

November 23, 2021

Town of South Kingstown
Planning Department
180 High Street
Wakefield, RI 02879

RE: Burger King #3384 – Development Plan Review

On behalf of our client, we are submitting the Site Plans for the modifications to the existing Burger King located at 126 Old Tower Hill Road, to be reviewed by the Planning Board. Following the November 10th, 2021 TRC meeting, we have made revisions to the Site Plans to address the Town's concerns.

One of the concerns raised was with respect to the two- way traffic flow into the Burger King site from the north end of the shared drive with the auto dealership. As you will note on the enclosed site plans, we have made this a one-way lane exiting the site. We have provided enough room for cars leaving the site to bypass the cars waiting in line at the drive-thru even if the line is backed up. Additionally, we are proposing new signage to indicate that this access is an exit only lane. This includes installation of a "No Right Turn" sign, an "Exit Only" sign, pavement arrows showing one directional traffic, and multiple way finding/directional signage leading cars through the southern access point of the site to the drive-thru lanes in the rear.

Another item that was discussed was the landscaping, or lack of, for the site as it's our understanding that the previous plantings were removed. To address this, we are proposing new trees along Old Tower Hill Road frontage as well as the raised island along the west side of the site separating the drive-thru lane from the car dealership. Additionally, plantings have been proposed in the rear of the site throughout the various raised curb islands.

Lastly, there was discussion regarding the stormwater for this site. The intent is to maintain the existing drainage patterns even with the slight modifications to the curbing. As noted on the Site Plan, the proposed project will decrease the impervious area by more than 1,400 SF. Thus there will be a reduction in both stormwater peak discharge and stormwater runoff volume, resulting in an overall improvement for the site.

Enclosed please find the following documents for your review:

- 15 Full-size copies of Architectural Elevations
- 8 Full-size copies of the Site Plan
- 7 (11x17) copies of the Site Plan
- PDF set of Site Plans sent via email to Jason Parker

Feel free to contact me should you have any comments, questions, or are in need of additional information.

Sincerely,

Todd Markevicz

Todd Markevicz, P.E.
Owner/Member

Headquarters

615 Fishers Run, Victor, NY 14564
phone 585.742.2222 • fax 585.924.4914
web www.apd.com • email info@apd.com

Office Locations

P.O. Box 11626, Santa Ana, CA 92711 • phone/fax 714.987.1380

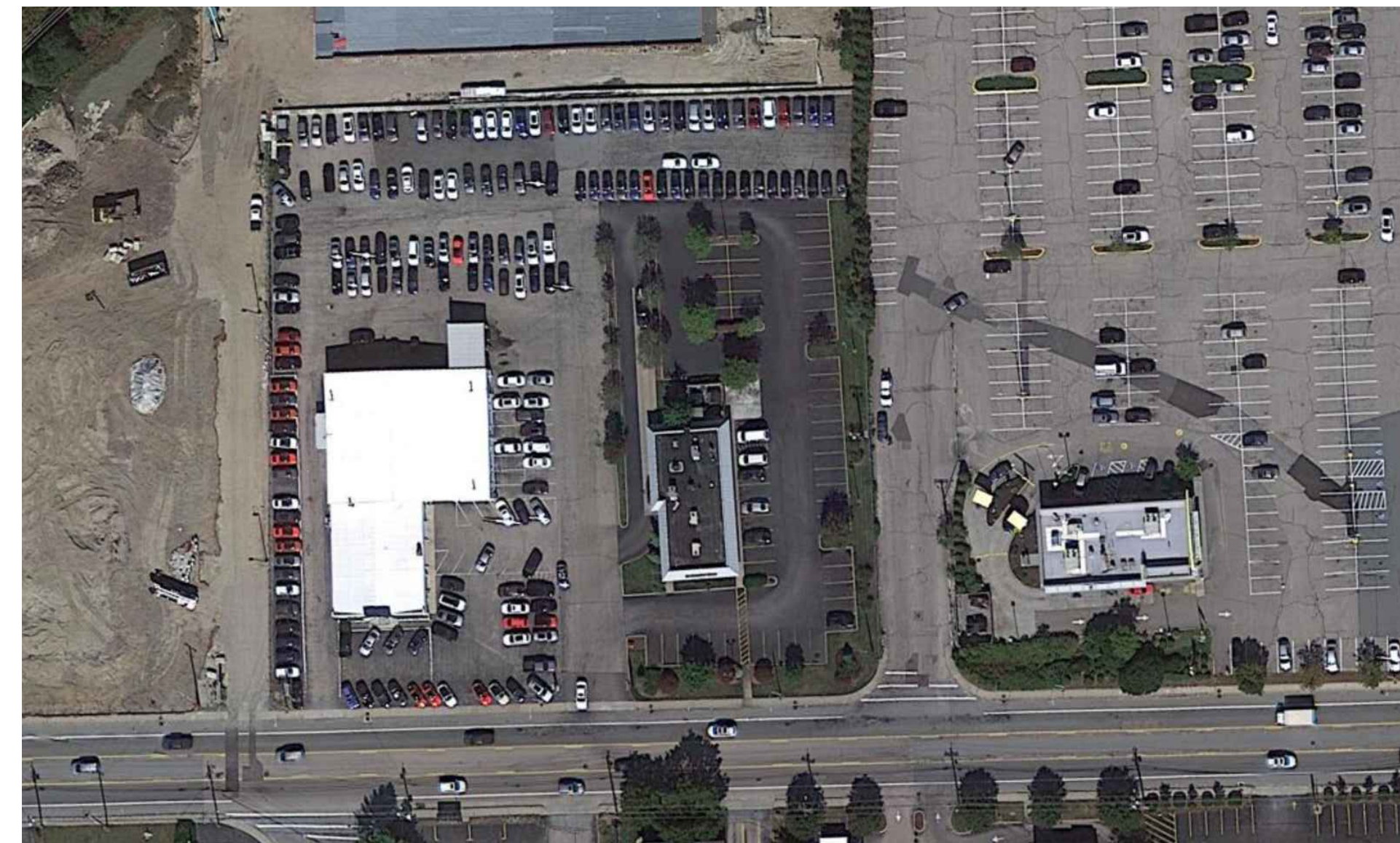


SITE DEVELOPMENT PLANS

FOR

BURGER KING - VILLAGE OF WAKEFIELD, RI

126 OLD TOWER HILL ROAD
WAKEFIELD, RI, 02879



LOCATION SKETCH
N.T.S.

DRAWING LIST:

- CS Cover Sheet
- C1 Demolition Plan
- C2 Site Plan
- C5 Planting Plan
- C6 Details Sheet
- C8 Specifications

CLIENT:

JSC MANAGEMENT GROUP
BURGER KING FRANCHISEE
PO BOX 217
LYNDONVILLE NY 14098
(585) 735-7198

ENGINEER:

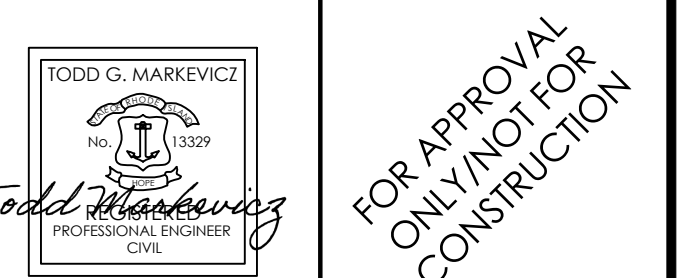
APD ENGINEERING & ARCHITECTURE
615 FISHERS RUN
VICTOR, NY 14564
(585) 742-0222
CONTACT: TODD MARKEVICZ, P.E.

Issued: _____ Date: _____

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Revisions: _____ Date: _____

1	Revised per TRC comments	11/22/21
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Seal 11/23/2021 Seal

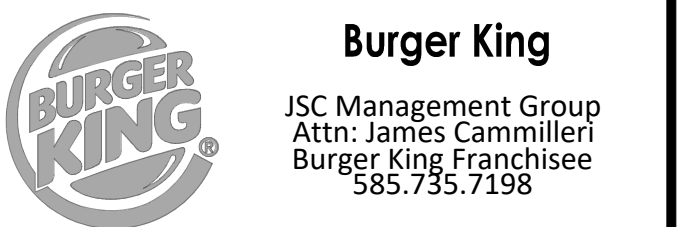
CIVIL ENGINEER OF RECORD
Name: Todd G. Markevicz
Rhode Island Registration No.: 13329
Exp. Date: June 30, 2023
Firm No.: PE.00LLC73-COA
Exp. Date: June 30, 2022

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Burger King
#3384
126 Old Tower Hill Road
Village of Wakefield, RI 02879
Washington County
Project Name & Location:

Cover Sheet

Drawing Name: _____

Date: 8/12/21	Project No.
Type: Type	No.
Drawn By: ASH	CS
Scale: N.T.S.	Drawing No.



DEMOLITION LEGEND

- (A) CURBING TO BE REMOVED
- (B) DIRECTIONAL SIGN TO BE REPLACED
- (C) PAVEMENT STRIPING/MARKINGS TO BE REMOVED
- (D) MISCELLANEOUS LANDSCAPING TO BE REMOVED
- (E) REMOVE EXISTING DRIVE-THRU MENU BOARD AND APPURTENANCES
- (F) PYLON SIGN TO BE REPLACED
- (G) RELOCATE EXISTING LIGHT POLE AND REMOVE EXISTING CONCRETE BASE
- (H) APPROXIMATE LIMITS OF PAVEMENT REMOVAL

REFERENCE:
1. SURVEY LAST REVISED ON 11/18/2021, PREPARED BY CONTROL POINT

0 15 30 60 90
Graphic Scale: 1"=30'

DIGSAFE
MA, NE, RI, RY, VT

CONTRACTOR SHALL CONTACT DIGSAFE AT 811 FOR LOCATION STAKE-OUT OF ALL UTILITIES. AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION. REFER TO WWW.DIGSAFE.COM FOR ADDITIONAL INFORMATION.

NORTH

Issued:	Date:
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Revisions:	Date:
1 Revised per TRC comments	11/22/21
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Todd G. Markevicz
No. 13329
PROFESSIONAL ENGINEER
CIVIL

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Seal 11/23/2021 Seal

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APD
ENGINEERING
ARCHITECTURE
615 Fishers Run Victor, NY 14564
585.742.2222 - www.apd.com

Burger King
JSC Management Group
Attn: James Camilleri
Burger King Franchisee
585.735.7198

Burger King
#3384
126 Old Tower Hill Road
Village of Wakefield, RI 02879
Washington County
Project Name & Location:

Demolition Plan

Drawing Name:

Date: 8/12/21	Project No.
Type: Type	No.
Drawn By: ASH	C1
Scale: 1"=30'	Drawing No.



SITE LEGEND:

- (A) CONCRETE CURB
- (B) CONNECT INTO EXISTING CURB AND PAVEMENT GRADE
- (C) EXISTING CONCRETE CURB TO REMAIN
- (D) DIGITAL MENU BOARD (TYP)
- (E) ORDER CONFIRMATION UNIT (TYP)
- (F) OPTIONAL PREVIEW BOARD (TYP)
- (G) CLEARANCE SIGN (TYP)
- (H) PROPOSED 4" SINGLE YELLOW SOLID STRIPING
- (I) PYLON SIGN (TYP)
- (J) DIRECTIONAL SIGN (TYP)
1. "DRIVE THRU"
2. "THANK YOU"
3. "EXIT ONLY"
- (K) PAVEMENT ARROW (TYP)
- (L) PROPOSED LANDSCAPING AROUND DRIVE-THRU AREA (REFER TO PLANTING PLAN)
- (M) TREE (REFER TO PLANTING PLAN)
- (N) 12' x 20' CONCRETE PAD
- (O) POST-MOUNTED SIGN "NO RIGHT TURN"
- (P) RELOCATED LIGHT POLE AND NEW CONCRETE BASE
- (Q) PROPOSED ASPHALT PAVEMENT

SITE DATA:

LOCAL JURISDICTION:	Wakefield, RI
ZONING CLASSIFICATION:	CH - Commercial Highway
PERMITTED USES:	Fast Food Establishment
OWNER:	Elle & Rob Realty Corp.
PROPERTY ACREAGE:	± 2.7 ACRES
PARKING REQUIREMENT:	1 Space for each 90 sq. ft. floor area = ±3140 SF = 35 Spaces
PROPOSED PARKING:	53 Spaces
EXISTING IMPERVIOUS:	± 0.71 ACRES
PROPOSED IMPERVIOUS:	± 0.68 ACRES

REFERENCE:
1. SURVEY LAST REVISED ON 11/18/2021, PREPARED BY CONTROL POINT



Issued:	Date:
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Revisions:	Date:
1	Revised per TRC comments 11/22/21
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Seal 11/23/2021 Seal

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TODD G. MARKEVICZ
No. 13329
REGISTERED PROFESSIONAL ENGINEER
CIVIL

CIVIL ENGINEER OF RECORD
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Rhode Island Registration No.: 13329
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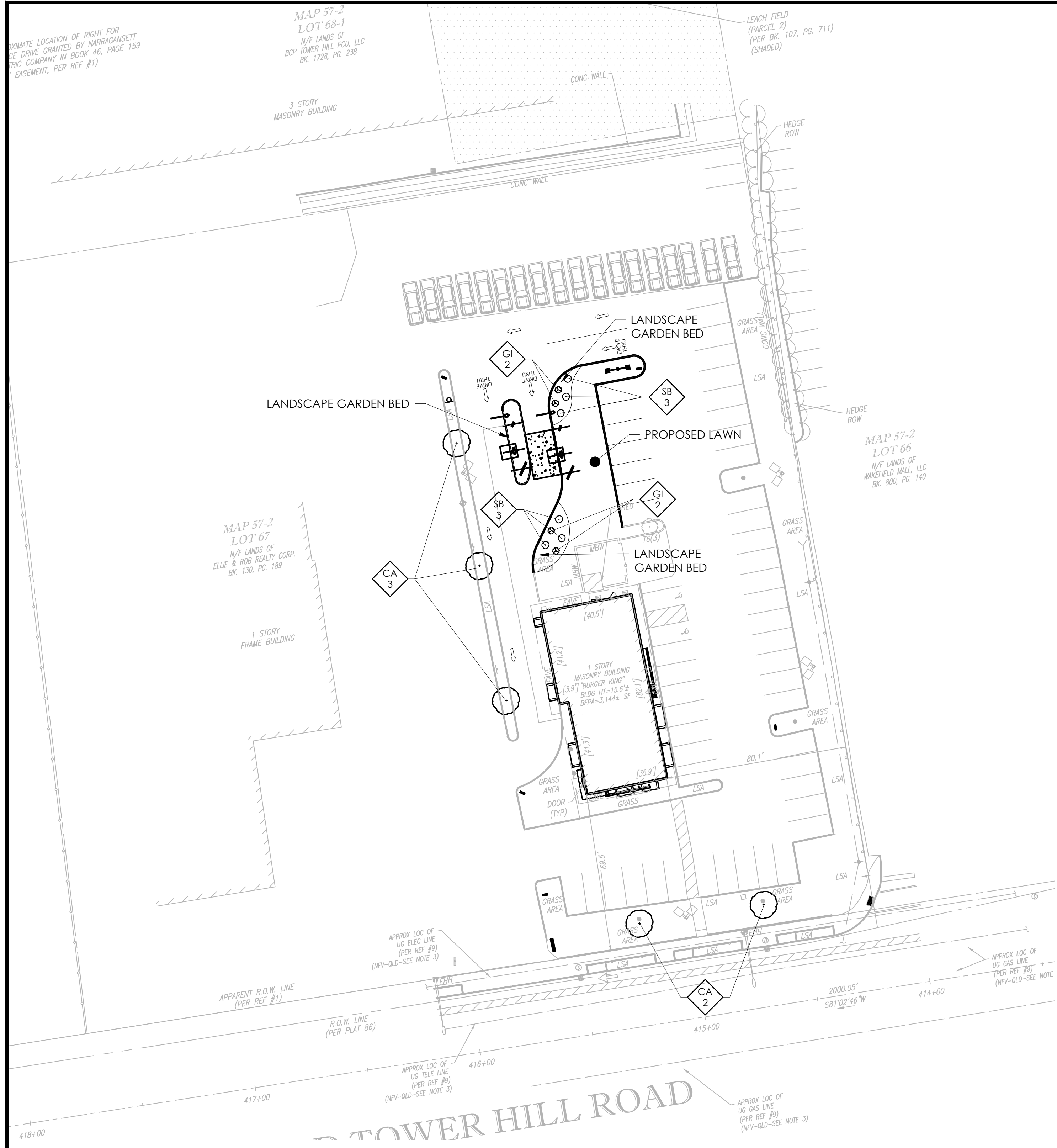
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Burger King
#3384
126 Old Tower Hill Road
Village of Wakefield, RI 02879
Washington County
Project Name & Location:

Site Plan

Drawing Name:	Project No.
Date: 8/12/21	No.
Type: Type	C2
Drawn By: ASH	Drawing No.
Scale: 1"=30'	



APPROXIMATE LOCATION OF RIGHT FOR DRIVE GRANTED BY NARRAGANSETT TRIC COMPANY IN BOOK 46, PAGE 159 EASEMENT, PER REF #1)

MAP 57-2 LOT 68-1 N/E LANDS OF BCP TOWER HILL COLL LLC BK. 1728, PG. 238

LEACH FIELD (PARCEL 2) (PER BK. 107, PG. 711) (SHADED)

3 STORY MASONRY BUILDING

MAP 57-2 LOT 67 N/E LANDS OF CLUE & ROO HEALTHY CORP. BK. 130, PG. 189

MAP 57-2 LOT 66 N/E LANDS OF WAKEFIELD WALL, LLC BK. 800, PG. 140

TREE AND SHRUB SCHEDULE				
QTY	PLANT KEY	BOTANICAL NAME	COMMON NAME	SIZE
5	CA	Acer Rubrum	Red Maple	4-6 FT
6	SB	Juniperus communis	Common Juniper	1-GAL.
4	GI	Rhododendron arborescens	Sweet Azalea	1-GAL.

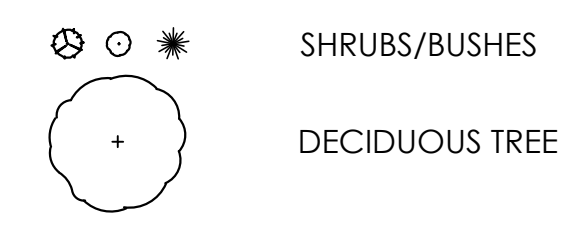
REFERENCE:
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LEGEND OF IMPROVEMENTS



Issued:	Date:
A	
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Revisions:	Date:
1 Revised per TRC comments	11/22/21
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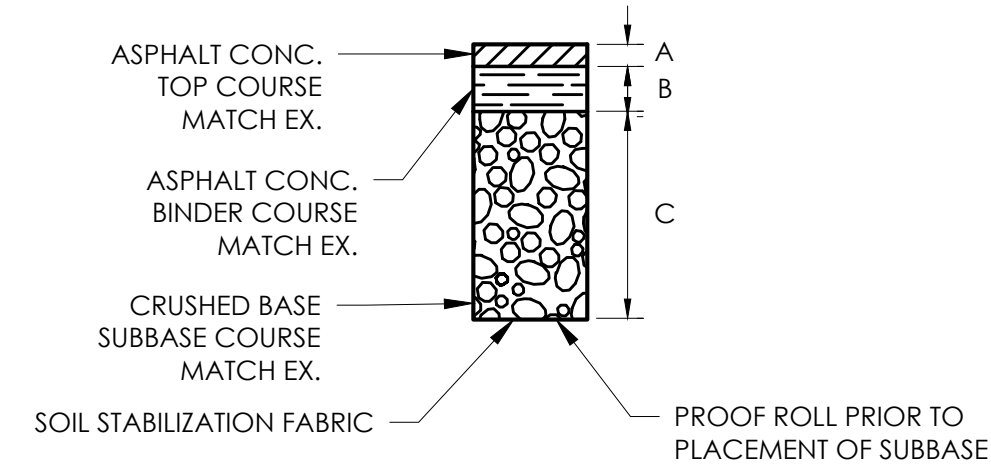
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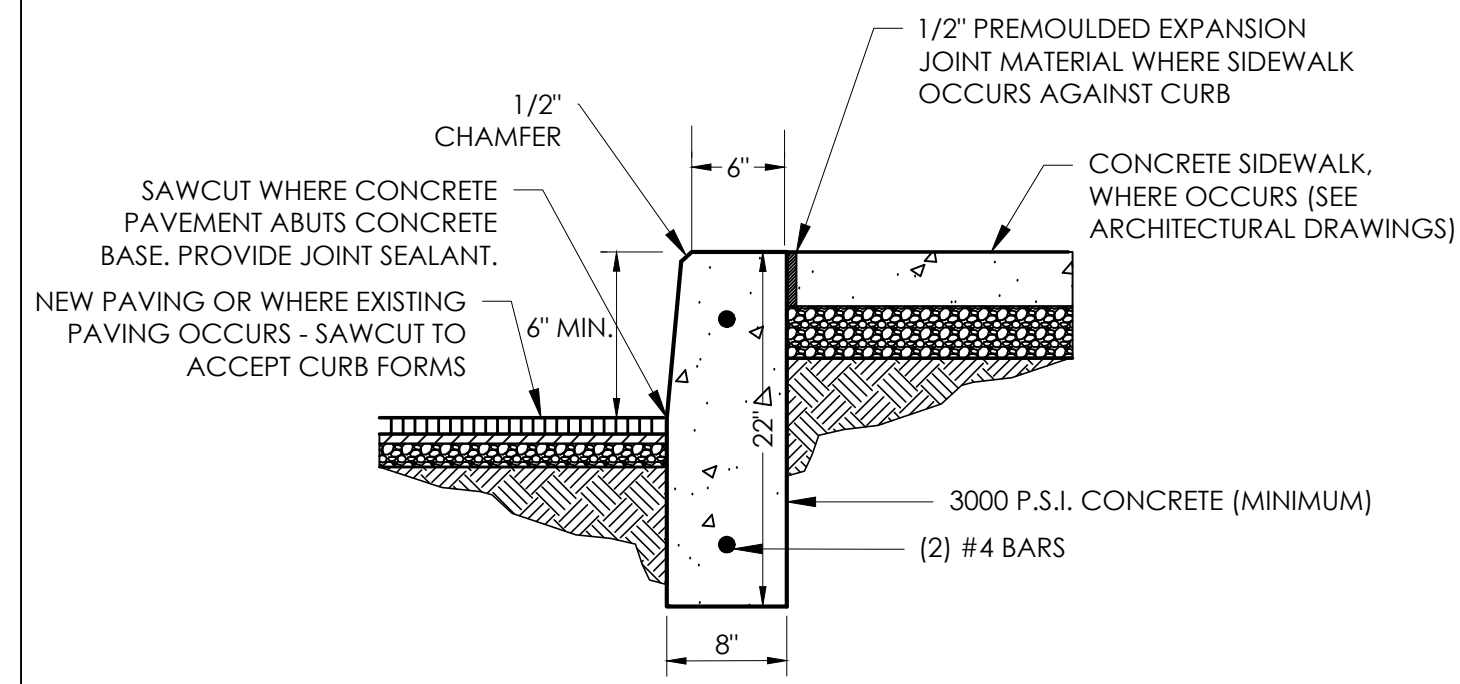
Burger King
#3384
126 Old Tower Hill Road
Village of Wakefield, RI 02879
Washington County
Project Name & Location:

Planting Plan	
Drawing Name:	Project No.
Date: 8/12/21	No.
Type: Type	C5
Drawn By: ASH	Drawing No.
Scale: 1"=30'	



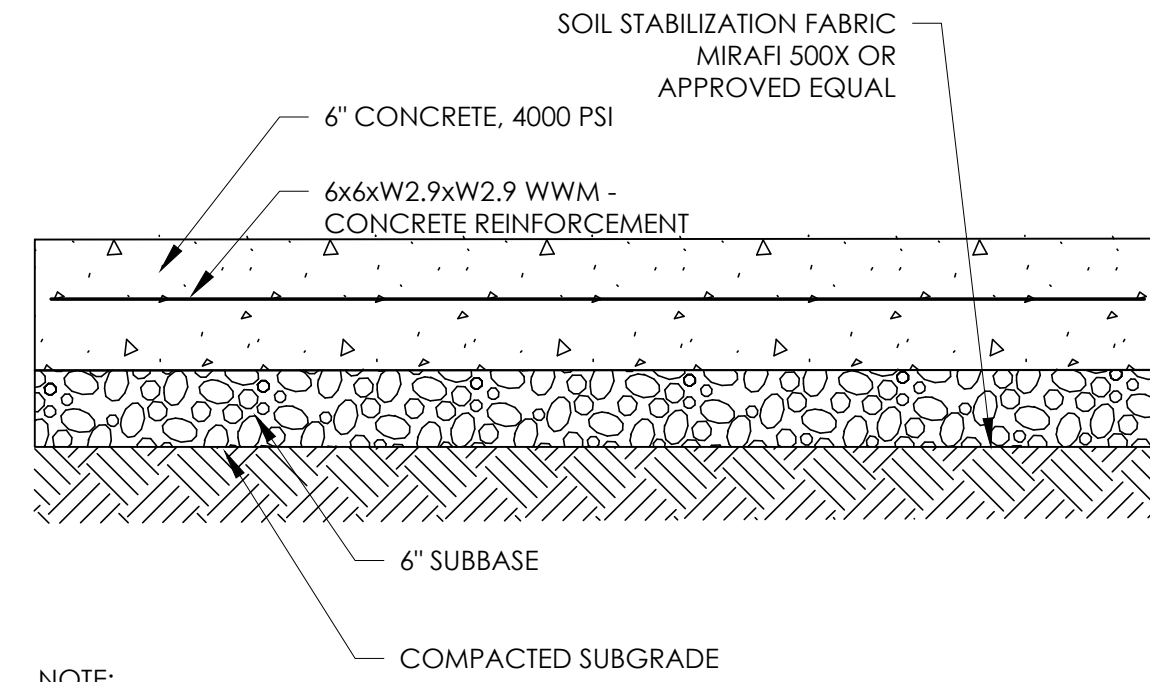
	REGULAR DUTY	HEAVY DUTY
A	MATCH EX.	MATCH EX.
B	MATCH EX.	MATCH EX.
C	MATCH EX.	MATCH EX.

PAVING SECTION DETAIL
N.T.S.



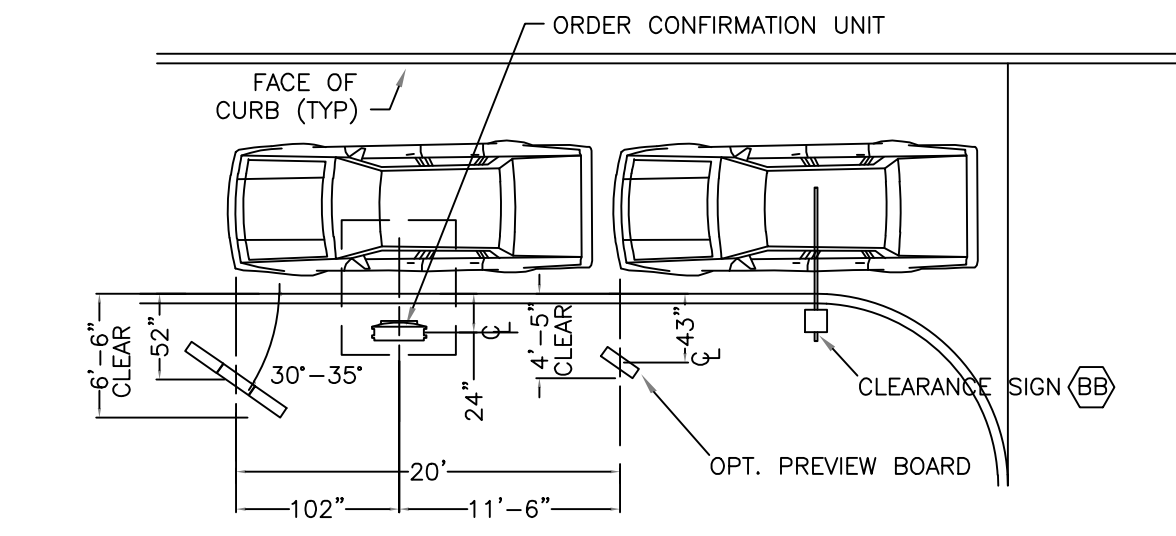
NOTES:
1. ALL CONCRETE IS TO MEET ACI-318 CONSTRUCTION STANDARDS.
2. WHERE NEW CURB IS TO BE INSTALLED WITHIN EXISTING PAVING, PROVIDE NEW BASE AND PAVING TO MATCH EXISTING.
3. INSTALL 1/2\"/>

CONCRETE CURB DETAIL
N.T.S.



NOTE:
1. EXPOSED CONCRETE SURFACE TO HAVE A LIGHT BROOM FINISH. CONTRACTION JOINTS 20' ON CENTER MAX., BOTH DIRECTIONS. SAWCUT 1/8\"/>

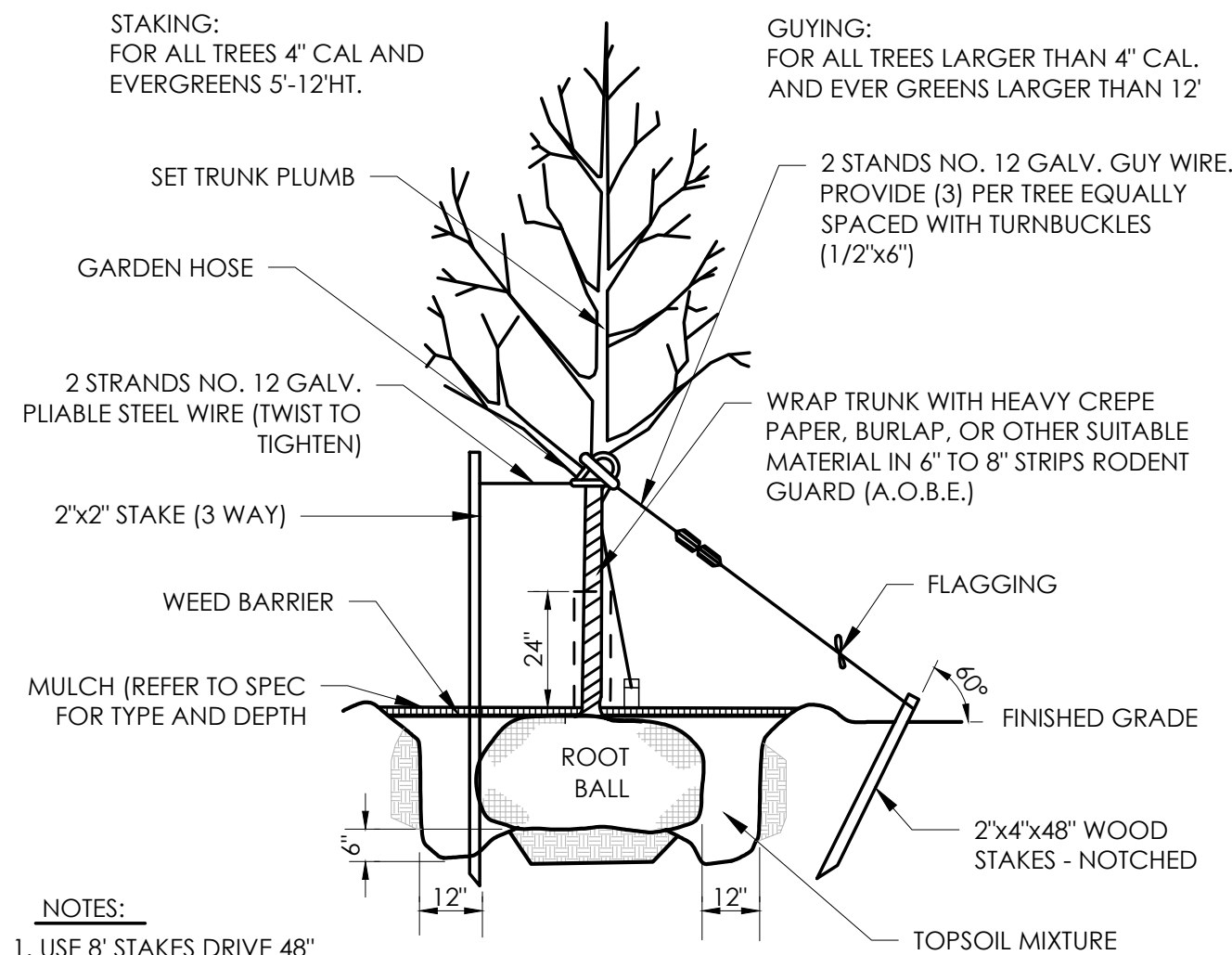
HEAVY DUTY CONCRETE (DRIVE THRU) DETAIL
N.T.S.



PREFERRED LAYOUT

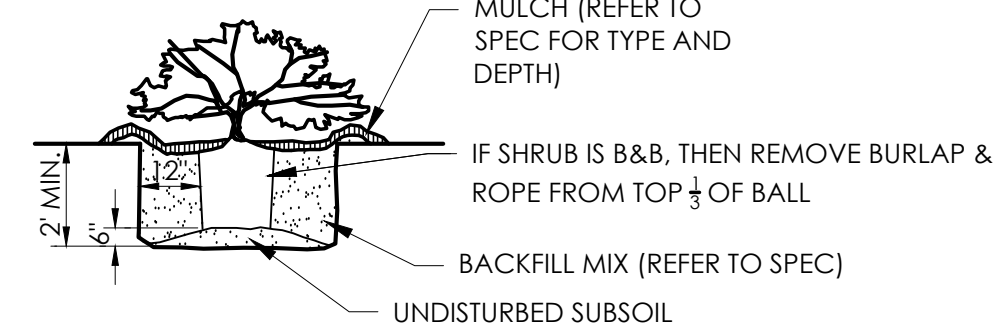
NOTE: THE PREFERRED LAYOUT SHOULD BE USED WHENEVER SPACE ALLOWS. 30° ROTATION ANGLE SHOULD BE CONSIDERED OPTIMAL. ANGLES BETWEEN THE PREFERRED LAYOUT AND MINIMUM LAYOUT ARE ACCEPTABLE AS LONG AS:
(1) THE DISTANCES FROM THE CENTERLINES OF THE SUPPORT POLES OF THE MENU BOARD AND PREVIEW BOARD TO THE FACE OF CURB ARE REDUCED BY 4\"/>

DRIVE-THRU ORDER STATION 2020 IMAGE
N.T.S.

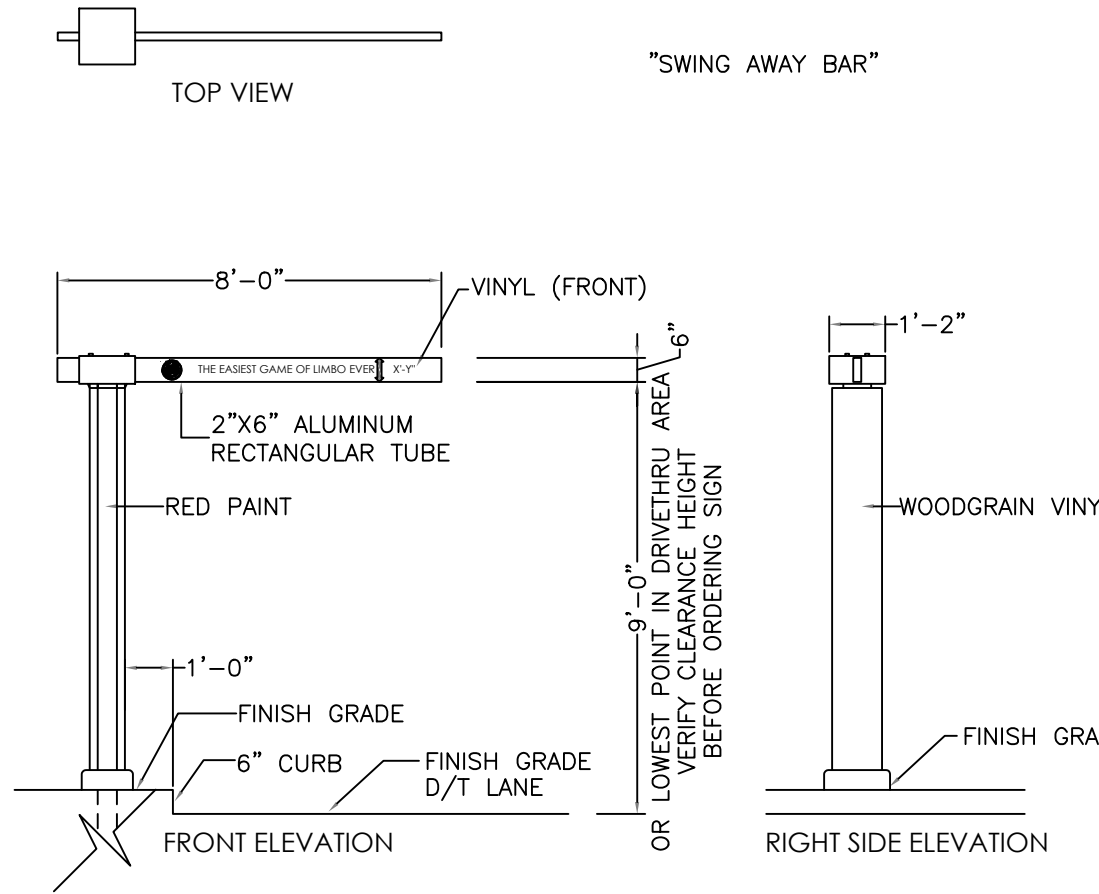


NOTES:
1. USE 8\"/>

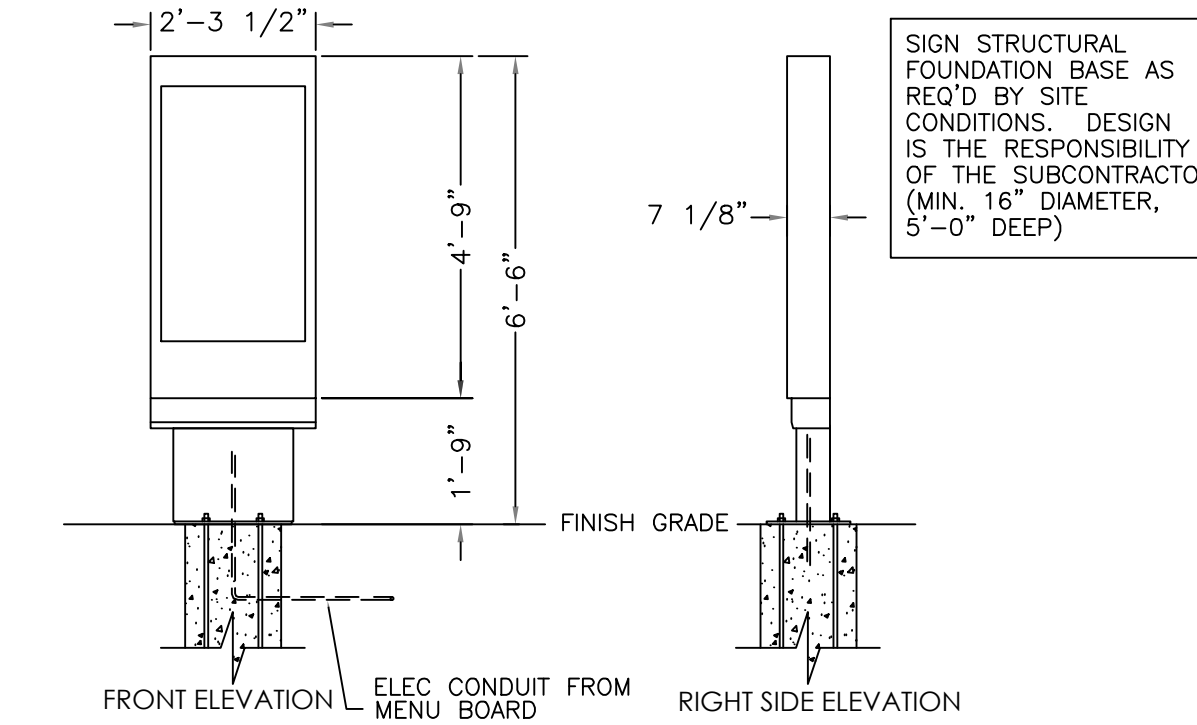
TREE PLANTING DETAIL
N.T.S.



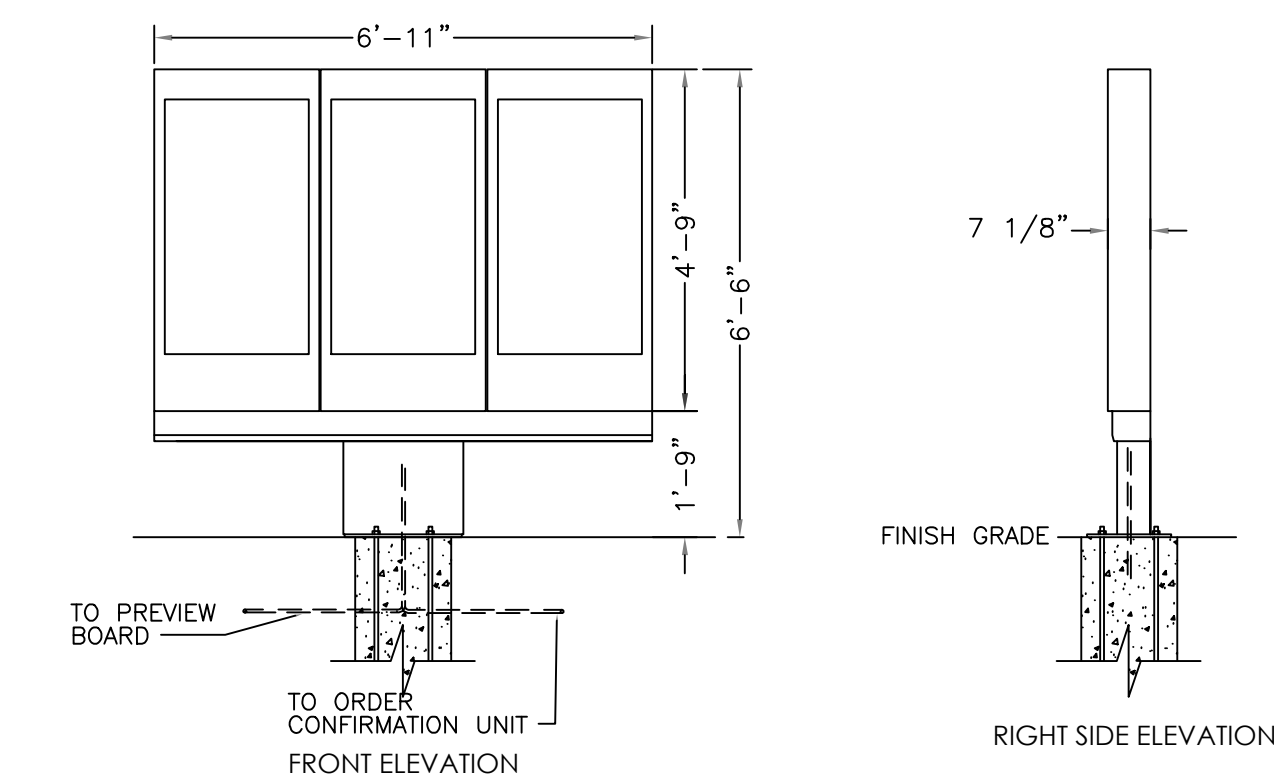
SHRUB PLANTING DETAIL
N.T.S.



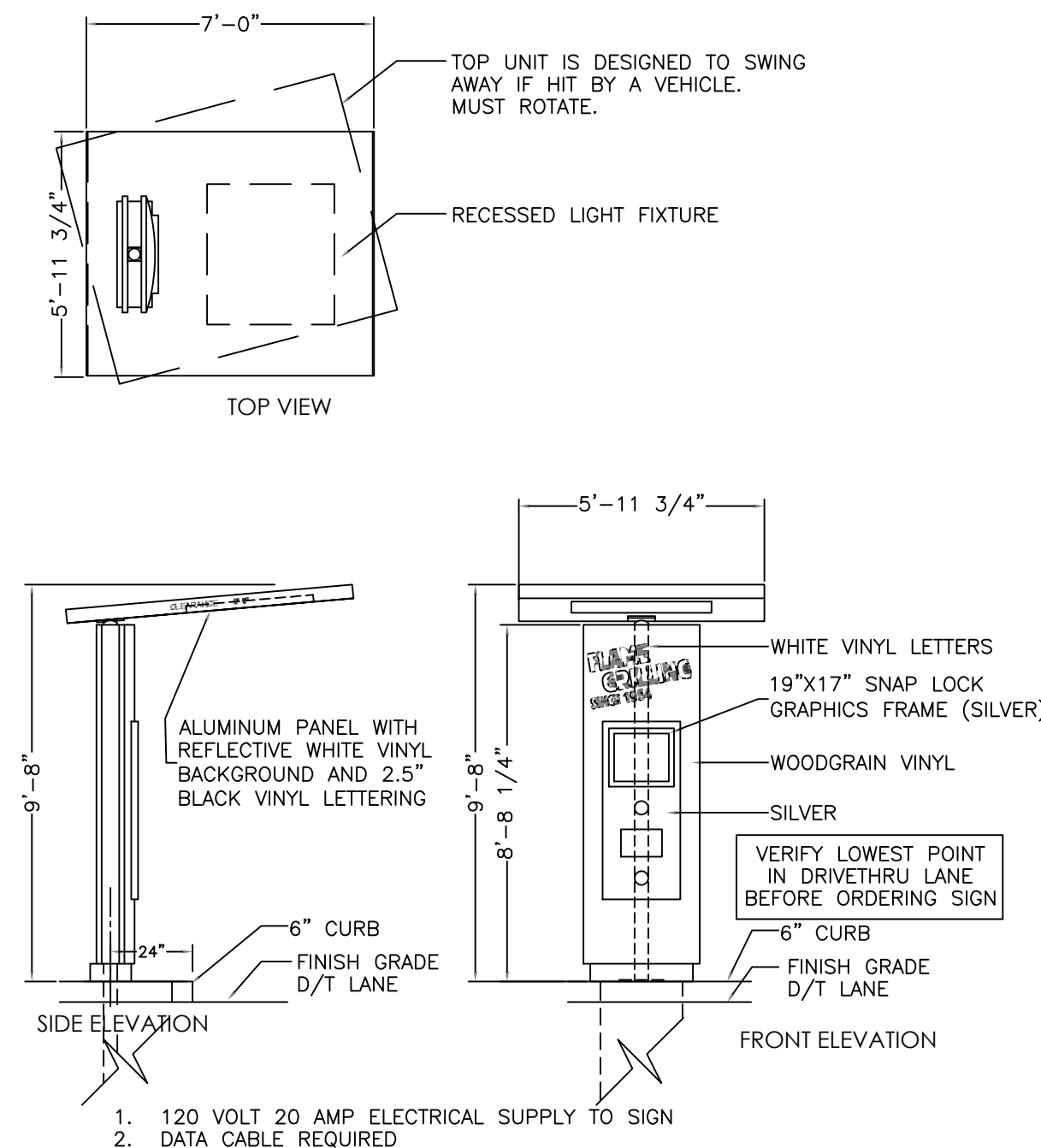
DRIVE-THRU CLEARANCE SIGN 2020 STANDARD IMAGE
N.T.S. NOVEMBER 1, 2017



OPTIONAL PREVIEW BOARD ELEVATIONS
N.T.S.

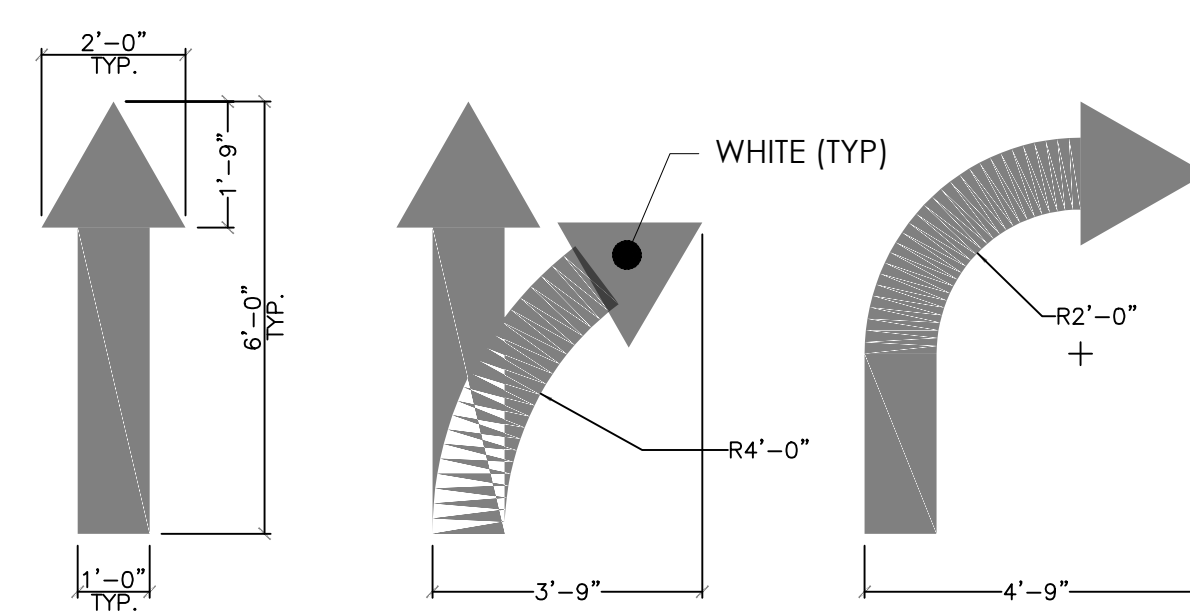


MENUBOARD ELEVATIONS
N.T.S.

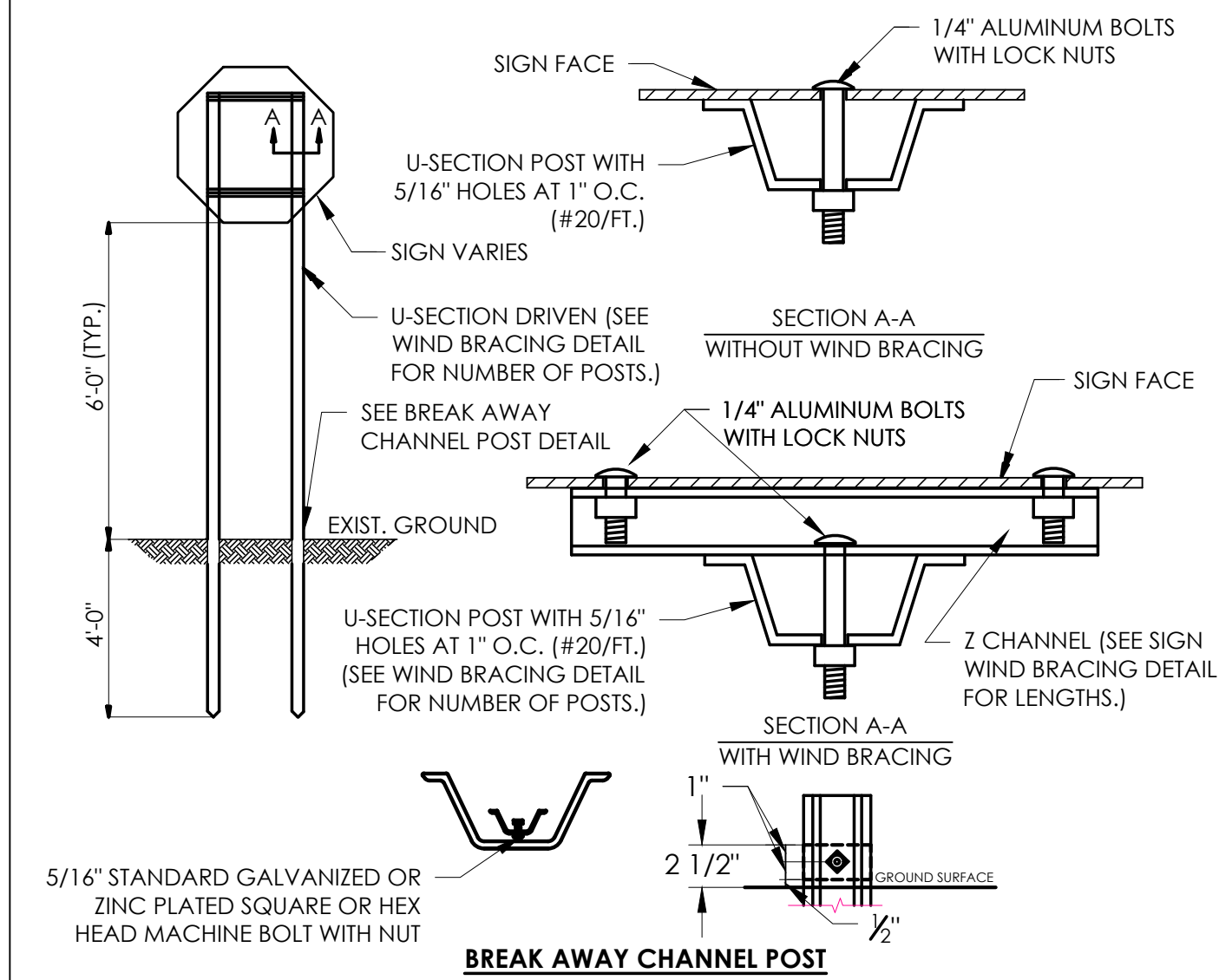


NOTE:
SIGN STRUCTURAL FOUNDATION AS REQUIRED BY SITE CONDITIONS. DESIGN IS THE RESPONSIBILITY OF THE SUBCONTRACTOR.

ORDER CONFIRMATION UNIT
N.T.S.



PAINTED TRAFFIC ARROWS
N.T.S.



TYPICAL POST MOUNTED SIGN INSTALLATION IN GRASS AREAS
N.T.S.

Issued: _____ Date: _____

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Revisions:	Date:
1 Revised per TRC comments	11/22/21
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Washington County
Project Name & Location:

Details Sheet

Drawing Name:	Project No.
Date: 8/12/21	No.
Type: Type	C6
Drawn By: ASH	Drawing No.
Scale: N.T.S.	

FINISH SCHEDULE:	
EB-1G	EXTERIOR EXISTING CMU
ECT-1G	EXTERIOR CERAMIC TILE, RED NATURAL
EF-1G	EXTERIOR FINISH, STUCCO, NICHHA FIBER CEMENT
EF-9G	NICHHA FIBER CEMENT, VINTAGEWOOD EF762, "CEDAR"
EP-2G	EXTERIOR PAINT BY PPG, TANNERS TAUPE
EP-4G	EXTERIOR PAINT BY PPG, MONTEREY CLIFFS
MC-1G	METAL COPING, TOP OF LIGHT BAND, PERMASNAP PLUS
MC-2G	METAL COPING, BELOW LIGHT BAND, PERMASNAP PLUS
MC-3G	METAL COPING, TOP OF ARCHON, PERMASNAP PLUS
MP-1G	PARAPET LIGHT BAND
MP-3G	METAL CANOPY, CLEAR ANODIZED

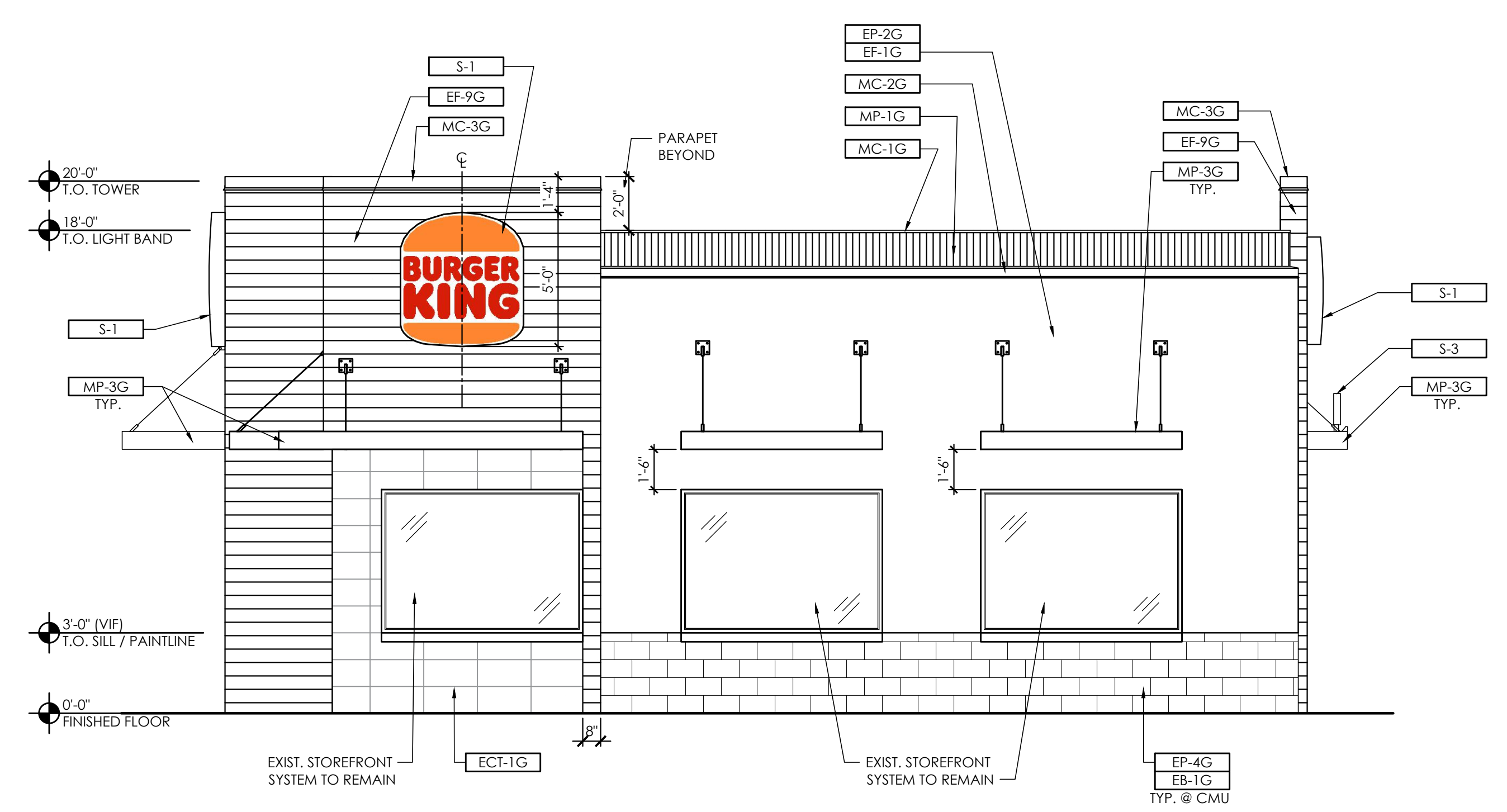
NOTE 1) SEE COMPLETE BURGER KING 20/20 GARDEN GRILL EXTERIOR FINISH SCHEDULE AT DESIGNWITHBK.COM FOR MORE INFORMATION.

NOTE 2) EXTERIOR PAINTS OVER PRIMER, PPG 17-921 SEAL-GRIP PRIMER.

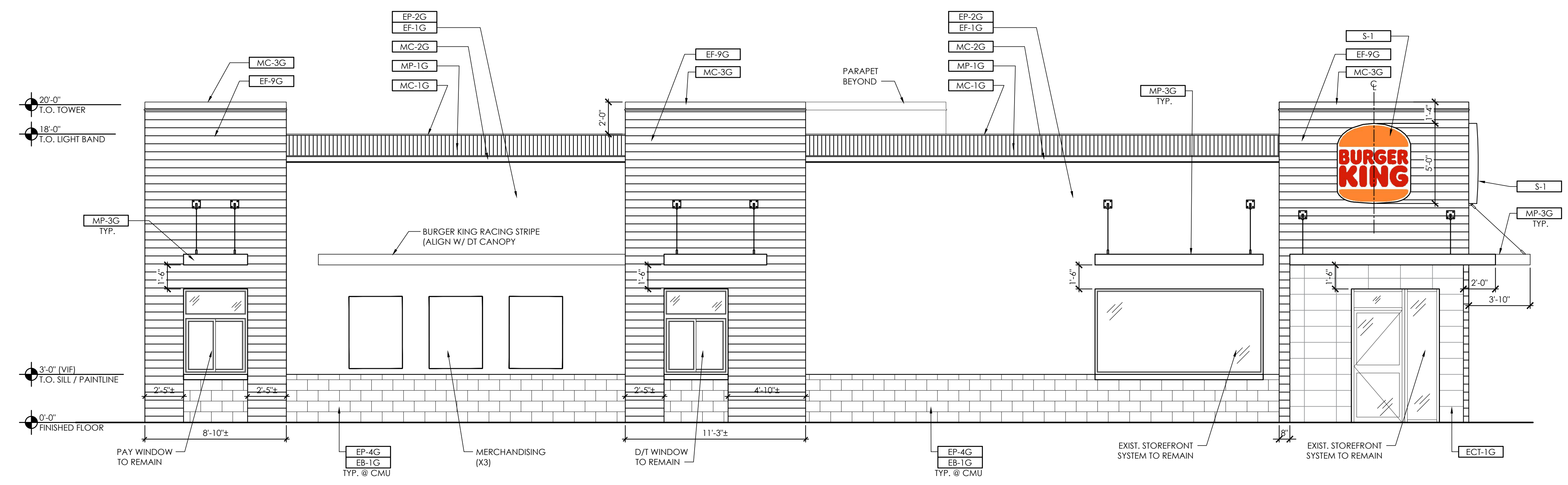
ALL FINISHES AS PER GARDEN GRILL FINISH SCHEDULE. REFER TO EXTERIOR FINISH SCHEDULE AT DESIGNWITHBK.COM.

Issued:	Date:
A Issued for Review	10/03/20
B Issued for Permit	xx/xx/21
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Revisions:	Date:
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1 South (Front) Elevation
SCALE: 1/4" = 1'-0"

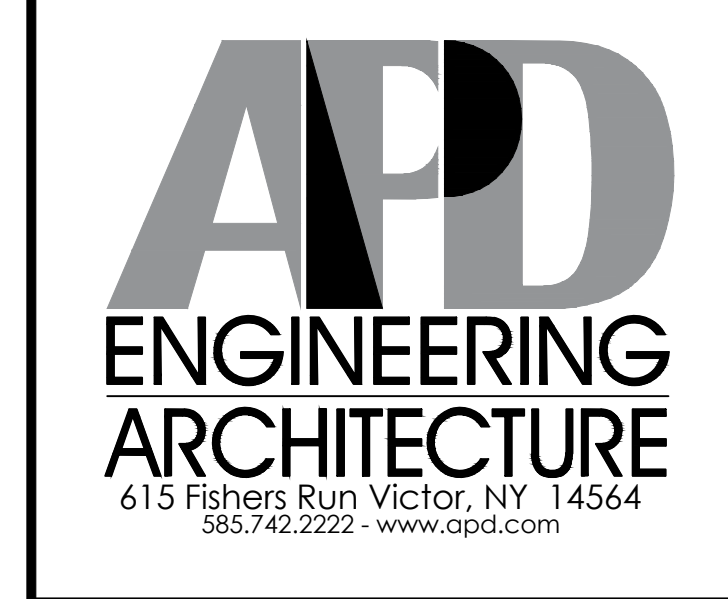


2 West (Drive-Thru) Elevation
SCALE: 1/4" = 1'-0"

Seal Seal
PROJECT ARCHITECT/ENGINEER DATE
Dan Sargent
PROJECT LEAD DATE
Alexandra Lemer
PROJECT DESIGNER DATE
John Lynch

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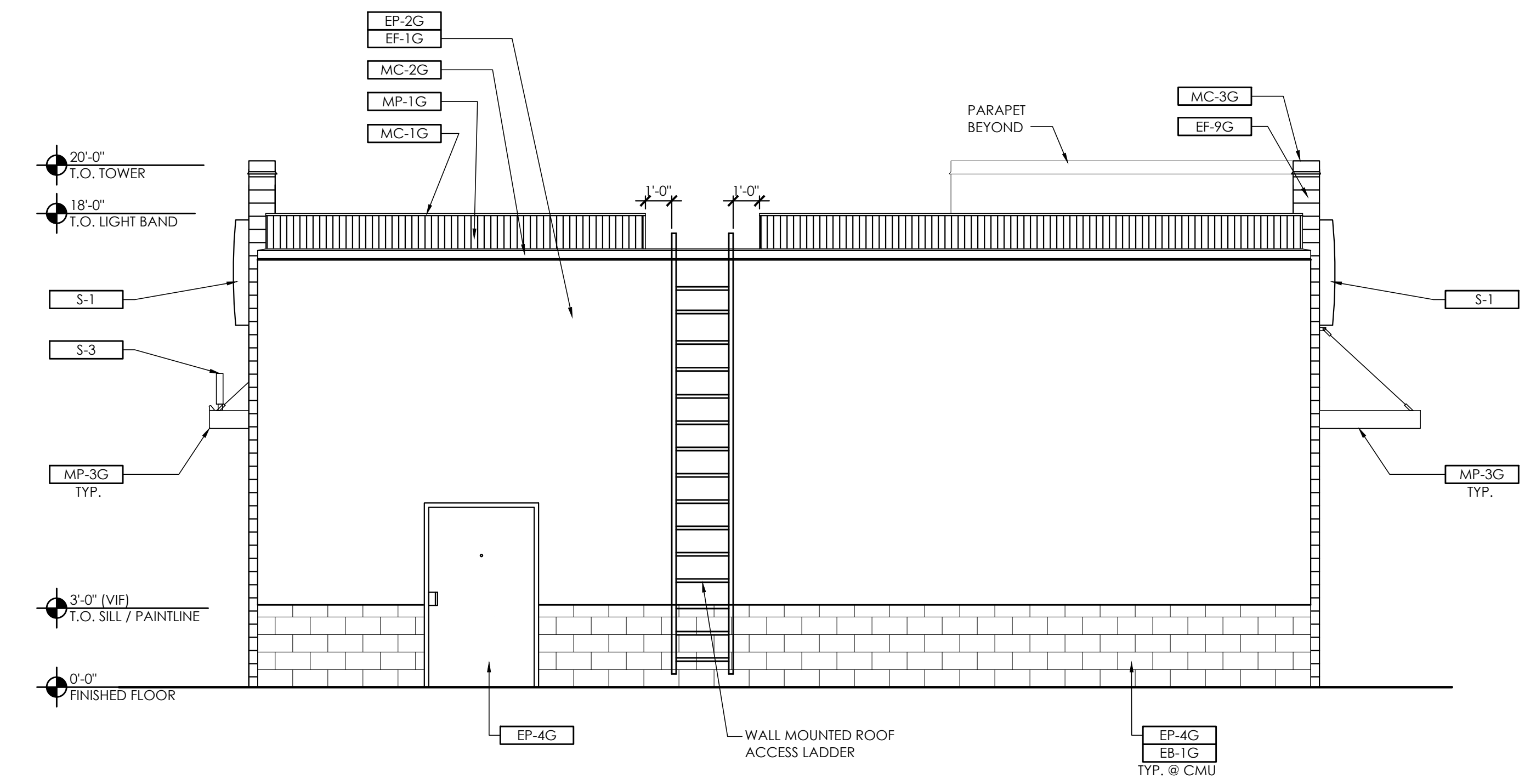


JSC
Management Group

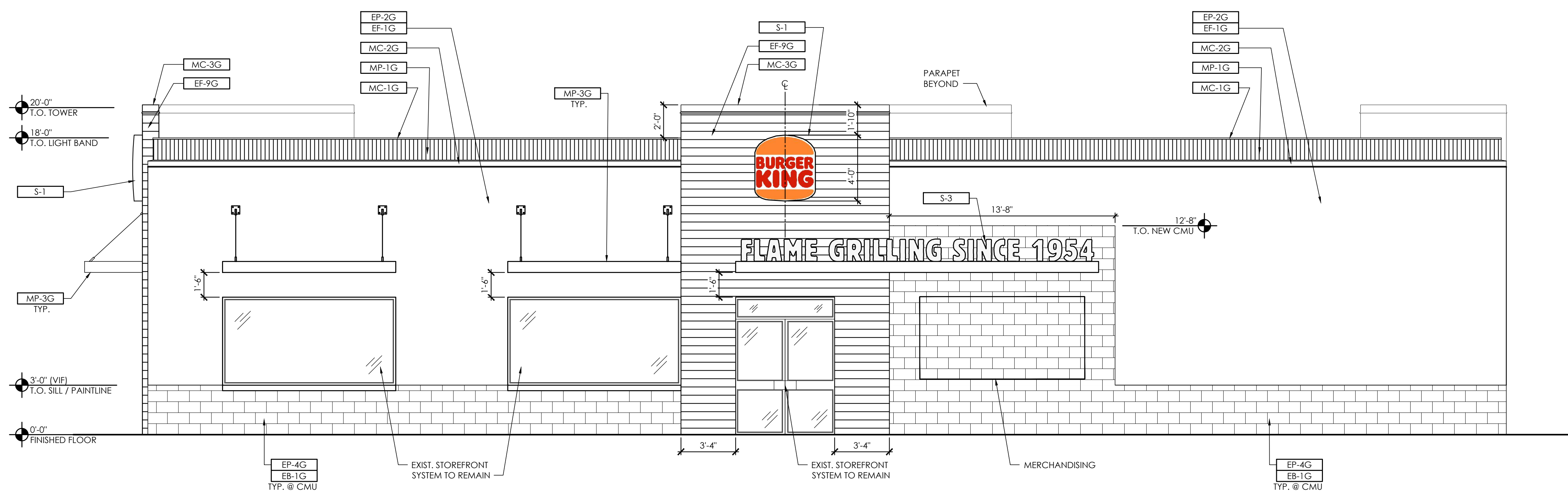
Burger King Inc.
Store #3384
126 Old Tower Hill Rd.
Wakefield, RI 02879
Washington County
Project Name & Location:

Exterior Elevations	
Drawing Name:	Project No.
Date: xx/xx/21	20-0206
Type: BK-94	
Drawn By: JWJ	A-201
Scale: As Noted	Drawing No.

FINISH SCHEDULE:	
EB-1G	EXTERIOR EXISTING CMU
ECT-1G	EXTERIOR CERAMIC TILE, RED NATURAL
EF-1G	EXTERIOR FINISH, STUCCO, NICHHA FIBER CEMENT
EF-9G	NICHHA FIBER CEMENT, VINTAGEWOOD EF762, "CEDAR"
EP-2G	EXTERIOR PAINT BY PPG, TANNERS TAUPE
EP-4G	EXTERIOR PAINT BY PPG, MONTEREY CLIFFS
MC-1G	METAL COPING, TOP OF LIGHT BAND, PERMASNAP PLUS
MC-2G	METAL COPING, BELOW LIGHT BAND, PERMASNAP PLUS
MC-3G	METAL COPING, TOP OF ARCHON, PERMASNAP PLUS
MP-1G	PARAPET LIGHT BAND
MP-3G	METAL CANOPY, CLEAR ANODIZED
NOTE 1) SEE COMPLETE BURGER KING 20/20 GARDEN GRILL EXTERIOR FINISH SCHEDULE AT DESIGNWITHBK.COM FOR MORE INFORMATION.	
NOTE 2) EXTERIOR PAINTS OVER PRIMER, PPG 17-921 SEAL-GRIP PRIMER	
ALL FINISHES AS PER GARDEN GRILL FINISH SCHEDULE. REFER TO EXTERIOR FINISH SCHEDULE AT DESIGNWITHBK.COM.	



1 North (Rear) Elevation
SCALE: 1/4" = 1'-0"



2 East (Right Side) Elevation
SCALE: 1/4" = 1'-0"

Issued:	Date:
A Issued for Review	10/03/20
B Issued for Permit	xx/xx/21
C	
D	
E	
Revisions:	Date:
1	
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Seal	Seal
PROJECT ARCHITECT/ENGINEER	DATE
Dan Sargent	
PROJECT LEAD	DATE
Alexandra Lerner	
PROJECT DESIGNER	DATE
John Lynch	

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Washington County
Project Name & Location:

Exterior Elevations	
Drawing Name:	Project No.
Date: xx/xx/21	20-0206
Type: BK-94	
Drawn By: JWJ	A-202
Scale: As Noted	Drawing No.