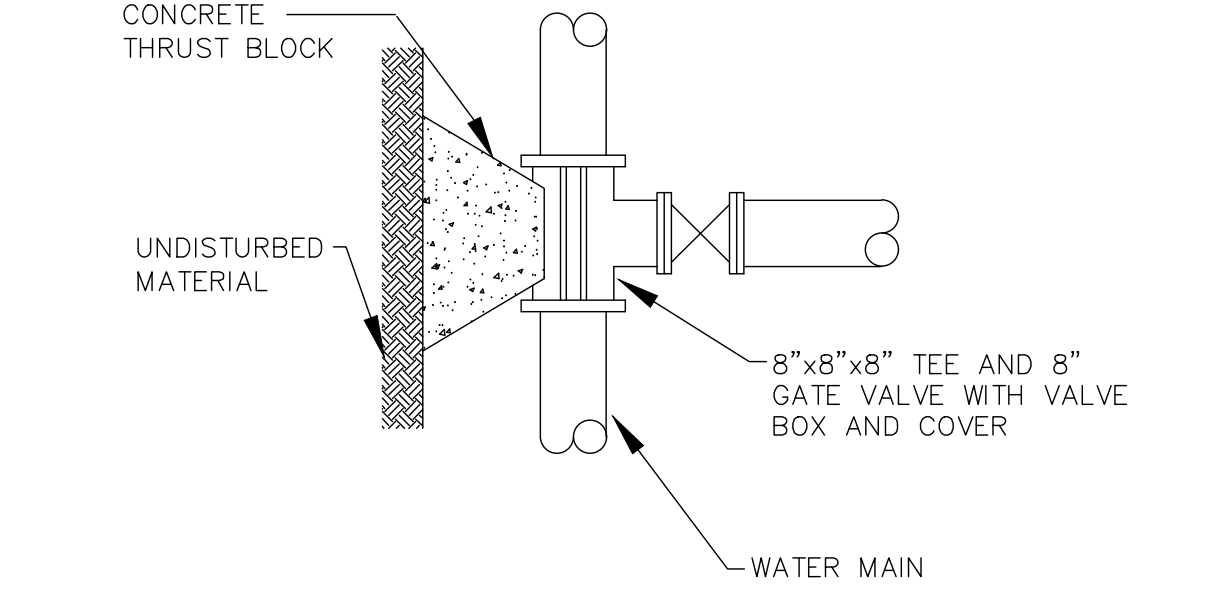


- NOTES:**
- SHALL BE IN ACCORDANCE WITH SECTION 702 OF THE R.I. STANDARD SPECIFICATIONS.
 - SEE TABLE 1 FOR STEEL REINFORCEMENT REQUIREMENTS.
 - STEEL REINFORCEMENT FOR BASE SECTION BOTTOM SHALL BE A MINIMUM OF 0.12 SQ. IN./LIN. FT. (BOTH WAYS).
 - STEPS SHALL CONFORM TO STD. S.3.0 AND SHALL BE INSTALLED AT THE CASTING PLANT.
 - ONE POUR MONOLITHIC BASE SECTION.
 - ANY NECESSARY ADJUSTMENTS DURING CONSTRUCTION WILL BE DONE BY SAW-CUTTING AND/OR CORING ONLY. NO JACKHAMMERS, HAMMERS AND CHISELS OR PNEUMATIC TOOLS WILL BE ALLOWED.
 - CORBEL MADE OF RED CLAY BRICK WILL BE PERMITTED FOR THE "CONE SECTION" OF THE 4'-0" CATCH BASIN ONLY.
 - FOR CATCH BASIN TYPES "D" AND "F" STEPS MUST BE INSTALLED ON THE CURB SIDE OF THE STRUCTURE.
 - THE CENTERLINE OF THE OPENING MUST BE WITHIN 2'-0" FROM THE STEPS.
 - ALTERNATE TOP SLAB IS ONLY FOR USE WHEN REDUCING SECTION DOES NOT FIT BECAUSE OF STRUCTURE DEPTH.
 - REFER TO STD. S.2.0 FOR MAXIMUM PIPE SIZES.

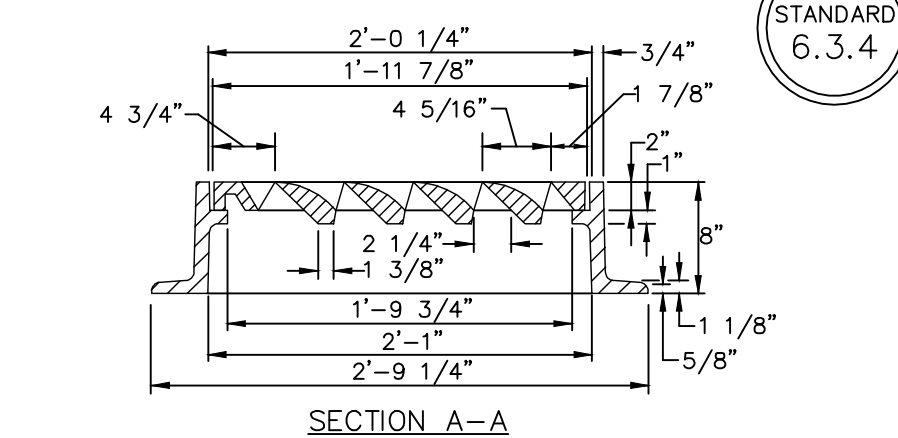
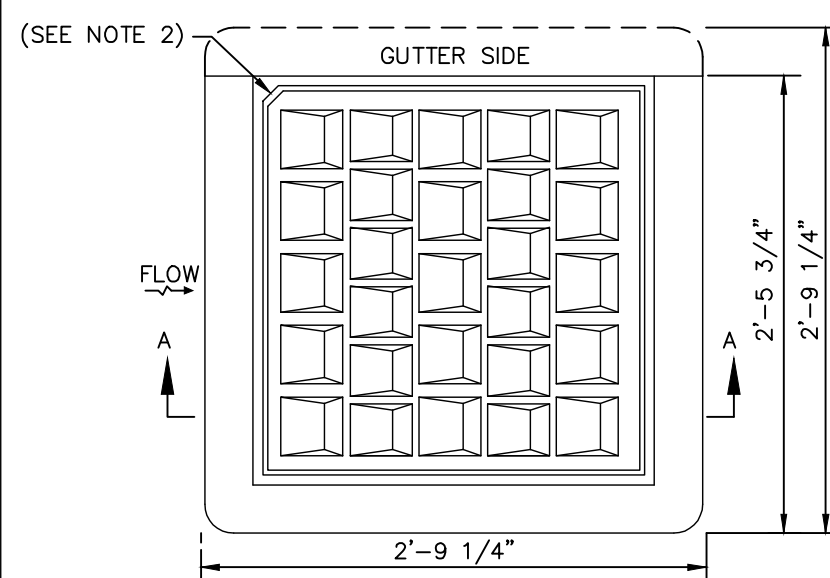
PRECAST 4'-0", 5'-0", OR 6'-0" ROUND CATCH BASIN
NOT TO SCALE

WATER DETAILS

- ALL WORK AND MATERIAL OF WATER LINE SHALL BE IN ACCORDANCE WITH RULES AND REGULATIONS SET FORTH BY THE TOWN OF SOUTH KINGSTOWN. INSTALLATION PROCEDURES AND MATERIALS TO CONFORM TO AWWA SPECIFICATIONS AND ART. III OF THE SOUTH KINGSTOWN TOWN ORDINANCES. A PRECONSTRUCTION MEETING SHALL BE HELD PRIOR TO ORDER OF MATERIALS AND WATER MAIN INSTALLATION.
- WATER MAIN INSTALLATION SHALL BE INSPECTED BY THE TOWN OF SOUTH KINGSTOWN PRIOR TO BACKFILLING THE TRENCH.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE TOWN OF SOUTH KINGSTOWN FIVE (5) DAYS PRIOR TO START OF CONSTRUCTION.
- CHLORINATION OF SYSTEM AND SAMPLING SHALL CONFORM TO AWWA REQUIREMENTS FOR SERVICE AND MAIN INSTALLATIONS.
- THE CONTRACTOR SHALL NOTIFY THE DIRECTOR OF WATER SUPPLY AT LEAST TWO WORKING DAYS IN ADVANCE FOR FINAL INSPECTION.
- WHENEVER, IN THESE SPECIFICATIONS, REFERENCE IS MADE TO THE REQUIREMENTS OF AWWA, ANSI, ASTM OR ANY OTHER STANDARD SPECIFICATION, THE REFERENCE IS MADE TO THE LATEST REVISIONS OR MODIFICATIONS OF SUCH REQUIREMENTS AND SPECIFICATIONS.
- ALL PIPE, FITTINGS, AND APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH AWWA AND ANSI STANDARDS AND THE MANUFACTURER'S SUGGESTED RECOMMENDATIONS FOR INSTALLATIONS.
- PIPELINES SHALL BE CONSTRUCTED IN DRY TRENCHES AND LAID TO THE LINE GRADE. WHENEVER PIPE IS TO BE INSTALLED IN SATURATED SOIL CONDITIONS A BEDDING OF PROCESSED GRANULAR FILTER MATERIAL SHALL BE PROVIDED.
- ALL BENDS, CROSSES, TEES, END CAPS AND PLUGS, VALVES AND ANY OTHER APPURTENANCES SHALL BE RESTRAINED WITH THRUST BLOCKS, STRAPPING OR ANCHORS.
- JOINING OF MECHANICAL AND PUSH ON TYPE JOINTS SHALL BE PERFORMED IN STRICT ACCORDANCE WITH AWWA STANDARD C-600, AND THE TOWN OF SOUTH KINGSTOWN SPECIFICATIONS. RUBBER GASKETS AND RINGS SHALL BE SUITABLE FOR USE WITH POTABLE WATER AND THOROUGHLY CLEANED TO REMOVE OIL, GRIT, AND OTHER FOREIGN MATTER PRIOR TO ASSEMBLY. THE GASKETS SHALL BE INSPECTED BY THE DIRECTOR OF WATER SUPPLY OR HIS AGENT TO INSURE THAT THEY ARE ACCEPTABLE.
- ALL FITTINGS USED FOR SERVICE CONNECTIONS SHALL BE IN ACCORDANCE WITH AWWA C-800 AND SOUTH KINGSTOWN SPECIFICATIONS.
- VALVES USED SHALL BE IN ACCORDANCE WITH AWWA C-500 SERIES, AND THE TOWN OF SOUTH KINGSTOWN REGULATIONS. VALVES SHALL BE MECHANICAL JOINT, DOUBLE DISC PARALLEL SEAT OR RESILIENT SEAT GATE STYLES AS FOLLOWS:
a. MUELLER CORPORATION STOP DOUBLE DISC PARALLEL SEAT.
b. AMERICAN DARLING VALVE RESILIENT MODEL CRS-80.
- BLOW-OFF ASSEMBLIES SHALL BE INSTALLED IN ACCORDANCE WITH AWWA C-800 SERIES, AND THE TOWN OF SOUTH KINGSTOWN.
- FIRE HYDRANTS SHALL BE INSTALLED IN ACCORDANCE WITH MUELLER A421, AWWA C-502 "DRY BARREL FIRE HYDRANTS" AND THE TOWN OF SOUTH KINGSTOWN SPECIFICATIONS.
- HYDROSTATIC AND LEAKAGE TESTS SHALL BE PERFORMED ON ALL COMPLETED SECTIONS OF NEWLY INSTALLED PIPELINE IN ACCORDANCE WITH AWWA C-600, AND TOWN SPECIFICATIONS.
- ALL PIPE SHALL BE DISINFECTED PRIOR TO BEING ACTIVATED IN ACCORDANCE WITH AWWA B-300, AWWA C-601 AND TOWN SPECIFICATIONS.
- DISTRIBUTION PIPING SHALL BE CL 52 DUCTILE IRON, DOUBLE CEMENT LINED, WITH PUSH ON JOINTS. PIPE SHALL MEET ANSI/AWWA C151/A21.51. JOINTS SHALL MEET ANSI/AWWA /C111/A21.11. AMERICAN MANUFACTURER ONLY.
- FITTINGS SHALL BE DUCTILE IRON MECHANICAL JOINT CL350 CEMENT MORTAR LINED AND MEET ANSI/AWWA/C153/A21.53. MECHANICAL JOINTS SHALL MEET ANSI/AWWA/C111/A21.11 AMERICAN MANUFACTURER ONLY.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL STATE AND TOWN PERMITS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS RELATED TO INSTALLATION OF THE WATER MAIN.
- EXCAVATIONS THAT EXTEND INTO PUBLIC RIGHT-OF-WAY SHALL BE BACKFILLED AND COMPACTED IN 12" LIFTS. A TEMPORARY SURFACE COURSE IS TO BE APPLIED. FINAL BINDER AND FINISH COURSE TO BE PLACED AFTER REMOVAL OF TEMPORARY PAVEMENT AND COMPACTION OF GRAVEL BASE. CONTRACTOR SHALL MAKE ROAD PASSABLE FOR ONE LANE OF TRAFFIC AT ALL TIMES.
- CONTRACTOR SHALL NOTIFY DIG SAFE PRIOR TO DIGGING ANY TRENCHES.
- WHEN WORK IS NOT IN PROGRESS AND AT THE END OF EACH DAY, ALL OPEN ENDS OF THE PIPE AND FITTINGS SHALL BE SECURELY CLOSED.
- DIPRETE ENGINEERING DOES NOT CERTIFY AS TO THE WATER FLOW RATE OR RESIDUAL PRESSURE OF THIS WATER MAIN EXTENSION.

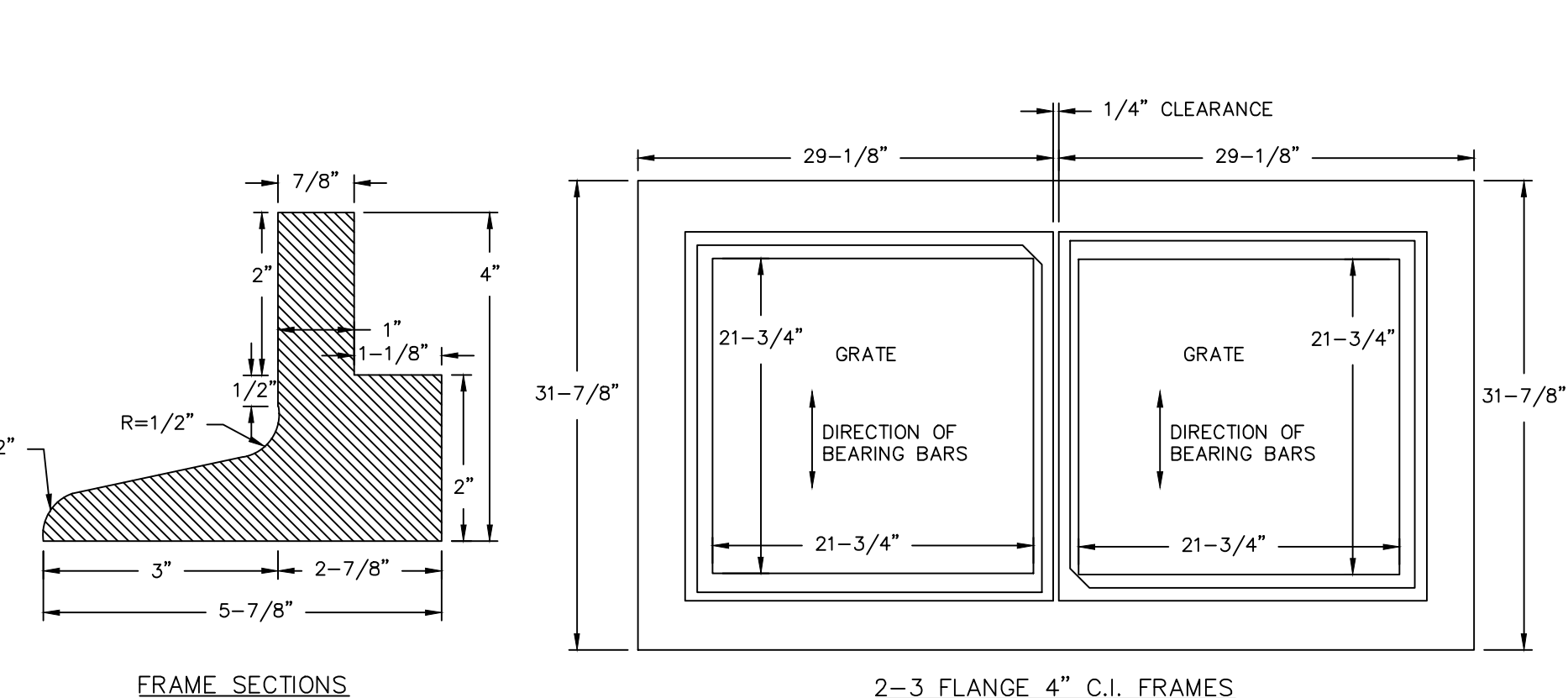
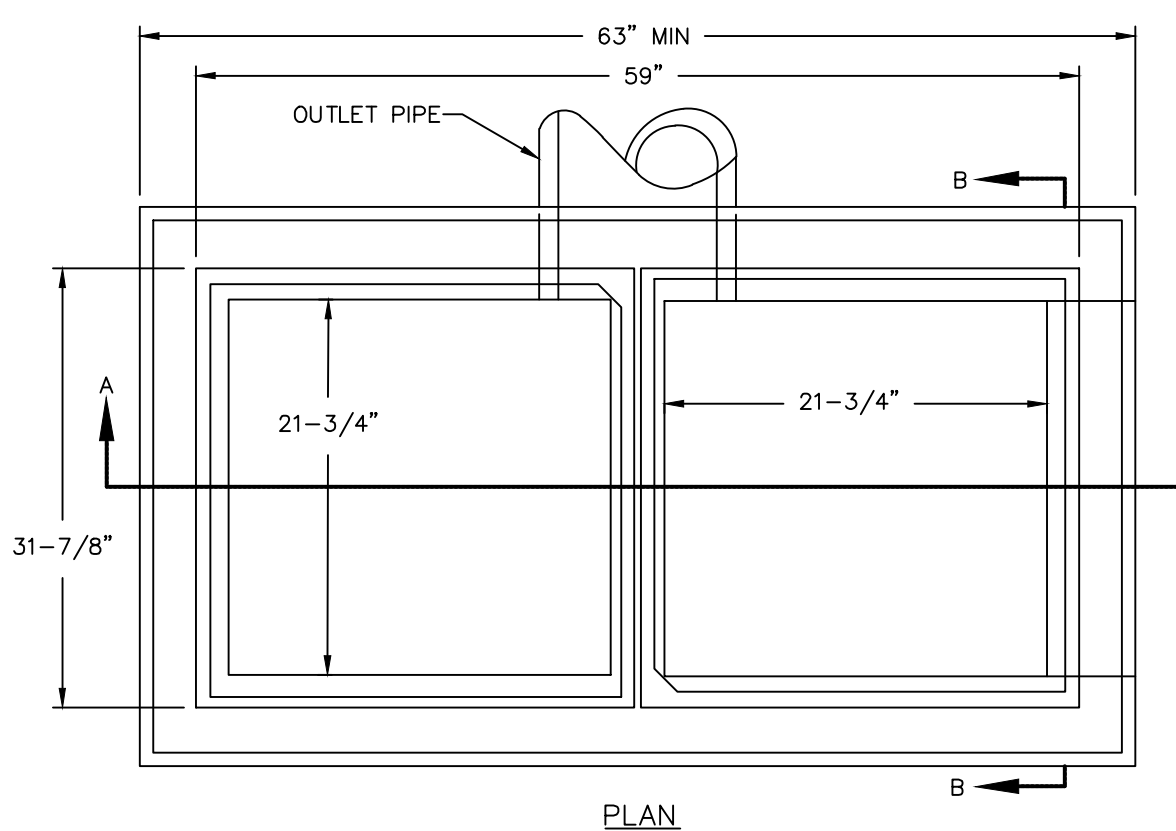


TYPICAL 4" OR GREATER WATER SERVICE N.T.S.

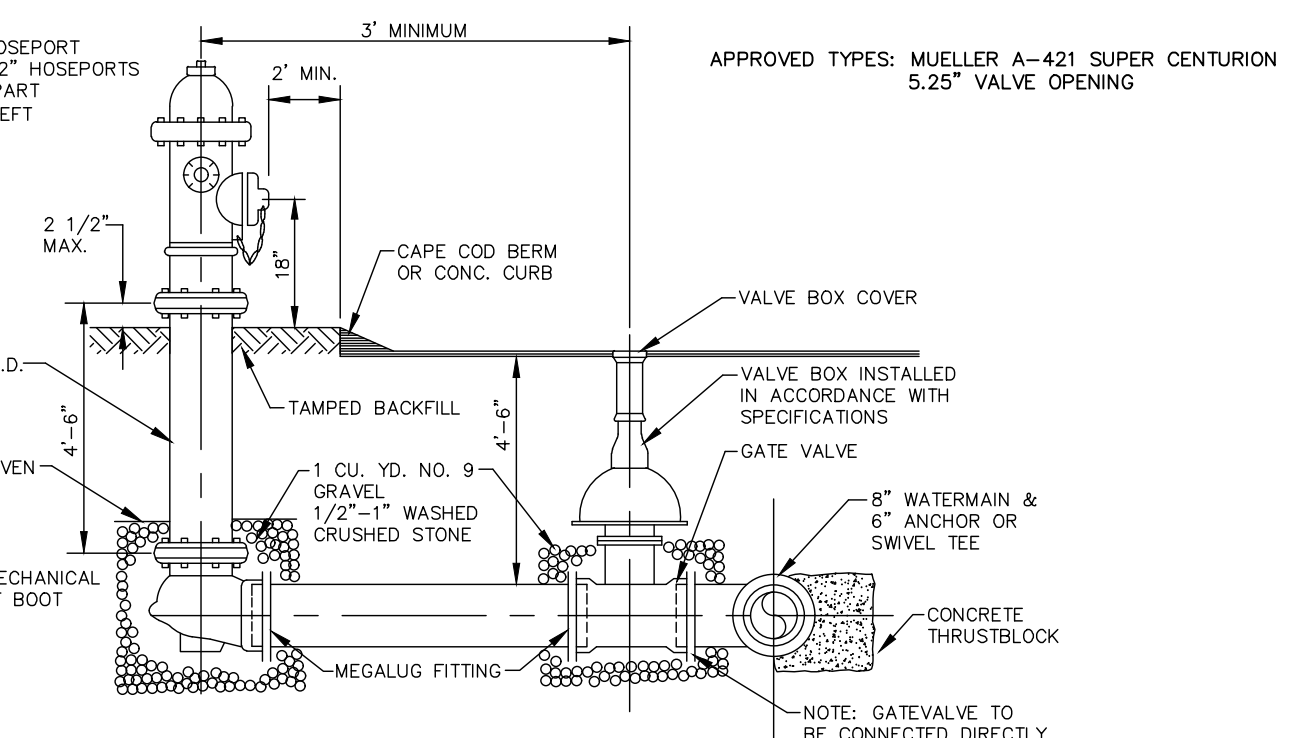


- NOTES:**
- FRAME AND COVER SHALL CONFORM TO SECTION M.04 OF THE R.I. STANDARD SPECIFICATIONS.
 - THIS CORNER LEFT FOR "LEFT" GRATE, DIAGONALLY OPPOSITE CORNER FOR "RIGHT" GRATE TO FIT IN KEYED FRAME.

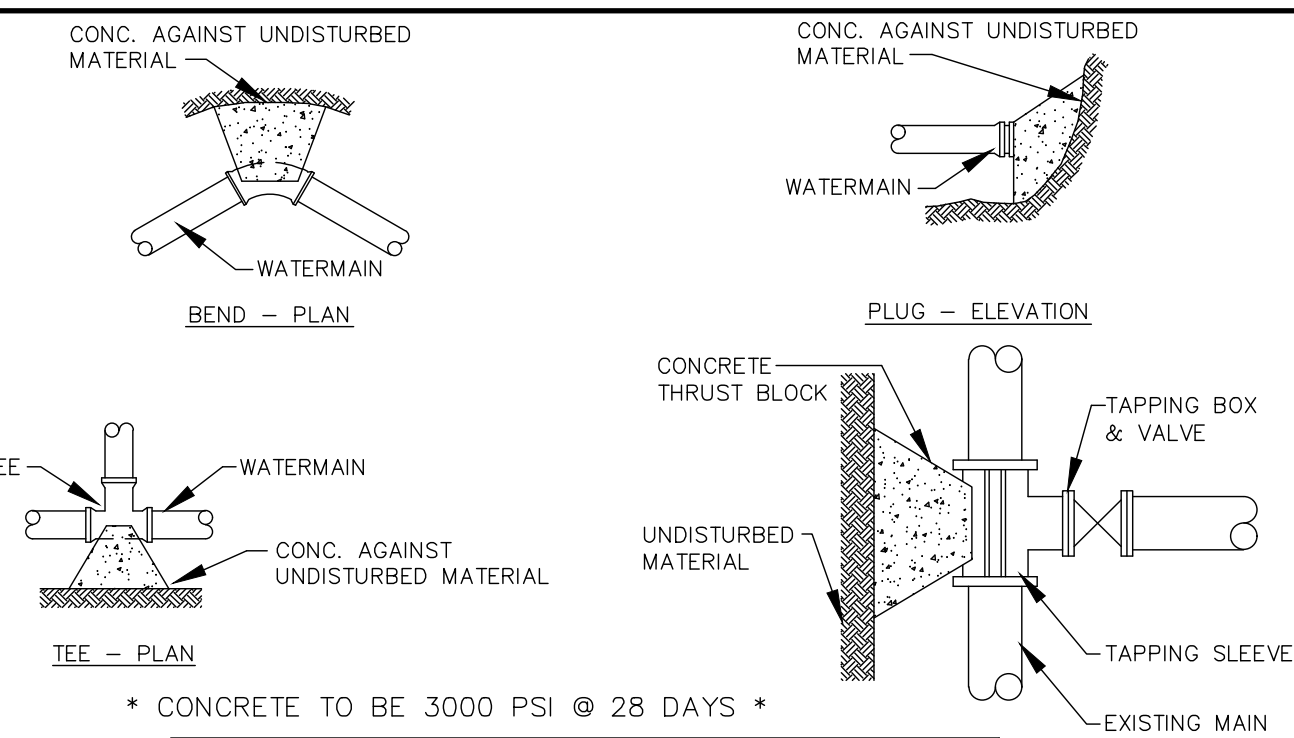
HIGH CAPACITY FRAME AND GRATE (BICYCLE SAFE)
NOT TO SCALE



DOUBLE CATCHBASIN GRATE
NOT TO SCALE



AWWA C502 DRY BARREL FIRE HYDRANT N.T.S.



THRUST BLOCK DETAILS N.T.S.

Diprete Engineering
Two Stafford Court Cranston, RI 02920
tel 401-943-1000 fax 401-644-6006 www.diprete-eng.com

CHRISTOPHER A. DUHAMEL
REGISTERED PROFESSIONAL ENGINEER CIVIL

This plan set must not be used for construction purposes unless stamped issued for construction and stamped by a registered Professional Engineer of Diprete Engineering.

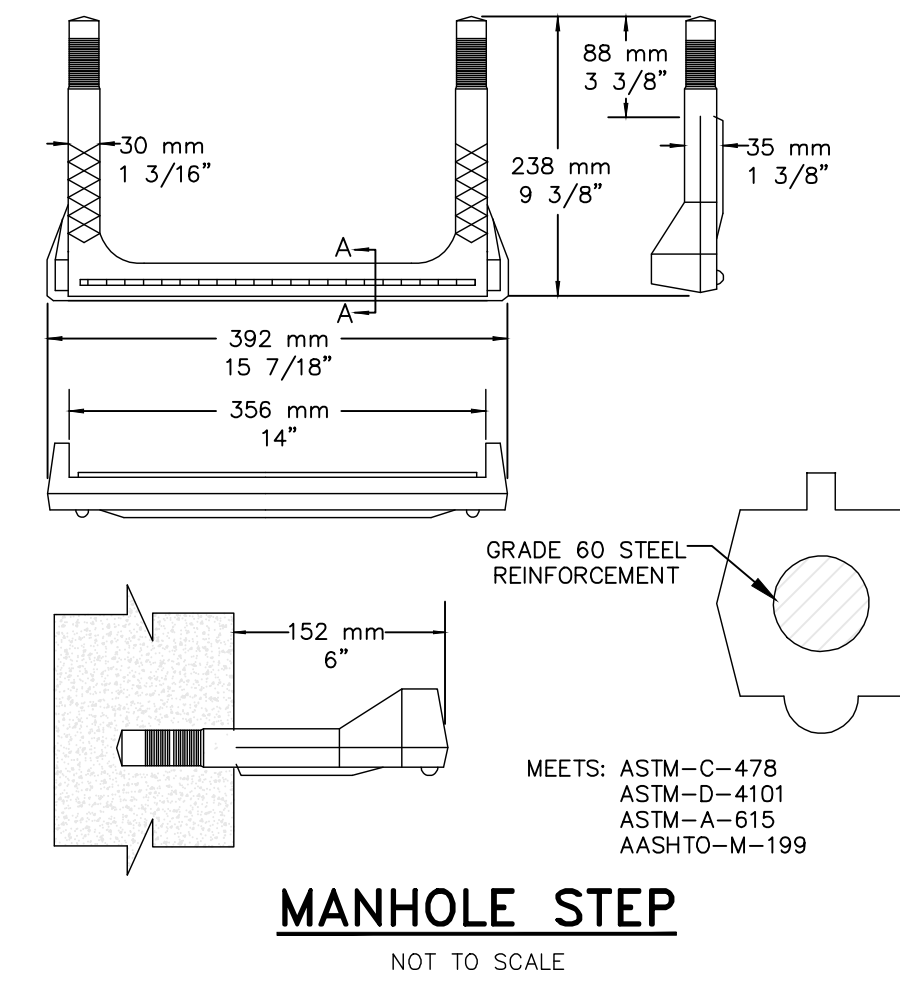
Response To R.I. Comments	S.P.R.	Date	By
Response To R.I. Comments	S.P.R.	02-27-2022	N.D.K.
Response To R.I. Comments	S.P.R.	10-23-2021	N.D.K.
Response To R.I. Comments	S.P.R.	10-20-2021	N.D.K.
Response To R.I. Comments	S.P.R.	09-29-2021	N.D.K.
Response To R.I. Comments	S.P.R.	08-31-2021	N.D.K.
Response To R.I. Comments	S.P.R.	07-20-2021	N.D.K.

Design By: N.D.K.

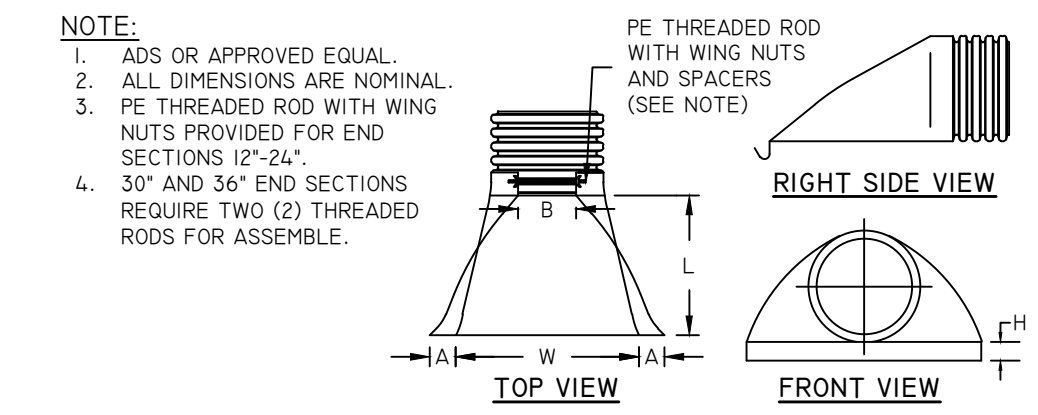
Detail Sheet - 3
Matunuck Beach Condos
Accessors: BRG, 02-27-2022
South Kingstown, Rhode Island
Applicant Owner
Matunuck Beach Road Partners, LLC
P.O. Box 385
Waketield, RI 02880
DE JOB NO: 2389-002 Copyright 2022 by Diprete Engineering Associates, Inc.

z:\meham\projects\2389-002 matunuck beach condos\autocad drawings\2389-002 cover.dwg Plotter: 2/18/2022

Z:\Main\Projects\2389-002_Matunuck_Beach_Condos\AutoCAD\Drawings\2389-002_Cover.dwg Plotfile: 2/18/2022

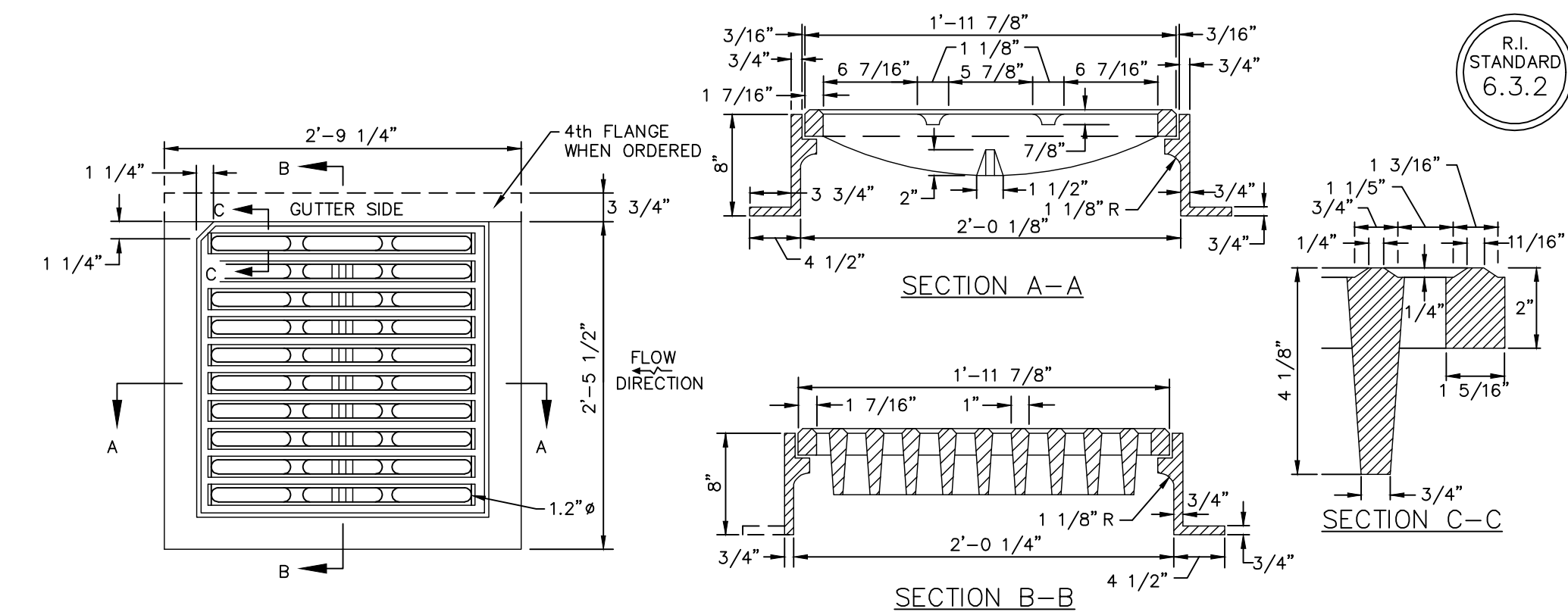


MANHOLE STEP
NOT TO SCALE

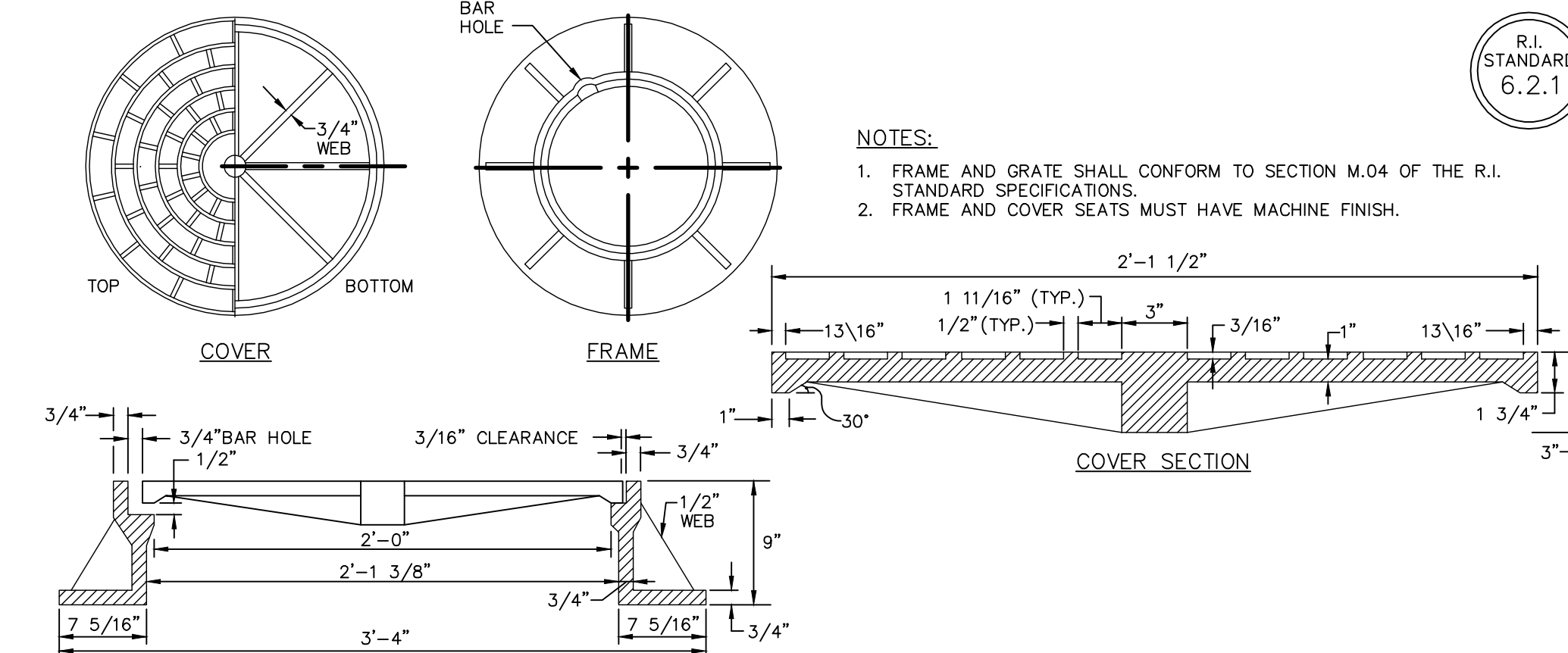


HDPE FLARED END SECTION
NOT TO SCALE

PART #	PIPE SIZE	A	B (MAX)	H	L	W
1210NP	12 IN (300 MM)	6.50 IN (165 MM)	10 IN (254 MM)	6.50 IN (165 MM)	25 IN (635 MM)	29 IN (737 MM)
1510NP	15 IN (375 MM)	6.50 IN (165 MM)	10 IN (254 MM)	6.50 IN (165 MM)	25 IN (635 MM)	29 IN (737 MM)
1810 NP	18 IN (450 MM)	7.50 IN (191 MM)	15 IN (381 MM)	6.50 IN (165 MM)	32 IN (813 MM)	35 IN (889 MM)
2410NP	24 IN (600 MM)	7.50 IN (191 MM)	18 IN (457 MM)	6.50 IN (165 MM)	36 IN (914 MM)	45 IN (1143 MM)
3015NP	30 IN (750 MM)	7.50 IN (191 MM)	12 IN (305 MM)	6.40 IN (218 MM)	58 IN (1473 MM)	63 IN (1600MM)
3615NP	36 IN (900 MM)	7.50 IN (191 MM)	25 IN (635 MM)	6.40 IN (218 MM)	58 IN (1473 MM)	63 IN (1600 MM)

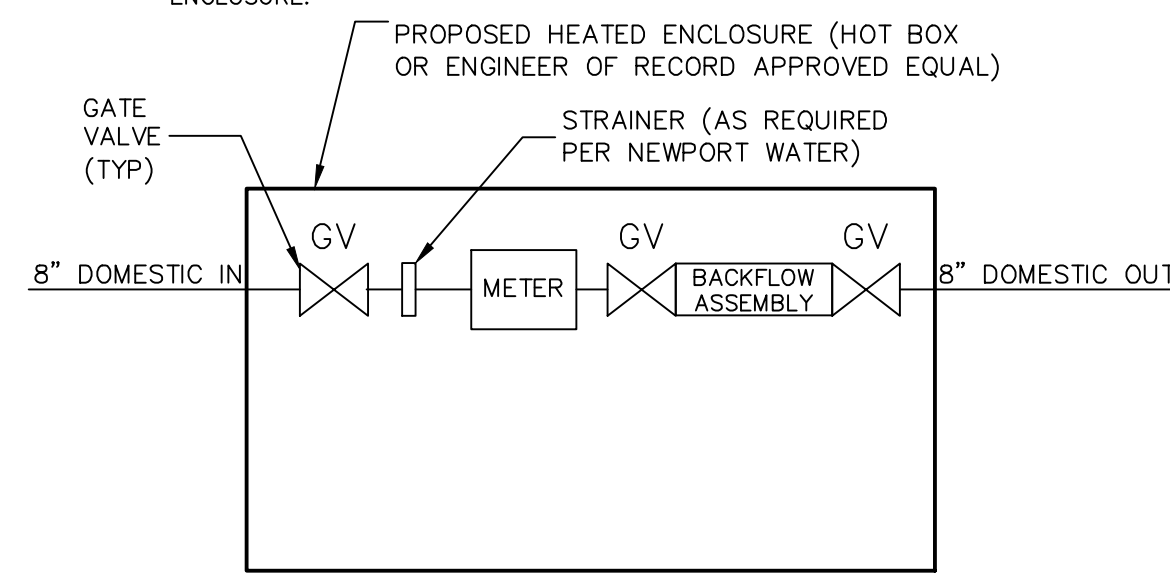


SQUARE FRAME AND GRATE (BICYCLE SAFE)
NOT TO SCALE



HEAVY-DUTY ROUND FRAME AND COVER
NOT TO SCALE

- NOTES:**
- CONTRACTOR TO PROVIDE SHOP DRAWINGS OF WATER METER PIT PRIOR TO WATERMAIN CONSTRUCTION. SHOP DRAWINGS TO BE APPROVED BY SOUTH KINGSTOWN WATER DEPT. PRIOR TO INSTALLATION.
 - METER MODEL IS A 8" NEPTUNE PROTECTUS III WITH A 8" WATTS LF909 RPZ BACKFLOW.
 - FINAL DESIGN SUBJECT TO REVIEW AND APPROVAL BY SOUTH KINGSTOWN WATER DEPT.
 - CONTRACTOR TO PROVIDE POWER AND TELEPHONE SERVICE TO HEATED ENCLOSURE.

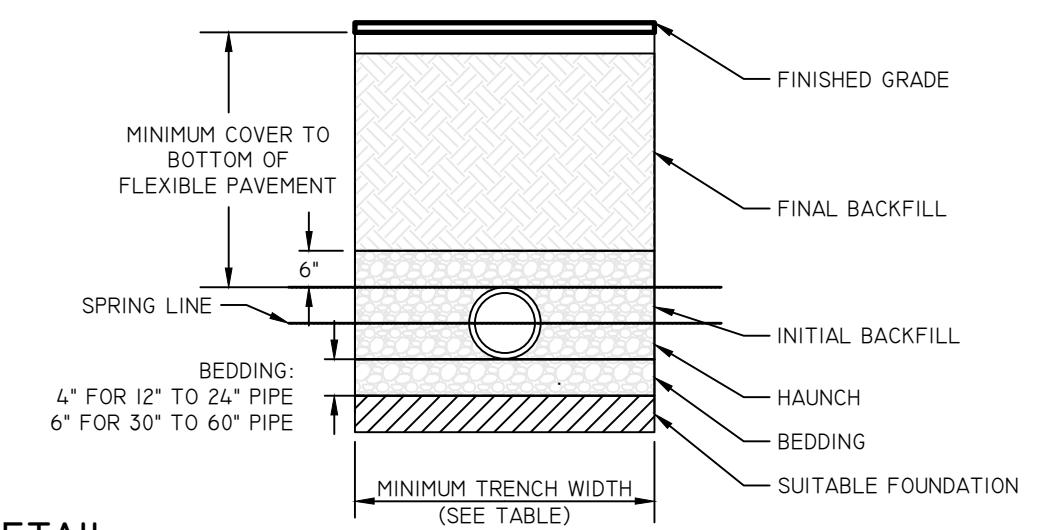


Schematic Heated Enclosure For Water Meter & Backflow
NOT TO SCALE

INSTALLATION NOTES:

- ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321. STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS, LATEST EDITION.
- MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL, WHEN REQUIRED.
- FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER, AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
- BEDDING: SUITABLE MATERIAL SHALL BE CLASS I, II OR III. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER, UNLESS OTHERWISE NOTED BY THE ENGINEER. MINIMUM BEDDING THICKNESS SHALL BE 4" (100MM) FOR 4"-24" (100MM-600MM), 6" (150MM) FOR 30"-60" (750MM-900MM).
- INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS I, II OR III IN THE PIPE ZONE EXTENDING NOT LESS THAN 6' ABOVE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
- MINIMUM COVER: MINIMUM COVER, H, IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM THE TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOTATION. FOR TRAFFIC APPLICATIONS, MINIMUM COVER, H, IS 12" UP TO 48" Ø PIPE AND 24" OF COVER FOR 60" Ø PIPE. MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.

PIPE Ø	MIN. TRENCH WIDTH	PIPE Ø	MIN. TRENCH WIDTH
4"	21"	24"	48"
6"	23"	30"	56"
8"	26"	36"	64"
10"	28"	42"	72"
12"	30"	48"	80"
15"	34"	60"	96"
18"	39"		



HDPE TRENCH DETAIL
NOT TO SCALE

This plan set must not be used for construction purposes unless stamped, issued for construction, and stamped by a registered professional engineer of DiPrete Engineering.
DiPrete Engineering shall not be responsible for any errors or omissions in this plan set unless it is shown that the engineer of DiPrete Engineering, DiPrete Engineering does not warrant plans by any other party.
The contractor is responsible for all of the means, methods, safety and construction of the work shown on this plan set. DiPrete Engineering assumes no responsibility for damages incurred due to implementation of this plan and design.
Existing utilities shown on this plan are approximate only. DiPrete Engineering assumes no responsibility for damages incurred due to locations of existing utilities. See Utility Note on Sheet 3.

S.P.	Response to R.C. Comments	Date	Description	By:
7	Response to R.C. Comments	02-27-2022		N.D.K.
6	Response to R.C. Comments	12-23-2021		N.D.K.
5	Response to R.C. Comments	10-26-2021		N.D.K.
4	CHK. Assent Application Submission	10-26-2021		N.D.K.
3	Work Submission	09-29-2021		N.D.K.
2	Permit Application Submission	08-11-2021		N.D.K.
1	PRELIMINARY PLAN Submission	07-20-2021		N.D.K.
0	PRELIMINARY PLAN Submission	07-20-2021		N.D.K.