

Permitting Submission

Matunuck Beach Condos

Matunuck Beach Road
 South Kingstown, Rhode Island
 Assessor's Plat 92-2 Lot 56



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Applicable State Permits:

1. RIDEM QWTS APPLICATION #2032-1432, 2132-0908, 2132-0909, 2132-0910, 2132-0911, 2132-0912.
2. CRMC ASSENT - TO BE SUBMITTED
3. HISTORICAL PRESERVATION & HERITAGE COMMISSION CRMC FILE NO. 2019-03-087 (DATED: APRIL 15, 2019)
4. CRMC PRELIMINARY DETERMINATION FILE NO. 2019-03-087 (DATE: MARCH 25, 2019)

DiPrete Engineering

Two Stafford Court Cranston, RI 02920
 tel 401-943-1000 fax 401-464-6006 www.diprete-eng.com

CHRISTOPHER A. DUHAMEL

 REGISTERED
 PROFESSIONAL ENGINEER
 CIVIL

The plan set must not be used for construction purposes unless stamped, issued for construction, and stamped by a registered professional engineer of DiPrete Engineering. DiPrete Engineering shall be held responsible for the accuracy of the information provided in this plan set. DiPrete Engineering does not warrant plans by any other party. The contractor is responsible for all of the means, methods, safety and construction of the project. DiPrete Engineering assumes no responsibility for damages incurred due to locations of existing utilities. See Utility Note on Sheet 3.

NO.	DATE	DESCRIPTION	DESIGN BY
1	10-22-2021	Permitting Submission	S.T.M.
2	10-26-2021	CRMC Assent Application Submission	S.P.
3	09-29-2021	Plan Submission	A.C.
4	08-11-2021	PRELIMINARY PLAN SUBMISSION	S.P.
5	07-27-2021	REDEM APPLICATION SUBMISSION	R.D.K.
6	07-27-2021	REDEM SUBMISSION	R.D.K.
7	07-27-2021	REDEM SUBMISSION	R.D.K.
8	07-27-2021	REDEM SUBMISSION	R.D.K.
9	07-27-2021	REDEM SUBMISSION	R.D.K.
10	07-27-2021	REDEM SUBMISSION	R.D.K.
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21	07-27-2021	REDEM SUBMISSION	R.D.K.
22	07-27-2021	REDEM SUBMISSION	R.D.K.
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89	07-27-2021	REDEM SUBMISSION	R.D.K.
90	07-27-2021	REDEM SUBMISSION	R.D.K.
91	07-27-2021	REDEM SUBMISSION	R.D.K.
92	07-27-2021	REDEM SUBMISSION	R.D.K.
93	07-27-2021	REDEM SUBMISSION	R.D.K.
94	07-27-2021	REDEM SUBMISSION	R.D.K.
95	07-27-2021	REDEM SUBMISSION	R.D.K.
96	07-27-2021	REDEM SUBMISSION	R.D.K.
97	07-27-2021	REDEM SUBMISSION	R.D.K.
98	07-27-2021	REDEM SUBMISSION	R.D.K.
99	07-27-2021	REDEM SUBMISSION	R.D.K.
100	07-27-2021	REDEM SUBMISSION	R.D.K.

Cover Sheet
Matunuck Beach Condos
 Assessor's Plat 92-2 Lot 56
 South Kingstown, Rhode Island
Client Owner
Matunuck Beach Road Partners, LLC
 P.O. Box 385
 Wakefield, RI 02880

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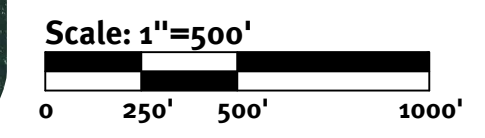
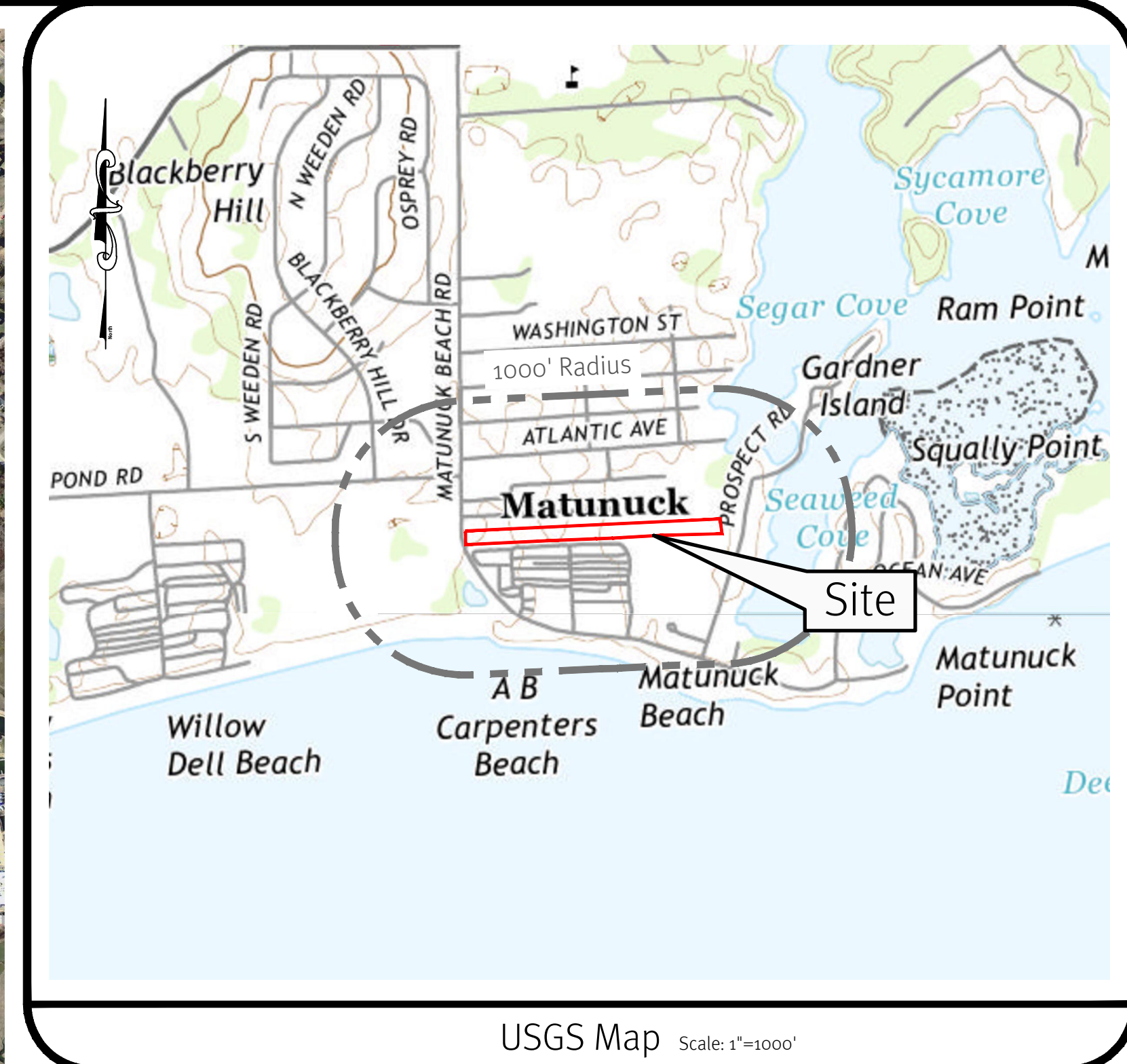


Image obtained from RIGIS 2014 Aerial Photography.



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 The contractor is responsible for all of the means, methods, safety and implementation of this plan and design.
 DiPrete Engineering assumes no responsibility for damages incurred due to locations of existing utilities. See Utility Note on Sheet 3.

No.	Date	Description	By
5	10-22-2021	Permit Application Submission	S.T.M.
4	10-06-2021	CHK Assent Application Submission	S.F.
3	09-20-2021	Work Submission	A.C.
2	08-11-2021	Preliminary Plan Submission	S.F.
1	07-20-2021	REDEM Submission	R.D.K.
(0)			

Drawn By: N.D.K. Design By: N.D.K.

Aerial Half Mile Radius
Matunuck Beach Condos
 Assessors: BRG 027 Lot 66
 South Kingstown, Rhode Island
Beneficial Owner
Matunuck Beach Road Partners, LLC
 P.O. Box 385
 Waketield, RI 02880

General Notes:

- THE SITE IS LOCATED ON THE TOWN OF SOUTH KINGSTOWN ASSESSOR'S PLAT 92-2 LOT 56.
- THE SITE IS APPROXIMATELY 4.77± ACRES AND IS ZONED R20 AND CN.
- THE OWNER OF AP 92-2 LOT 56 IS: EILEEN R. BIANCUZZO
12 LISTER DRIVE
BARRINGTON, RI 02806
- THIS SITE IS LOCATED IN FEMA FLOOD ZONES AE, X (SHADED) AND X (UNSHADED). REFERENCE FEMA FLOOD INSURANCE RATE MAP 44090C0193J, DATED OCTOBER 16, 2013. (FLOOD PLAN DESCRIPTIONS SHOWN BELOW)

ZONE AE – THIS SITE IS LOCATED IN FEMA FLOOD ZONE AE. ZONE AE ARE SPECIAL FLOOD HAZARD AREAS INUNADATED BY 100-YEAR FLOOD. BASE FLOOD ELEVATIONS HAVE BEEN DETERMINED.

ZONE X (SHADED) – THIS SITE IS LOCATED IN FEMA FLOOD ZONE X. ZONE X ARE AREAS OF 0.2% ANNUAL CHANCE OF FLOOD; AREAS OF 1% ANNUAL CHANCE OF FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

ZONE X (UNSHADED) – THIS SITE IS LOCATED IN FEMA FLOOD ZONE X. ZONE X ARE AREAS WHERE THERE IS MINIMAL FLOODING.
- THE BOUNDARY LINE AS SHOWN ON THIS PLAN DEPICTS THE RESULTS OF A CLASS I BOUNDARY RETRACEMENT SURVEY AS PERFORMED BY DIPRETE ENGINEERING ASSOCIATES, INC. THIS PLAN IS NOT TO BE CONSTRUED AS A CLASS I BOUNDARY RETRACEMENT SURVEY PLAN AND IS NOT SUITABLE FOR RECORDING AS A CLASS I STANDARD SURVEY PLAN.
- CONTOUR DATA SHOWN ON THIS PLAN CONFORMS TO A T-4 TOPOGRAPHICAL SURVEY STANDARD AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS; SAID DATA IS BASED ON ELEVATION INFORMATION THAT WAS COLLECTED WITH AIRBORNE LIDAR TECHNOLOGY FOR THE ENTIRE AREA OF RHODE ISLAND BETWEEN APRIL 22 AND MAY 6, 2011 AS PART OF THE NORTHEAST LIDAR PROJECT. THIS DATA'S POSITIONAL ACCURACY AND RELIABILITY HAS NOT BEEN VERIFIED BY DIPRETE ENGINEERING AND IS SUBJECT TO CHANGES AN AUTHORITY FIELD SURVEY MAY DISCLOSE.
- ALL WORK PERFORMED HEREIN IS TO BE GOVERNED BY CURRENT EDITIONS OF THE RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, TOWN OF SOUTH KINGSTOWN STANDARD SPECIFICATIONS AND DETAILS AND SPECIFICATIONS INCLUDED AS PART OF THE DRAWINGS. IN AREAS OF CONFLICT BETWEEN THE DIFFERENT SPECIFICATIONS, THE DESIGN PLANS AND PROJECT SPECIFICATIONS WILL TAKE PRECEDENCE OVER THE GENERAL SPECIFICATIONS AND THE DESIGN ENGINEER WILL INTERPET THE CONSTRUCTION REQUIREMENT. THE CONTRACTOR IS ADVISED TO SUBMIT A REQUEST FOR INFORMATION (RFI) FOR ANY AREAS OF CONFLICT BEFORE COMMITTING TO CONSTRUCTION.
- THE SITE IS WITHIN A:
SALT PONDS SPECIAL AREA MANAGEMENT PLAN (CRMC)
NARROW RIVER LAND TRUST (TOWN)
STATEWIDE IMPORTANCE FARMLAND SOILS
COASTAL RESILIENCY OVERLAY DISTRICT (TOWN)
SPECIAL FLOOD HAZARD AREA OVERLAY DISTRICT (TOWN)
- THE SITE IS NOT WITHIN A:
HISTORIC CEMETERY
UNIQUE HISTORIC FEATURES
UNIQUE NATURAL FEATURES
NATURAL HERITAGE AREA
GROUNDWATER PROTECTION AREA
TMDL WATERSHED
DRINKING WATER SUPPLY WATERSHED (RIDEM)
NATURAL REGISTER OF HISTORIC PLACES
- THE FOLLOWING DOCUMENTS ARE CONSIDERED PART OF THE PROJECT PLANS AND THE CONTRACTOR/ OWNER MUST MAINTAIN THESE DOCUMENTS AS PART OF A FULL PLAN SET:

• SOIL EROSION AND SEDIMENT CONTROL PLAN (SESC). THE SESC CONTAINS THE FOLLOWING:
o EROSION CONTROL MEASURES
o SHORT TERM MAINTENANCE
o ESTABLISHMENT OF VEGETATIVE COVER
o CONSTRUCTION POLLUTION PREVENTION
o SEQUENCE OF CONSTRUCTION

• STORMWATER OPERATION AND MAINTENANCE PLAN (O&M). THE O&M CONTAINS:
o LONG TERM MAINTENANCE
o LONG TERM POLLUTION PREVENTION
- THE SITE IS TO BE SERVED BY PUBLIC WATER AND PRIVATE OWTS.
- PROPOSED RIGHTS OF WAY ARE TO BE 22.0' WIDE WITH 20' WIDE PAVEMENT (10' TRAVEL LANES AND 12" BITUMINOUS BERM ON BOTH SIDES IN SOME AREAS).
- THE STORMWATER MANAGEMENT SYSTEM MEETS THE RIDEM BEST MANAGEMENT PRACTICES.
- THE SITE IS PROPOSED TO BE BUILT IN ONE PHASE.
- CRMC COASTAL WETLAND AND BUFFER TO BE PROTECTED BY A CONSERVATION EASEMENT.
- SOIL EVALUATIONS WERE COMPLETED BY DIPRETE ENGINEERING ON 02/20/2019 AND 11/09/2020.
- WETLAND EDGE DELINEATED BY DIPRETE ENGINEERING AND LOCATED BY DIPRETE ENGINEERING USING SUBMETER GPS ON FEBRUARY 20, 2019.
- ANY PROPRIETARY PRODUCTS REFERENCED IN THIS PLAN SET ARE REPRESENTATIVE OF THE MINIMUM DESIGN REQUIREMENTS FOR THE PURPOSES IT PROPOSES TO SERVE. ALTERNATIVES TO ANY PROPRIETARY PRODUCT MAY BE SUBMITTED TO THE ENGINEER OF RECORD FOR CONSIDERATION, WHICH MUST BE ACCOMPANIED BY APPROPRIATE SPECIFICATION SHEETS/ DESIGN CALCULATIONS THAT DEMONSTRATE THE ALTERNATIVE(S) MEET THE MINIMUM DESIGN PARAMETERS OF THE PRODUCT SHOWN ON THE PLANS. NO ALTERNATIVES MAY BE USED WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER OF RECORD.
- THIS PLAN SET MAY REFERENCE AND/ OR INCLUDE REPRODUCTIONS OF PROPRIETARY PRODUCTS/ DETAILS BY OTHERS, AND/ OR THEIR ASSOCIATED SPECIFICATIONS. ANY REFERENCED OR REPRODUCED PROPRIETARY PRODUCT OR DETAIL BY OTHERS THAT IS SHOWN ON DIPRETE PLANS IS STRICTLY FOR INFORMATION/ SPECIFICATION PURPOSES ONLY. DIPRETE ENGINEERING DOES NOT WARRANT ANY PROPRIETARY PRODUCTS, DETAILS BY OTHERS OR THEIR RESPECTIVE DESIGNS. IF A DIPRETE ENGINEERING PLAN INCLUDES A PROPRIETARY PRODUCT/ DETAIL BY OTHERS (EITHER EXPLICITLY OR IMPLIED) AND IS STAMPED BY A REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING, SAID STAMP DOES NOT EXTEND TO ANY PORTION OF THE PROPRIETARY PRODUCT/ DETAIL BY OTHERS OR ITS DESIGN.

NOTE: *PRIME FARMLAND
**FARMLAND OF STATEWIDE IMPORTANCE

Soil Erosion and Sedimentation Control Notes:

- THE CONTRACTOR IS RESPONSIBLE FOR ALL SOIL EROSION AND SEDIMENT CONTROL ON SITE WHICH MUST BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE APPLICABLE REGULATIONS AND AUTHORITY HAVING JURISDICTION. THE CONTRACTOR IS TO NOTIFY THE DESIGN ENGINEER, THE DIRECTOR OF PUBLIC WORKS, THE TOWN ENGINEER, AND RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
- ALL EROSION CONTROL INCLUDING (BUT NOT LIMITED TO) TEMPORARY SEDIMENT TRAPS, ETC. TO BE INSTALLED PER THE LATEST EDITION OF THE RHODE ISLAND SOIL EROSION AND SEDIMENTATION CONTROL (RISESC) HANDBOOK AND THE SOIL EROSION & SEDIMENTATION CONTROL PLANS(S). NOTE THE SOIL EROSION AND SEDIMENT CONTROL SHOWN ON THESE PLANS ARE THE MINIMUM QUANTITY/ TYPE OF EROSION CONTROL DEVICES AND MATERIALS DEEMED REQUIRED BY DIPRETE ENGINEERING TO MEET THE OBJECTIVES OF THE RISESC HANDBOOK, BUT IS CONSIDERED A GUIDE ONLY. ADDITIONAL MEASURES/ ALTERNATE CONFIGURATIONS MAY BE REQUIRED IN ORDER TO MEET THE RISESC HANDBOOK BASED ON FACTORS INCLUDING (BUT NOT LIMITED TO) SITE PARAMETERS, WEATHER, INSPECTIONS AND UNIQUE FEATURES. THE SESC WILL CONTINUE TO EVOLVE THROUGHOUT CONSTRUCTION/PHASES. PURSUANT TO NOTE 1 ABOVE, SESC REMAINS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL THE SITE IS FULLY STABILIZED AND/ OR SESC RESPONSIBILITIES ARE ASSUMED BY THE OWNER IN WRITING.
- ONCE THE SEDIMENT TRAPS ARE NO LONGER REQUIRED AND ALL TRIBUTARY AREAS HAVE BEEN STABILIZED, THE TEMPORARY SEDIMENTATION TRAPS TO BE CLEANED AND BROUGHT TO FINAL DESIGN GRADES.
- INLET PROTECTION IS TO BE INSTALLED ON ALL CATCH BASINS ONCE CONSTRUCTED.
- FOR SEQUENCE OF CONSTRUCTION, PROJECT PHASING AND CONSTRUCTION PHASING SEE SESC PLAN.
- CONTRACTOR MAY MODIFY SEQUENCE OF CONSTRUCTION WITH APPROVAL FROM DESIGN ENGINEER AND OWNER.
- IF CONCRETE TRUCKS ARE WASHED OUT ON SITE, ALL WASHOUT MUST BE COMPLETED IN THE DESIGNATED CONCRETE WASHOUT AREA.

Demolition Notes:

- CONTRACTOR TO OBTAIN ALL FEDERAL, STATE, AND MUNICIPAL APPROVALS PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR TO PERFORM DAILY SWEEPING AT CONSTRUCTION ENTRANCE DURING DEMOLITION AND CONSTRUCTION TO MINIMIZE SEDIMENTS ON EXTERNAL STREETS.
- ANY EXISTING BUILDING(S) AND PROPERTY PROPOSED TO REMAIN WHICH ARE DAMAGED BY THE CONTRACTOR MUST BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR IS RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING (R&D) ALL MATERIALS INDICATED ON THE PLANS UNLESS SPECIFIED OTHERWISE HERE IN. R&D MATERIALS MUST INCLUDE BUT ARE NOT LIMITED TO PAVEMENT, GRAVEL, CATCH BASINS, MANHOLES, GRATES/FRAMES/COVERS, AND ANY EXCESS SOIL THAT IS NOT INCORPORATED INTO THE WORK.
- IN ADDITION TO THOSE AREAS SPECIFICALLY DESIGNATED ON THE PLANS, ALL DISTURBED AREAS INCLUDING THE CONTRACTOR'S STOCKPILE AND STAGING AREAS WITHIN THE LIMIT OF WORK MUST BE RESTORED TO MATCH THE DESIGN PLANS.
- CONTRACTOR MUST DOCUMENT LOCATION OF ALL SUBSURFACE UTILITIES REMAINING IN PLACE AFTER DEMOLITION (ACTIVE AND INACTIVE/ABANDONED). LOCATION MUST BE DOCUMENTED BY FIELD SURVEY OR SWING TIES. COPIES OF LOCATION DOCUMENTATION MUST BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF DEMOLITION AND PRIOR TO START OF NEW CONSTRUCTION. A MARKER MUST BE INSTALLED TO FINISH GROUND AT ALL INSTALLED CAPS/PLUGS. THE MARKER CAN BE A POST IN CONSTRUCTION AREAS OR PAINTED ON A PERMANENT SURFACE.

Layout and Materials:

- DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
- CURBING WITHIN THE PUBLIC RIGHT OF WAY TO BE CONCRETE. CURBING WITHIN THE SITE TO BE BITUMINOUS BERM OR AS LABELED ON THE PLANS.
- SIDEWALK WITHIN THE PUBLIC RIGHT OF WAY TO BE CONCRETE. SIDEWALK WITHIN THE SITE TO BE PERVIOUS CONCRETE OR AS LABELED ON THE PLANS.
- SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR MUST REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.
- SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS CONTIGUOUS TO THE BUILDING, INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC.
- PROPOSED BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION MUST BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR.
- CONTRACTOR MUST NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS. CONTRACTOR MUST VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE STAMPED PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.
- ALL GUARDRAIL ONSITE MUST BE STEEL BACKED TIMBER GUARDRAIL WITH STEEL POSTS, IN CONFORMANCE WITH SECTION 5.4.1.7 OF THE ASHTO ROADSIDE DESIGN GUIDE. ALTERNATIVE GUARDRAILS WILL BE CONSIDERED BY THE DESIGN ENGINEER IF THEY ARE DOT APPROVED EQUAL AND ACCEPTABLE TO THE OWNER. ALTERNATIVES MUST BE APPROVED IN WRITING BY THE OWNER AND DESIGN ENGINEER PRIOR TO CONSTRUCTION.

Americans with Disabilities Act Notes:

- ALL IMPROVEMENTS MUST COMPLY WITH THE "AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG)" BY THE DEPARTMENT OF JUSTICE (CURRENT EDITION).
- MAXIMUM RUNNING SLOPE ALONG ALL ACCESSIBLE PATHS OF TRAVEL MUST BE 4.5% (0.045 FT/FT), AND MAXIMUM CROSS SLOPE ACROSS ALL ACCESSIBLE PATHS OF TRAVEL MUST BE 1.5% (0.015 FT/FT).
- ADA PARKING SPACES AND LOADING AREAS: THE STEEPEST SLOPE OF THE SPACE, MEASURED IN ANY DIRECTION (INCLUDING DIAGONAL), MUST BE LESS THAN OR EQUAL TO 2% (0.02 FT/FT). DIPRETE ENGINEERING GENERALLY RECOMMENDS A MAXIMUM OF 1.4% (0.014 FT/FT) BE USED FOR BOTH RUNNING AND CROSS SLOPES IN ORDER TO COMPLY.
- A MINIMUM 5'-5" LANDING MUST BE PROVIDED IN FRONT OF ALL PUBLICLY ACCESSIBLE BUILDING ENTRANCES/ EGRESSES. THE STEEPEST SLOPE OF THE LANDING, MEASURED IN ANY DIRECTION (INCLUDING DIAGONAL), MUST BE LESS THAN OR EQUAL TO 2% (0.02 FT/FT). DIPRETE ENGINEERING GENERALLY RECOMMENDS A MAXIMUM OF 1.4% (0.014 FT/FT) BE USED FOR BOTH RUNNING AND CROSS SLOPES IN ORDER TO COMPLY.
- FOR EVERY 6 (OR FRACTION OF 6) ADA PARKING SPACES, AT LEAST ONE MUST BE A VAN PARKING SPACE. FOR EXAMPLE, IF 7 ADA PARKING SPACES ARE REQUIRED, A MINIMUM OF 2 MUST BE VAN SPACES.
- NOTWITHSTANDING THE NOTES LISTED ABOVE, TOWN OR STATE-SPECIFIC STANDARDS MAY BE MORE STRINGENT AND OVERRULED. IT IS THE RESPONSIBILITY OF THE USER OF THIS PLAN SET TO MAINTAIN COMPLIANCE WITH THE CONTROLLING STANDARD.
- NOTE THAT THE GRADING/ PLAN VIEWS AND DETAILS CONTAINED WITHIN THIS PLAN SET MAY NOT SHOW THE DETAIL NECESSARY TO CONSTRUCT WALKWAYS, RAMPS AND SPACES TO COMPLY WITH THE ABOVE REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE LEVEL OF CARE NECESSARY TO BE CERTAIN THAT THE CONSTRUCTED PRODUCT MEETS ADA/ CONTROLLING STANDARDS. IN THE EVENT OF ANY NON COMPLIANCE THE CONTRACTOR MUST NOTIFY THE DESIGNER BEFORE CONSTRUCTION FOR ADVICE IN FINDING A RESOLUTION.

Grading and Utility Notes:

- CONSTRUCTION TO COMMENCE FALL 2021 OR UPON RECEIPT OF ALL NECESSARY APPROVALS.
- THE CONTRACTOR MUST COORDINATE WITH ALL OF THE APPROPRIATE UTILITY COMPANIES FOR AGREEMENTS TO SERVICE THE PROPOSED BUILDINGS. THIS MUST BE DONE PRIOR TO CONSTRUCTION. NO REPRESENTATIONS ARE MADE BY DIPRETE ENGINEERING THAT UTILITY SERVICE IS AVAILABLE.
- THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING FINISH GRADING AND DRAINAGE AROUND THE BUILDINGS TO ENSURE SURFACE WATER AND/OR GROUNDWATER ARE DIRECTED AWAY FROM THE STRUCTURES.
- PRIOR TO START OF CONSTRUCTION, CONTRACTOR MUST VERIFY EXISTING PAVEMENT ELEVATIONS AT INTERFACE WITH PROPOSED PAVEMENTS, AND EXISTING GROUND ELEVATIONS ADJACENT TO DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES. CONTRACTOR MUST NOTIFY DESIGN ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- ALL PROPOSED UNDERGROUND UTILITIES SERVING THE SITE AND BUILDINGS TO BE COORDINATED WITH OWNER, ARCHITECT, AND ENGINEER PRIOR TO INSTALLATION.
- ALL RETAINING WALLS AND STEEP SLOPES ARE SUBJECT TO FINAL STRUCTURAL DESIGN. DIPRETE ENGINEERING IS NOT PROVIDING THE STRUCTURAL DESIGN OF THESE ITEMS. ALL WALLS AND STEEP SLOPES ARE TO BE DESIGNED AND BUILT UNDER THE DIRECTION OF A RHODE ISLAND LICENSED PROFESSIONAL ENGINEER SUITABLY QUALIFIED IN GEOTECHNICAL ENGINEERING AND CERTIFIED TO THE OWNER PRIOR TO THE COMPLETION OF THE PROJECT. SHOP DRAWINGS TO BE SUBMITTED PRIOR TO CONSTRUCTION. FINAL STRUCTURAL DESIGN MUST INCORPORATE THE INTENT OF THE GRADING SHOWN ON THESE PLANS AND ALL WORK MUST BE WITHIN THE LIMIT OF DISTURBANCE SHOWN ON THE PLANS.
- ALL CUT AND FILL AREAS ARE TO BE DONE UNDER THE DIRECTION OF A PROFESSIONAL GEOTECHNICAL ENGINEER WITH TESTING AND CERTIFICATION TO BE PROVIDED TO THE APPLICANT AT THE COMPLETION OF THE PROJECT. DIPRETE ENGINEERING IS NOT PROVIDING THE FILL SPECIFICATION, GEOTECHNICAL ENGINEERING, STRUCTURAL ENGINEERING SERVICES, OR SUPERVISION AS PART OF THESE DRAWINGS.
- NO STOCKPILING OF MATERIAL TO BE LOCATED IN THE RIGHT OF WAY AND NO OPEN TRENCHES ARE TO BE LEFT OVERNIGHT.
- ALL LOAM IN DISTURBED AREAS TO BE STOCKPILED FOR FUTURE USE.
- ALL EXCESS SOIL, TREES, ROCKS, BOULDERS, AND OTHER REFUSE, MUST BE DISCARDED OFF SITE IN AN ACCEPTABLE MANNER AT AN APPROVED LOCATION. STUMPS MUST BE GROUND ON SITE OR REMOVED.
- THE SITE WILL HAVE 6" CONCRETE CURBING. SITE GRADING/CONTOURS SHOWN ON THE PLANS DO NOT NECESSARILY REFLECT THE APPROPRIATE CURBING. THE CONTRACTOR TO INSTALL CURBING WITH APPROPRIATE REVEAL UNLESS OTHERWISE NOTED.
- NO STUMP DUMPS ARE PROPOSED ON SITE.

DRAINAGE

ALL DRAINAGE PIPING TO BE HIGH-DENSITY POLYETHYLENE (HDPE) WITH WATERTIGHT JOINTS WHERE INSTALLED WITHIN THE SEASONAL HIGH GROUNDWATER, UNLESS NOTED OTHERWISE ON THE PLANS OR IN THE SPECIFICATIONS.
DRAINAGE STRUCTURES TO BE AS FOLLOWS (UNLESS OTHERWISE NOTED ON PLANS):
• MANHOLES TO BE RIDOT STD. 4.2.0, 4.2.1 OR 4.2.2 AS REQUIRED
• DRAINAGE MANHOLE COVERS TO BE RIDOT STD 6.2.1
• DROP INLETS TO BE RIDOT STD. 4.5.0, 4.5.1 OR 4.5.2.
• APRON STONE, WHERE REQUIRED, TO BE RIDOT STD 7.1.7 OR 7.1.8.

ALL DRAINAGE STRUCTURES MUST BE WATERTIGHT.

DRAINAGE CONNECTIONS FROM ALL YARD DRAINS (YD), AREA DRAINS (AD), TRENCH DRAINS (TD), FRENCH DRAINS (FD), WALL DRAINS (WD), AND DOWNSPOUTS (DS) ARE SHOWN FOR SCHEMATIC PURPOSES ONLY. THE LEVEL OF DETAIL SHOWN DOES NOT INCLUDE ALL JOINTS THAT MAY BE REQUIRED FOR CONSTRUCTION. ALL FITTINGS & PIPE SLOPES TO TIE INTO MAIN TRUNK LINE TO BE FIELD FIT BY CONTRACTOR.

ONSITE WASTEWATER TREATMENT SYSTEM

MULTIPLE ONSITE WASTEWATER TREATMENT SYSTEMS (OWTS) ARE PROPOSED TO SERVICE THE SITE. INDIVIDUAL APPROVALS WILL BE REQUIRED FOR EACH OWTS.

WATER

ALL WATER MAINS TO BE CONCRETE LINED DUCTILE IRON PIPE (CLDIP). ALL WATER MAIN IMPROVEMENTS MUST COMPLY WITH THE SOUTH KINGSTOWN WATER REGULATIONS AND ANY APPLICABLE AUTHORITY HAVING JURISDICTION, INCLUDING (BUT NOT LIMITED TO) MATERIALS, DIMENSIONS AND ACCESS COVERS. CONTRACTOR TO PROVIDE SHOP DRAWINGS AND SUBMITTALS TO THE ENGINEER OF RECORD FOR APPROVAL FOR ALL WATER IMPROVEMENTS AND APPURTENANCES INCLUDING BUT NOT LIMITED TO PIPES, VALVES, FITTINGS, HEAT ENCLOSURES, AND BACKFLOWS. ALL COMPONENTS OF THE WATER SYSTEM TO BE ASBUILT PER SOUTH KINGSTOWN WATER REQUIREMENTS. ALL COMPONENTS OF THE WATER SYSTEM TO BE INSPECTED BY SOUTH KINGSTOWN WATER. CONTRACTOR TO COORDINATE ALL IMPROVEMENTS WITH SOUTH KINGSTOWN WATER TO ENSURE INSPECTOR IS ON SITE.

IN THE CASE OF ANY NEW HYDRANT INSTALLED IN OR NEXT TO AN EXISTING SIDEWALK, THE CONTRACTOR MUST INCREASE THE WIDTH OF THE SIDEWALK, AS NECESSARY, TO MAINTAIN A MINIMUM OF 3'-0" CLEAR WIDTH FROM THE OUTERMOST COMPONENTS OF THE HYDRANT TO THE EDGE OF THE SIDEWALK. THE 3'-0" SIDEWALK WIDTH IS REQUIRED ONLY ON ONE SIDE OF THE HYDRANT TO PROVIDE A CLEAR PATH ON THE SIDEWALK.

ELECTRIC/TELECOM/GAS

PROPOSED GAS, ELECTRIC, CABLE AND DATA UTILITIES ARE SHOWN SCHEMATICALLY AND ARE PROPOSED TO BE UNDERGROUND. OWNER & CONTRACTOR TO COORDINATE FINAL DESIGN WITH APPROPRIATE UTILITY COMPANIES. ALL WORK TO BE IN ACCORDANCE WITH EACH UTILITY COMPANY'S STANDARDS AND DETAILS AS WELL AS LOCAL AND FEDERAL REGULATIONS. THIS INCLUDES BUT IS NOT LIMITED TO, POLES, TRANSFORMERS, PULL BOXES, CONCRETE PADS, CONCRETE ENCASEMENTS AND CONDUITS. CONNECTION POINTS FOR ELECTRIC AND TELECOM UTILITIES, AT THE EXISTING INFRASTRUCTURE, ARE CURRENTLY SHOWN AS UNDERGROUND UTILITIES. THESE UTILITIES MAY BE UNDERGROUND OR OVERHEAD AND WILL BE COORDINATED WITH NATIONAL GRID PRIOR TO CONSTRUCTION.

SITE LIGHTING

SITE LIGHTING (TEMPORARY AND PERMANENT) MUST BE DIRECTED AWAY FROM AND SHIELDED FROM ENVIRONMENTALLY SENSITIVE AREAS AND ABUTTING LANDS. EXACT LOCATIONS OF LIGHT POLE TO BE COORDINATED WITH OTHER UTILITIES AND TO BE LOCATED WITHIN THE STREET RIGHTS OF WAY. FINAL LIGHTING AND CONDUIT LOCATIONS BY OTHERS.

Abbreviations Legend

ADA	AMERICANS WITH DISABILITY ACT
AHJ	AUTHORITY HAVING JURISDICTION
AP	ASSESSOR'S PLAT
BC	BOTTOM OF CURB
BT	BOTTOM OF TESTHOLE
BIT	BITUMINOUS (BERM)
BIO	BIORETENTION
BS	BASEMENT SLAB ELEVATION
BW	FINISHED GRADE AT BOTTOM OF WALL
CB	CATCH BASIN
(C)	CALCULATED
€	CENTERLINE
(CA)	CHORD ANGLE
CLDIP	CONCRETE LINED DUCTILE IRON PIPE
CO	CLEAN OUT
CONC	CONCRETE
(D)	DEED
DCB	DOUBLE CATCH BASIN
DI	DROP INLET
DMH	DRAINAGE MANHOLE
DP	DETENTION POND
ELEV	ELEVATION
EOP	EDGE OF PAVEMENT
ESC	EROSION AND SEDIMENT CONTROL
EX	EXISTING
FES	FLARED END SECTION
FFE	FINISH FLOOR ELEVATION
GS	GARAGE SLAB ELEVATION
GW	GROUND WATER TABLE
HW	HEADWALL
HC	HIGH CAPACITY CATCH BASIN GRATE
HOPE	HIGH DENSITY POLYETHYLENE
ID	INLINE DRAIN
INV	INVERT
IP	INFILTRATION POND
LF	LINEAR FEET
LOD	LIMIT OF DISTURBANCE
LP	LIGHT POLE
(M)	MEASURED
N/F	NOW OR FORMERLY

OHW	OVERHEAD WIRE
PE	POLYETHYLENE
P	PROPERTY LINE
PR	PROPOSED
PVC	POLYVINYL CHLORIDE
R	RADIUS
R&D	REMOVE AND DISPOSE
RCP	REINFORCED CONCRETE PIPE
RIBH	RHODE ISLAND
RHB	HIGHWAY BOUND
RL	ROOF LEADER
ROW	RIGHT OF WAY
S	SLOPE
SD	SUBDRAIN
SED	SEDIMENT FOREBAY
SF	SQUARE FOOT
SFL	STATE FREEWAY LINE
SFM	SEWER FORCE MAIN
SG	SLAB ON GRADE ELEVATION
SHL	STATE HIGHWAY LINE
SMH	SEWER MANHOLE
SNDF	SAND FILTER
SS	SIDE SLOPE
STA	STATION
TC	TOP OF CURB
TD	TRENCH DRAIN
TF	TOP OF FOUNDATION
TRANS	TRANSITION
TW	TOP OF WALL (FINISHED)
GRADE AT TOP OF WALL)	
TYP	TYPICAL
UDS	UNDERGROUND
UD	DETENTION SYSTEM
UIS	UNDERGROUND
INFILTRATION SYSTEM	
UP	UTILITY POLE
WO	WALKOUT ELEVATION
WQ	WATER QUALITY

Existing Legend

(AS SHOWN ON PROPOSED PLANS)

NOT ALL ITEMS SHOWN WILL APPEAR ON PLANS

	PROPERTY LINE		NAIL FOUND/SET
	ASSESSORS LINE		DRILL HOLE FOUND/SET
	BUILDING		BOUND FOUND/SET
	SIGN		BOLLARD
	SOIL EVALUATION		CATCH BASIN
	DOUBLE CATCH BASIN		FLARED END SECTION
	GULLY POLE		ELECTRIC MANHOLE
	UTILITY/POWER POLE		LIGHTPOST
	SEWER/SEPTIC MANHOLE		CLEANOUT
	HYDRANT		IRRIGATION VALVE
	WATER VALVE		WELL
	MONITORING WELL		UNKNOWN MANHOLE
	GAS VALVE		BENCH MARK
	STREAM FLOW DIRECTION		

Proposed Legend

NOT ALL ITEMS SHOWN WILL

	PROPERTY LINE		DRAINAGE LINE
	BUILDING SETBACKS		PERFORATED SUBDRAIN
	CHAINLINK FENCE		SWALE
	SEWER FORCE MAIN		GAS LINE
	WATER LINE		HYDRANT ASSEMBLY
	WATER SHUT OFF		WATER VALVE
	THRUST BLOCK		SEWER LINE
	OVERHEAD WIRE		ELECTRIC, TELEPHONE, CABLE LINE
	LIMIT OF DISTURBANCE/ LIMIT OF CLEARING		SEDIMENTATION BARRIER, SILT FENCE (RIDOT STD 9.2.0), COMPOST SOCK OR APPROVED EQUAL
	ASPHALT PAVEMENT		SLOPES STEEPER THAN 3:1 (2:1 OR 1:1 SLOPES)
	HEAVY DUTY ASPHALT PAVEMENT		UNDERGROUND INFILTRATION OUTLINE
	HEAVY DUTY CONCRETE		POND ACCESS
	CONCRETE		RIPRAP
	ASPHALT SIDEWALK		SAND FILTER
	SAWCUT LINE		BIO RETENTION
	SIGN (RIDOT STD 24.6.2 AS APPLICABLE)		CATCH BASIN
	SINGLE LIGHT		DOUBLE CATCH BASIN
	DOUBLE LIGHT		MANHOLE
	OVERHANGING LIGHT		FLARED END SECTION
	ACCESSIBLE PARKING SPACE SYMBOLS		HEADWALL
	BUILDING INGRESS/EGRESS		

Utility Note:

ALL UNDERGROUND UTILITIES SHOWN ON THESE PLANS WERE PROVIDED BY OTHERS AND ARE APPROXIMATE ONLY. LOCATIONS MUST BE DETERMINED IN THE FIELD BEFORE EXCAVATION, BLASTING, UTILITY INSTALLATION, BACKFILLING, GRADING, PAVEMENT RESTORATION, AND ALL OTHER SITE WORK. ALL UTILITY COMPANIES, PUBLIC AND PRIVATE, MUST BE CONTACTED INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THESE DOCUMENTS. CONTACT DIG SAFE A MINIMUM OF 72 WORKING HOURS PRIOR TO ANY CONSTRUCTION AT 811. DIG SAFE IS RESPONSIBLE FOR CONTACTING MEMBER UTILITY COMPANIES. DIG SAFE MEMBER UTILITY COMPANIES ARE RESPONSIBLE TO MARK ONLY THE FACILITIES THAT THEY OWN OR MAINTAIN. NON DIG SAFE MEMBER COMPANIES ARE NOT NOTIFIED BY DIG SAFE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INVESTIGATE AND NOTIFY IF ANY PRIVATELY OWNED OR NON DIG SAFE MEMBER UTILITIES ARE IN THE AREA.

PER THE CODE OF FEDERAL REGULATIONS – TITLE 29, PART 1926 IT IS THE SITE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ACCURATE UNDERGROUND UTILITY LINE LOCATIONS FROM THE UTILITY COMPANIES, UTILITY OWNERS AND, OR VIA UNDERGROUND UTILITY LOCATION EQUIPMENT AS NEEDED TO ESTABLISH ACCURATE LOCATIONS PRIOR TO ANY EXCAVATION. THE USE OF PROFESSIONAL UTILITY LOCATING COMPANIES PRIOR TO ANY EXCAVATION IS RECOMMENDED.

DIPRETE ENGINEERING IS NOT A PROFESSIONAL UTILITY LOCATION COMPANY, AND IS NOT RESPONSIBLE FOR UNDERGROUND UTILITIES DEPICTED OR NOT, EITHER IN SERVICE OR ABANDONED. ANY SIZES, LOCATIONS, EXISTENCE, OR LACK OF EXISTENCE OF UTILITIES SHOWN ON THESE PLANS SHOULD BE CONSIDERED APPROXIMATE UNTIL VERIFIED BY A PROFESSIONAL UTILITY LOCATION COMPANY. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED.

Diprete Engineering
Two Stafford Court, Cranston, RI 02920
tel 401-943-1000 fax 401-464-6006 www.diprete-eng.com

CHRISTOPHER A. DUHAMEL
REGISTERED PROFESSIONAL ENGINEER
CIVIL

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The contractor is responsible for all of the means, methods, safety and implementation of this plan and design.
Engineer attests that on this plan are approximate only. Diprete Engineering assumes no responsibility for damages incurred due to locations of existing utilities. See Utility Note on Sheet 3.

5	10-22-2021	Permitting Submission	S.T.M.
4	10-06-2021	CHK, Assent Application Submission	S.E.
3	09-29-2021	Plan Submission	A.C.
2	08-31-2021	Permitting Plan Submission	S.E.
1	07-20-2021	RI, D.K.	D.P.
0		Drawn By: N.D.K.	Design By: N.D.K.

General Notes & Legend
Matunuck Beach Condos
Assessors Plat 02-2 Lot 66
South Kingstown, Rhode Island
Matunuck Beach Road Partners, LLC
P.O. Box 395
Waketield, RI 02880
DE JOB NO: 2389-002 Copyright 2021 by Diprete Engineering Associates, Inc.

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List of Possible Encroachments:

- A** BUILDING 3.3' OVER PROPERTY LINE
- B** SHED 0.2' OVER PROPERTY LINE
- C** SIDEWALK 4.4' OVER PROPERTY LINE
- D** WOOD STAIRS 1.9' OVER PROPERTY LINE
- E** MAINTAINED LAWN AREA
- F** MAINTAINED LAWN AREA
- G** ARCHWAY 1.0' OVER PROPERTY LINE

Legend
NOT ALL ITEMS SHOWN WILL APPEAR ON THE SURVEY

	BUILDING		ASSESSOR'S PLAT		NAIL FOUND/SET
	AP		IRON ROD/PIPE FOUND/SET		DRILL HOLE FOUND/SET
	N/F		BOUND FOUND/SET		SIGN
	(D)		ASSESSORS LINE		BOLLARD
	(M)		TREENLINE		SOIL EVALUATION
	(CA)		GUARDRAIL		CATCH BASIN
	HC		FENCE		DOUBLE CATCH BASIN
	PROPERTY LINE		RETAINING WALL		DRAINAGE MANHOLE
	ASSESSORS LINE		STONE WALL		FLARED END SECTION
	TREENLINE		MINOR CONTOUR LINE		GUY POLE
	GUARDRAIL		MAJOR CONTOUR LINE		ELECTRIC MANHOLE/HANDHOLE
	FENCE		WATER LINE		UTILITY/POWER POLE
	RETAINING WALL		SEWER LINE		LIGHTPOST
	STONE WALL		SEWER FORCE MAIN		SEWER/SEPTIC MANHOLE
	MINOR CONTOUR LINE		GAS LINE		SEWER VALVE
	MAJOR CONTOUR LINE		ELECTRIC LINE		CLEANOUT
	WATER LINE		OVERHEAD WIRES		HYDRANT
	SEWER LINE		DRAINAGE LINE		IRRIGATION VALVE
	SEWER FORCE MAIN				WATER VALVE
	GAS LINE				WELL
	ELECTRIC LINE				MONITORING WELL
	OVERHEAD WIRES				UNKNOWN MANHOLE
	DRAINAGE LINE				GAS VALVE
					WETLAND FLAG
					BENCH MARK
					SHRUB
					TREE



General Notes:

- THE PARCEL IS FOUND ON ASSESSOR'S PLAT 92-2, LOT 56 IN THE TOWN OF SOUTH KINGSTOWN, WASHINGTON COUNTY, RHODE ISLAND.
- THE OWNER PER DEED BOOK 1060, PAGE 711 IS EILEEN R. BIANCUZZO.
- BASED ON GRAPHICAL PLOTTING ONLY, THE PARCEL IS LOCATED IN ZONE AE (ELEV.=12'), ZONE X, AND ZONE VE (ELEV.=16') PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP 4409C0193J, DATED OCTOBER 16, 2013. THIS DESIGNATION MAY CHANGE BASED UPON REVIEW BY A FLOOD ZONE SPECIALIST OR BY THE RESULTS OF A COMPREHENSIVE FLOOD STUDY.
- THE PARCEL IS ZONED R20 AND CN BASED ON THE TOWN OF SOUTH KINGSTOWN GIS. ANY OVERLAY DISTRICTS, SPECIAL PERMITS OR VARIANCES SPECIFIC TO THIS SITE ARE NOT TAKEN INTO CONSIDERATION. PLEASE CONTACT THE ZONING DEPARTMENT FOR ANY ADDITIONAL INFORMATION OR FOR A CERTIFICATE OF ZONING.
- THERE WERE NO CEMETERIES, GRAVE SITES AND OR BURIAL GROUNDS OBSERVED WITHIN THE LIMITS OF THE SURVEY.
- FIELD SURVEY PERFORMED BY DIPRETE ENGINEERING ON OCTOBER 7, 2019. THIS PLAN REFLECTS ON THE GROUND CONDITIONS AS OF THAT DATE.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. DIPRETE ENGINEERING IS NOT RESPONSIBLE FOR ANY UNKNOWN OR UNRECORDED EASEMENTS, DEEDS OR CLAIMS THAT A TITLE REPORT WOULD DISCLOSE.
- CONTOUR DATA SHOWN ON THIS PLAN CONFORMS TO A T-4 TOPOGRAPHICAL SURVEY STANDARD AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS; SAID DATA IS BASED ON ELEVATION INFORMATION THAT WAS COLLECTED WITH AIRBORNE LIDAR TECHNOLOGY FOR THE ENTIRE AREA OF RHODE ISLAND BETWEEN APRIL 22 AND MAY 6, 2011 AS PART OF THE NORTHEAST LIDAR PROJECT. THIS DATA'S POSITIONAL ACCURACY AND RELIABILITY HAS NOT BEEN VERIFIED BY DIPRETE ENGINEERING AND IS SUBJECT TO CHANGES AN AUTHORITY FIELD SURVEY MAY DISCLOSE.

Plan References:

- PLAN OF LAND AT MATUNUCK IN THE TOWN OF SOUTH KINGSTOWN, R.I. CONVEYED BY S. LEROY CARPENTER TO JOHN W. MILLER AND ELLIE C. MILLER. SCALE 1"=40'. DATED MAY, 1934. PLAN BY LEON L. HOLLAND, CIVIL ENGINEER. RECORDED IN DEED BOOK 48, PAGE 568-569.
- MAP OF TUCKER ROAD SUBDIVISION OF PALMER ESTATE TOWN OF SOUTH KINGSTOWN, R.I. HENRY A. HOLDEN, OWNER. SCALE 1"=60'. DATED SEPTEMBER, 1925. PLAN BY EARL WHALEY AND LATHROP HOLDEN. RECORDED IN BOOK 47, PAGE 230-231.
- ADMINISTRATIVE SUBDIVISION PLAN SHOWING A REDIVISION OF CERTAIN LAND OF MARY A. CARPENTER MAP NO. 92-2 LOTS 52, 53 & MAP NO. 93-1 LOT 1 AND DAVID VAN PELT YALE MAP NO. 93-1 LOT NO. 12 ON MATUNUCK BEACH ROAD AND PROSPECT STREET ROAD IN THE TOWN OF SOUTH KINGSTOWN, R.I. SCALE 1"=50'. DATED OCTOBER, 2000. PLAN BY LLOYD L. WHALEY. RECORDED ON CARD C2000-55.
- PLAT OF CAMPGROUND AT MATUNUCK BEACH PROPERTY OF THE ESTATE OF ARTHUR B. CARPENTER SURVEYED AND PLATTED. SCALE 1"=80'. DATED 1949-1950. PLAN BY LEON L. HOLLAND, CIVIL ENGINEER. RECORDED IN BOOK 12 PAGE 699.
- DIANA TUTALO ET AL 106 SYCAMORE LANE, WAKEFIELD, RI 02879 SUBDIVISION A.P. 92-2 LOT 71 SOUTH KINGSTOWN, RHODE ISLAND. SCALE 1"=40'. DATED JUNE 28, 1994. PLAN BY RAYMOND W. SCHWAB ASSOCIATES, INC. RECORDED IN BOOK PL 24, PAGE 55.

Datum Note:

- ELEVATIONS SHOWN HEREON, IN U.S. SURVEY FEET, ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), AS DETERMINED BY DIPRETE ENGINEERING USING REAL TIME KINEMATIC G.P.S. OBSERVATIONS.

**This Plan Should Be Indexed
By The Following Streets:**

- Matunuck Beach Road

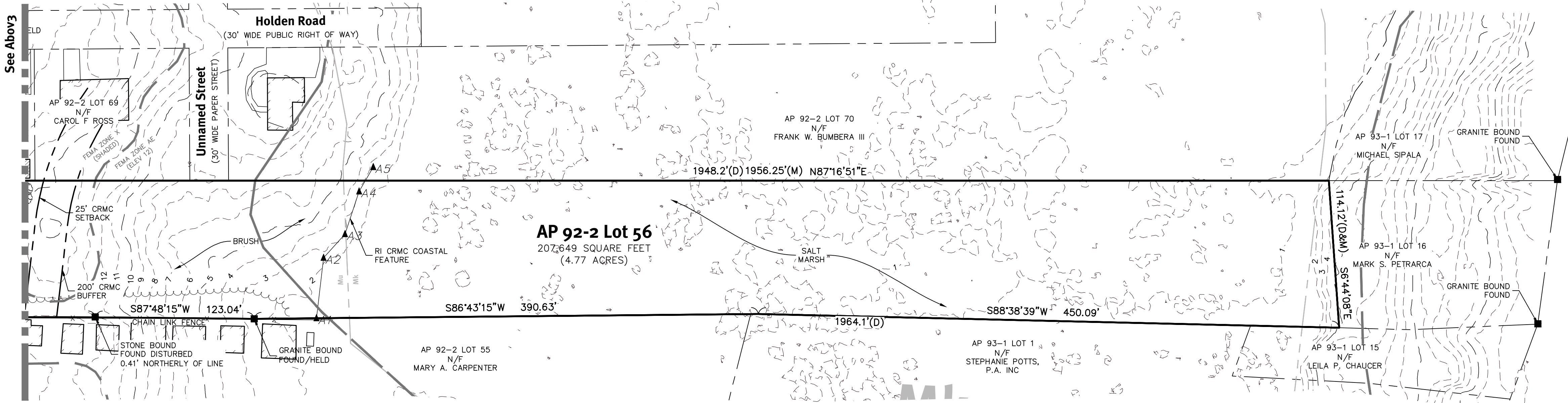
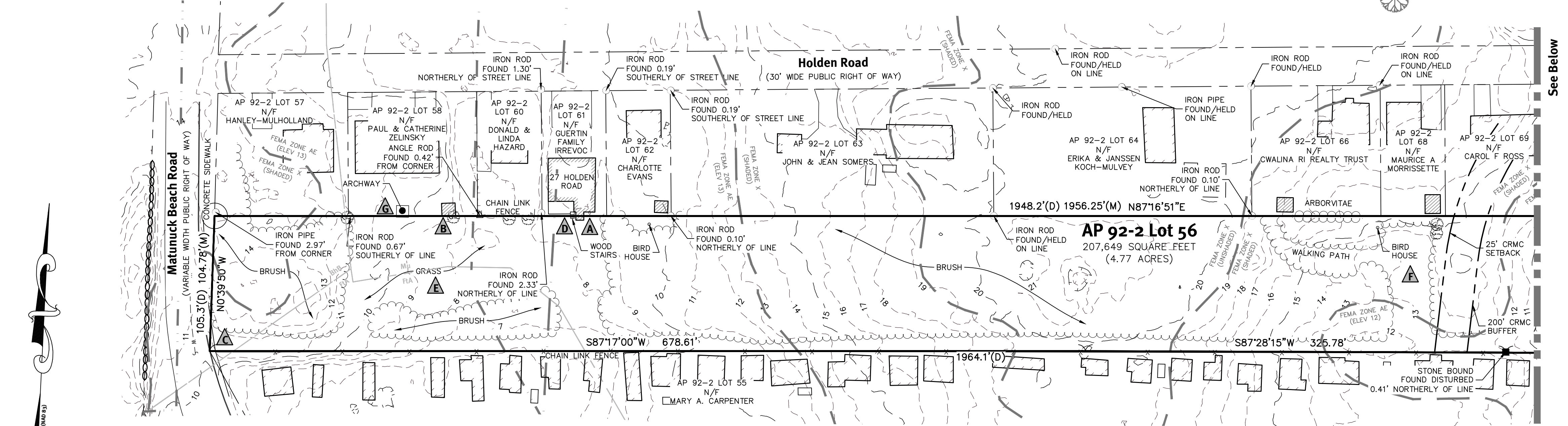
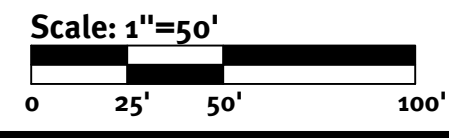
Certification:

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

TYPE OF SURVEY	MEASUREMENT SPECIFICATION
COMPREHENSIVE BOUNDARY SURVEY	CLASS 1
TOPOGRAPHIC SURVEY	CLASS T-4

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:
PERIMETER RETRACEMENT PERFORMED BY DIPRETE ENGINEERING FOR THE PURPOSE OF SITE ENGINEERING AND PERMITTING.

 No. 2504 PROFESSIONAL LAND SURVEYOR	 ROBERT G. BABCOCK, RIPLS #2504, COA #S.000A160 9/1/21
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Diprete Engineering
Two Stafford Court Cranston, RI 02920
tel 401-943-1000 fax 401-464-6006 www.diprete-eng.com

CHRISTOPHER A. DUHAMEL

REGISTERED PROFESSIONAL ENGINEER
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S.T.M.	DATE	DESCRIPTION	BY
1	10-22-2021	Permitting Submission	R.G.B.
2	10-26-2021	CRMC Assent Application Submission	R.G.B.
3	09-29-2021	Plan Submission	R.G.B.
4	08-12-2021	Permitting Submission	R.G.B.
5	07-20-2021	BEEM Submission	R.G.B.

Drawn By: N.D.K. Design By: N.D.K.

Existing Conditions Plan
Matunuck Beach Condos
Assessors Plat 92-2 Lot 56
South Kingstown, Rhode Island
Applicant Owner
Matunuck Beach Road Partners, LLC
P.O. Box 395
Wakefield, RI 02880
DE JOB NO: 2389-002 Copyright 2021 by Diprete Engineering Associates, Inc.

Soil Erosion Control Legend:

- TEMPORARY SEDIMENT TRAP
- EROSION CONTROL (COMPOST SOCK, SILT FENCE (RI STD 9.2.0) OR APPROVED EQUAL)
- CLASS C SILT FENCE
- LIMIT OF DISTURBANCE (NO SEDIMENT CONTROL)
- LIMIT OF DISTURBANCE (WITH SEDIMENT CONTROL)
- TRIBUTARY AREA TO SESC BMP
- TEMPORARY DIVERSION BERM
- CONSTRUCTION ENTRANCE (RIDOT STD 9.9.0)
- INFILTRATING AREA (TO BE PROTECTED BY COMPOST SOCK OR SILT FENCE)
- FINAL CONTOUR GRADE
- INLET SEDIMENT CONTROL

Soil Erosion Control Implementation Phasing

- Phase IA** - INSTALL EROSION CONTROL SILT FENCE & STONE CONSTRUCTION ENTRANCE.
- Phase IB** - INSTALL TEMPORARY SEDIMENTATION TRAP, CONSTRUCT CLEAN WATER DIVERSIONS
- Phase IIA** - CLEAR AND GRUB IMPERVIOUS AREAS, CONSTRUCT PROPOSED BUILDING & INSTALL UTILITIES WITH ROADWAYS, INSTALL DRAINAGE NETWORK WORKING FROM THE DOWN GRADIENT BASINS UP TO THE START OF NETWORK, INSTALL ASPHALT PAVING.
- Phase IIB** - STABILIZE ALL DISTURBED AREAS, DE-CONSTRUCT DIVERSIONS AND TEMPORARY SEDIMENTATION TRAPS.

GENERAL NOTES:

1. THE TEMPORARY SEDIMENT TRAPS MUST MEET ALL REQUIREMENTS FOR TEMPORARY SEDIMENT TRAPS OUTLINED IN THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK (LATEST REVISION) SECTION SIX: SEDIMENT CONTROL MEASURES
2. THE TEMPORARY SEDIMENT TRAP MUST PROVIDE A STORAGE VOLUME FOR ONE INCH OF RUNOFF FROM THE CONTRIBUTING AREA. HALF OF THE STORAGE MUST BE PROVIDED IN THE FORM OF WET STORAGE. SEE DETAIL BELOW SECTION 6 OF THE RISESCH.
3. ALL CUT AND FILL SLOPES MUST BE 2:1 OR FLATTER EXCEPT FOR THE EXCAVATED WET STORAGE AREA WHERE SLOPES MUST NOT EXCEED 1.5:1.
4. THE OUTLET MUST BE LOCATED AT THE MOST DISTANT HYDRAULIC POINT FROM THE INLET.
5. THE OUTLET CONSISTS OF A PERVIOUS STONE DIKE WITH A CORE OF MODIFIED RIPRAP AND FACED ON THE UPSTREAM SIDE WITH STONE.
6. TEMPORARY SEDIMENT TRAPS MUST OUTLET ONTO STABILIZED GROUND.
7. MAXIMUM HEIGHT OF A TEMPORARY SEDIMENT TRAP EMBANKMENT IS LIMITED TO 5 FEET (BOTTOM OF DRY STORAGE TO TOP OF EMBANKMENT). TOTAL EMBANKMENT HEIGHT MUST NOT EXCEED 6 FEET (BOTTOM OF WET STORAGE TO TOP OF EMBANKMENT).
8. SIDE SLOPES OF THE EMBANKMENT MUST BE 2:1 OR FLATTER.
9. MODIFIED RIPRAP: SHALL MEET THE REQUIREMENTS OF RIDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SUBSECTION M.10.03.2.
10. FILTER STONE: SHALL MEET THE REQUIREMENTS OF RIDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SUBSECTION M.01.03 TABLE I, COLUMN V FILTER STONE.
11. THE SITE IS WITHIN A:
 - SALT PONDS SPECIAL AREA MANAGEMENT PLAN (CRMC)
 - STATEWIDE IMPORTANCE FARMLAND SOILS
 - NARROW RIVER LAND TRUST (TOWN)
 - COASTAL RESILIENCY OVERLAY DISTRICT (TOWN)
 - SPECIAL FLOOD HAZARD AREA OVERLAY DISTRICT (TOWN)
 - OWTS CRITICAL RESOURCE AREA
12. THE SITE IS NOT WITHIN A:
 - LISTED ON THE NATIONAL REGISTER OF HISTORIC PLACES
 - HISTORIC CEMETERY
 - NATURAL HERITAGE AREA
 - GROUNDWATER PROTECTION AREA
 - TMDL WATERSHED
 - DRINKING WATER SUPPLY WATERSHED (RIDEM)
13. THERE ARE NO STONE WALLS ON SITE.
14. THERE ARE NO HISTORIC BUILDINGS ON SITE.
15. THERE ARE NO AGRICULTURAL USES ON SITE.
16. THERE ARE NO UNIQUE NATURAL FEATURES ON SITE.

INSPECTION, MAINTENANCE, AND REMOVAL REQUIREMENTS:

1. INSTALL "SEDIMENT STORAGE" STAKE WITH A MARKER AT ONE HALF OF THE WET STORAGE VOLUME.
2. INSPECT THE TEMPORARY SEDIMENT TRAP AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL AMOUNT OF 0.25 INCH OR GREATER.
3. CHECK THE OUTLET TO ENSURE THAT IT IS STRUCTURALLY SOUND AND HAS NOT BEEN DAMAGED BY EROSION OR CONSTRUCTION EQUIPMENT.
4. CHECK FOR SEDIMENT ACCUMULATION AND FILTRATION PERFORMANCE.
5. WHEN SEDIMENTS HAVE ACCUMULATED TO ONE HALF THE MINIMUM REQUIRED VOLUME OF THE WET STORAGE, DEWATER THE TRAP AS NEEDED, REMOVE SEDIMENTS AND RESTORE THE TRAP TO ITS ORIGINAL DIMENSIONS.
6. DISPOSE OF THE SEDIMENT REMOVED FROM THE BASIN IN A SUITABLE AREA AS DESIGNATED BY THE GEOTECHNICAL ENGINEER.
7. THE TEMPORARY SEDIMENT TRAP MAY BE REMOVED AFTER THE CONTRIBUTING DRAINAGE AREA IS STABILIZED.

INSTALLATION NOTES:

1. CLEAR, GRUB AND STRIP ANY VEGETATION AND ROOT MAT FROM ANY PROPOSED EMBANKMENT AND OUTLET AREA.
2. REMOVE STONES AND ROCKS WHOSE DIAMETER IS GREATER THAN THREE (3) INCHES AND OTHER DEBRIS.
3. EXCAVATE WET STORAGE AND CONSTRUCT THE EMBANKMENT AND/OR OUTLET AS NEEDED TO ATTAIN THE NECESSARY STORAGE REQUIREMENTS.
4. USE ONLY FILL MATERIAL FOR THE EMBANKMENT THAT IS FREE FROM EXCESSIVE ORGANICS, DEBRIS, LARGE ROCKS (OVER SIX (6) INCHES) OR OTHER UNSUITABLE MATERIALS. COMPACT THE EMBANKMENT IN 9-INCH LAYERS BY TRAVERSING WITH EQUIPMENT WHILE IT IS BEING CONSTRUCTED.
5. STABILIZE THE EARTHEN EMBANKMENT USING ANY OF THE FOLLOWING MEASURES: SEEDING FOR TEMPORARY VEGETATION COVER; SEEDING FOR PERMANENT VEGETATIVE COVER; OR SLOPE PROTECTION, IMMEDIATELY AFTER INSTALLATION.

INSTALLATION NOTES:

(REFERENCE: SOIL MAPPING OBTAINED FROM RIGIS, SOIL GEOGRAPHIC DATA DEVELOPED BY THE RHODE ISLAND SOIL SURVEY PROGRAM IN PARTNERSHIP WITH THE NATIONAL COOPERATIVE SOIL SURVEY)

SOIL NAME	DESCRIPTION
BhB**	BRIDGEHAMPTON SILT LOAM, 3 TO 8 PERCENT SLOPES
F1A	FORTRESS SAND
Mk	MATUNUCK MUCKY PEAT
MU	MERRIMAC-URBAN LAND COMPLEX

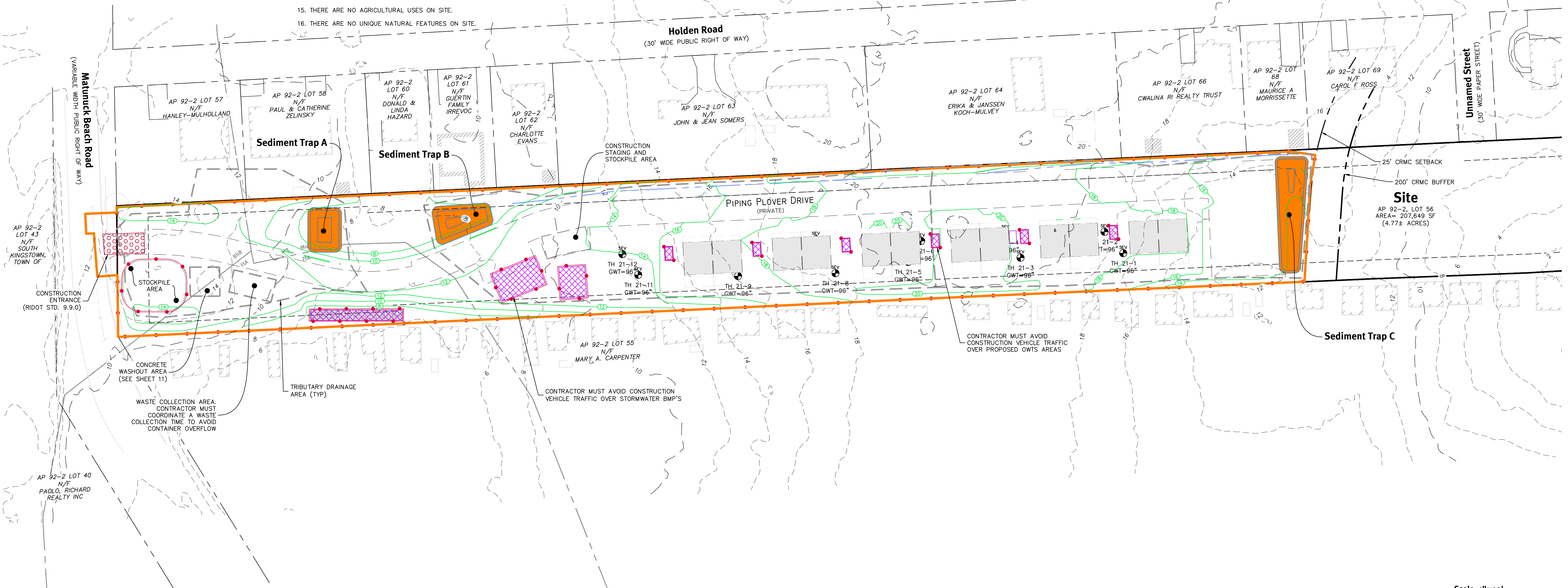
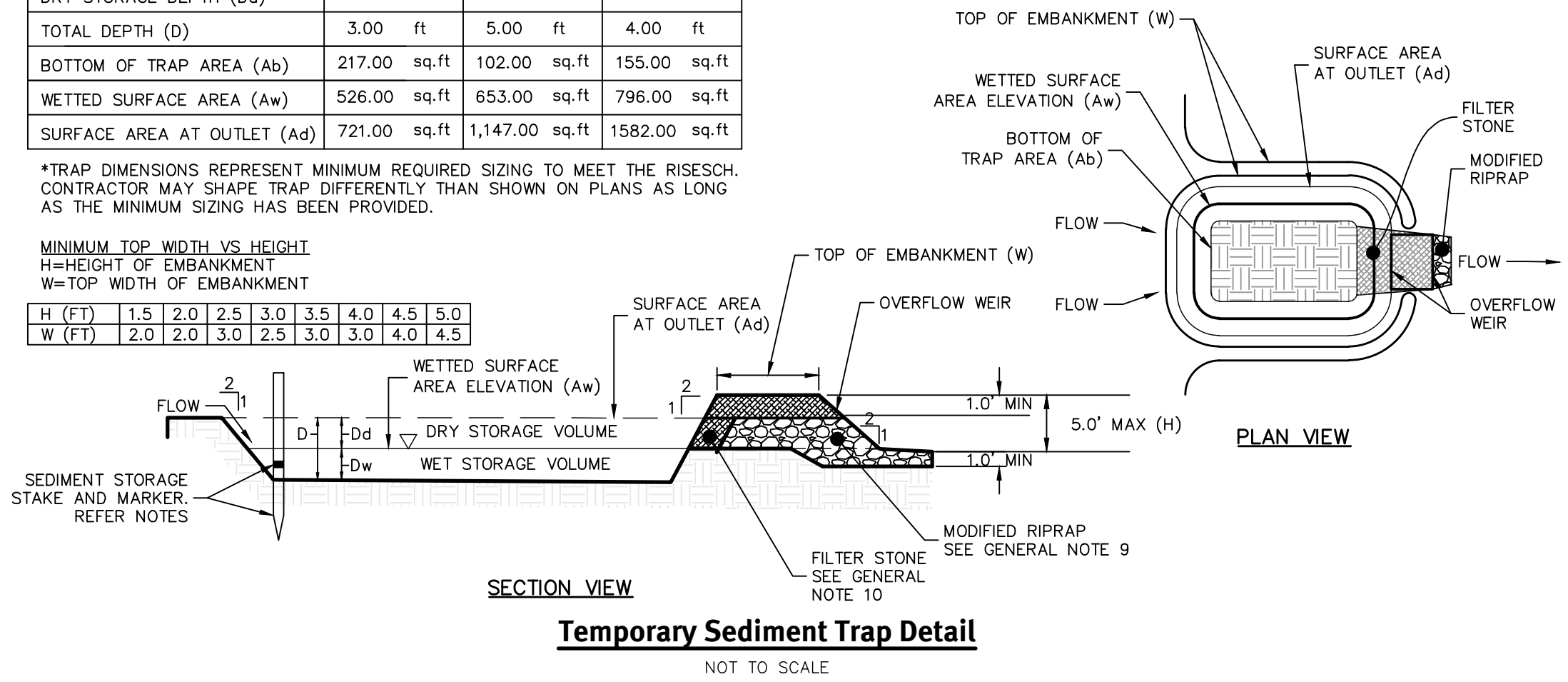
NOTE: *PRIME FARMLAND
**FARMLAND OF STATEWIDE IMPORTANCE

SEDIMENT TRAP DIMENSIONS*	TRAP A	TRAP B	TRAP C
TRIBUTARY DRAINAGE AREA	0.39 ac	0.80 ac	0.67 ac
WET STORAGE DEPTH (Dw)	2.00 ft	3.00 ft	2.00 ft
DRY STORAGE DEPTH (Dd)	1.00 ft	2.00 ft	2.00 ft
TOTAL DEPTH (D)	3.00 ft	5.00 ft	4.00 ft
BOTTOM OF TRAP AREA (Ab)	217.00 sq.ft	102.00 sq.ft	155.00 sq.ft
WETTED SURFACE AREA (Aw)	526.00 sq.ft	653.00 sq.ft	796.00 sq.ft
SURFACE AREA AT OUTLET (Ad)	721.00 sq.ft	1,147.00 sq.ft	1582.00 sq.ft

*TRAP DIMENSIONS REPRESENT MINIMUM REQUIRED SIZING TO MEET THE RISESCH. CONTRACTOR MAY SHAPE TRAP DIFFERENTLY THAN SHOWN ON PLANS AS LONG AS THE MINIMUM SIZING HAS BEEN PROVIDED.

MINIMUM TOP WIDTH VS HEIGHT

H (FT)	1.5	2.0	2.5	3.0	3.5	4.0	4.5	5.0
W (FT)	2.0	2.0	3.0	2.5	3.0	3.0	4.0	4.5



DiPrete Engineering
Two Stafford Court Cranston, RI 02920
tel 401-943-1000 fax 401-644-6006 www.diprete-eng.com

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REGISTERED PROFESSIONAL ENGINEER CIVIL

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NO.	DATE	DESCRIPTION	BY	CHKD.
1	10-22-2021	PERMITTING SUBMISSION	NDK	NDK
2	10-26-2021	CRMC ASSESSMENT SUBMISSION	NDK	NDK
3	09-29-2021	WET STORAGE SUBMISSION	NDK	NDK
4	08-12-2021	PRELIMINARY PLAN SUBMISSION	NDK	NDK
5	07-20-2021	REDEM SUBMISSION	NDK	NDK

Drawn By: NDK
Design By: NDK

Soil Erosion & Sediment Control Plan
Matunuck Beach Condos
Assessors: Blt 92-2, Lot 56
South Kingstown, Rhode Island
Project Owner:
Matunuck Beach Road Partners, LLC
P.O. Box 385
Waketield, RI 02880
DE Job No: 2389-002 Copyright 2021 by DiPrete Engineering Associates, Inc.

Note: This Plan Must Be Reproduced In Color
Scale: 1"=40'
0 20' 40' 80'

Dimensional Regulations:

CURRENT ZONING: R-20 (DUPEX WITH OUT PUBLIC SEWER)
 MINIMUM LOT AREA: 40,000 SF
 MINIMUM FRONTAGE AND LOT WIDTH: 100'
 MINIMUM FRONT YARD: 35'
 MINIMUM CORNER SIDE YARD: 25'
 MINIMUM SIDE YARD: 15'
 MINIMUM REAR YARD: 35'
 MAXIMUM STRUCTURE HEIGHT: 35'
 MAXIMUM LOT BUILDING COVERAGE: 25%

CURRENT ZONING: CN - MULTI HOUSEHOLD STRUCTURES UP TO 12 UNITS
 MINIMUM LOT AREA: 15,000 SF FOR FIRST 2 D.U. + 5,000 SF PER EACH ADDITIONAL D.U.
 MINIMUM FRONTAGE AND LOT WIDTH: 100'
 MINIMUM FRONT YARD: 25'
 MINIMUM CORNER SIDE YARD: 20'
 MINIMUM SIDE YARD: 10'
 MINIMUM REAR YARD: 30'
 MAXIMUM STRUCTURE HEIGHT: 35'
 MAXIMUM LOT BUILDING COVERAGE: 30%

Development Data:

TOTAL SITE AREA: 4.77± ACRES
 UPLAND AREA: 2.9± ACRES
 TOTAL NUMBER OF BUILDINGS: 6
 TOTAL NUMBER OF UNITS: 12

AFFORDABLE UNITS:
 12 UNITS (25% AFFORDABLE = 3 UNITS)

LENGTH OF ROAD: 975'±
 PAVEMENT WIDTH: 20' (TWO 10' TRAVEL LANES)

TOTAL IMPERVIOUS:
 HOUSES, PORCHES, DECKS: 11,119 SF
 DRIVEWAYS, PARKING SPACES: 26,365 SF
 PERVIOUS SIDEWALKS: 0 SF
 TOTAL: 37,484 SF (0.88 ACRES)

Density Calculation:

TOTAL SITE AREA: 4.77± ACRES
 NUMBER OF UNITS*: 12 UNITS
 MAXIMUM LOTS ALLOWED*: 6 LOTS

State Permits Received:

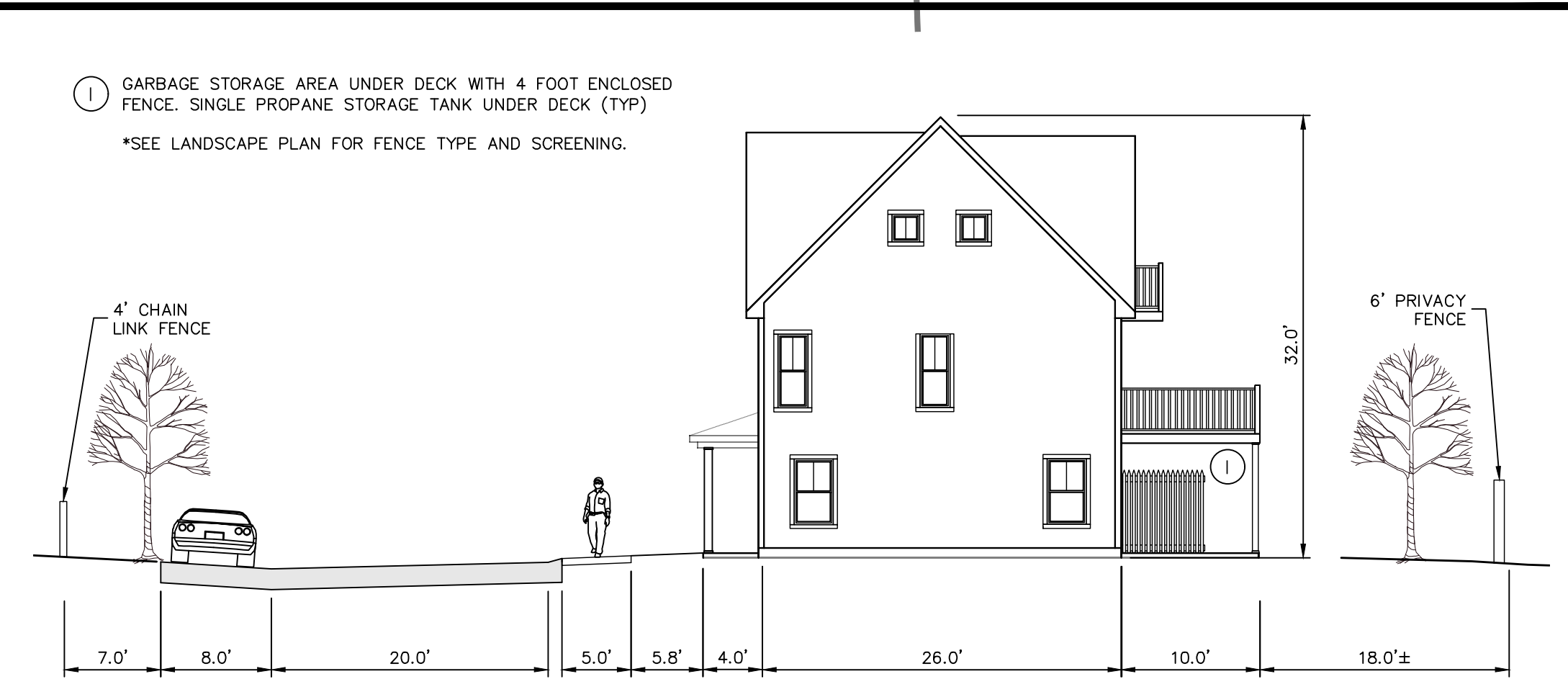
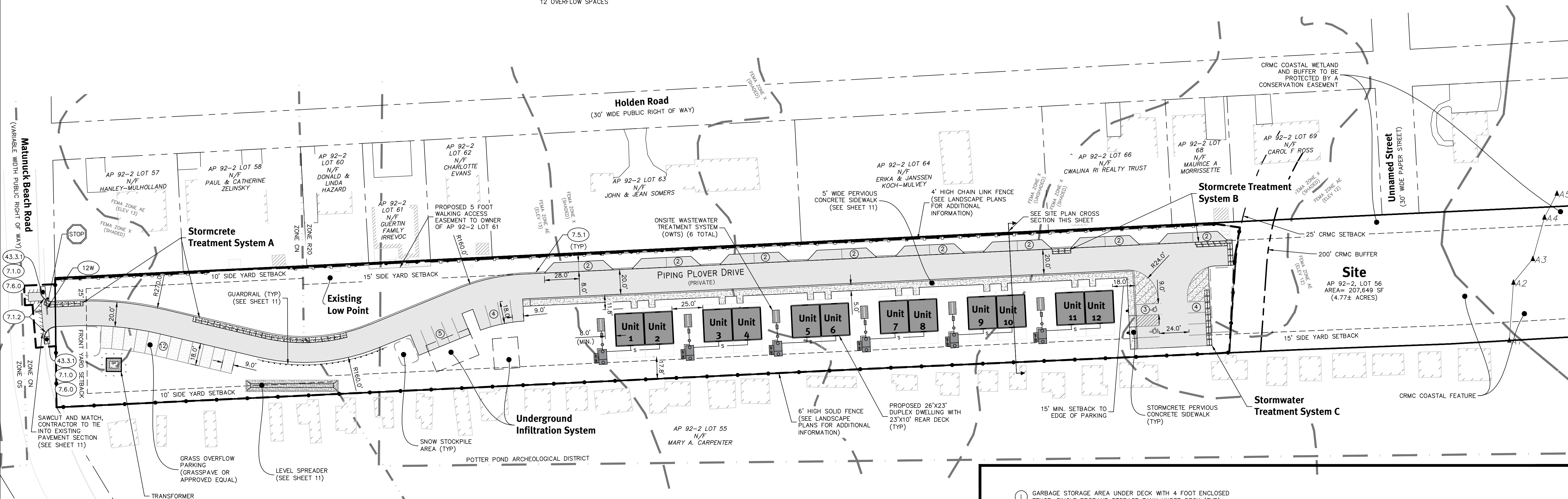
HISTORICAL PRESERVATION & HERITAGE COMMISSION CRMC FILE NO. 2019-03-087 (DATED: APRIL 15, 2019)
 CRMC PRELIMINARY DETERMINATION FILE NO. 2019-03-087 (DATE: MARCH 25, 2019)
 RIDEM OWTS APPLICATION #2032-1432, 2132-0908, 2132-0909, 2132-0910, 2132-0911, 2132-0912.
 CRMC PRELIMINARY DETERMINATION FILE NO. 2019-03-087 (DATE: MARCH 25, 2019)

Zoning Relief Approved

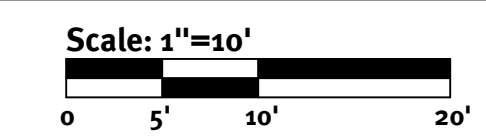
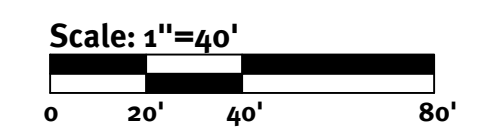
- a. ZONING ORDINANCE SECTION 301 - SCHEDULE OF USE REGULATIONS TABLE, USE CODE 12.1 - MULTI-HOUSEHOLD LAND DEVELOPMENT PROJECT
- b. ZONING ORDINANCE SECTION 401 - SCHEDULE OF DIMENSIONAL REGULATIONS, DENSITY
- c. SUBDIVISION & LAND DEVELOPMENT REGULATIONS - ARTICLE IV, SECTION H(9), MULTI HOUSEHOLD DWELLINGS, SUPPLEMENTARY STANDARDS.

Parking Regulations:

PARKING USE: APARTMENTS OR MULTI-HOUSEHOLD DWELLINGS
 PARKING REQUIREMENT: 2 SPACES PER UNIT
 UNITS PROPOSED: 12 UNITS
 PARKING CALCULATION: 2 * 12 = 24 SPACES
 REQUIRED PARKING SPACES: 24 SPACES
 PARKING SPACES PROVIDED: 44 TOTAL SPACES
 32 STANDARD SPACES (INCLUDING 2 ADA SPACES)
 12 OVERFLOW SPACES



Low and Moderate Income Housing Note:
 1. UNITS 1, 5 AND 9 ARE DESIGNATED FOR LOW AND MODERATE INCOME DEED RESTRICTIONS.



Site Plan Cross Section (Looking East)

DiPrete Engineering
 Two Stafford Court, Cranston, RI 02920
 tel 401-943-1000 fax 401-464-6006 www.diprete-eng.com

CHRISTOPHER A. DUHAMEL
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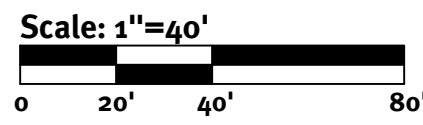
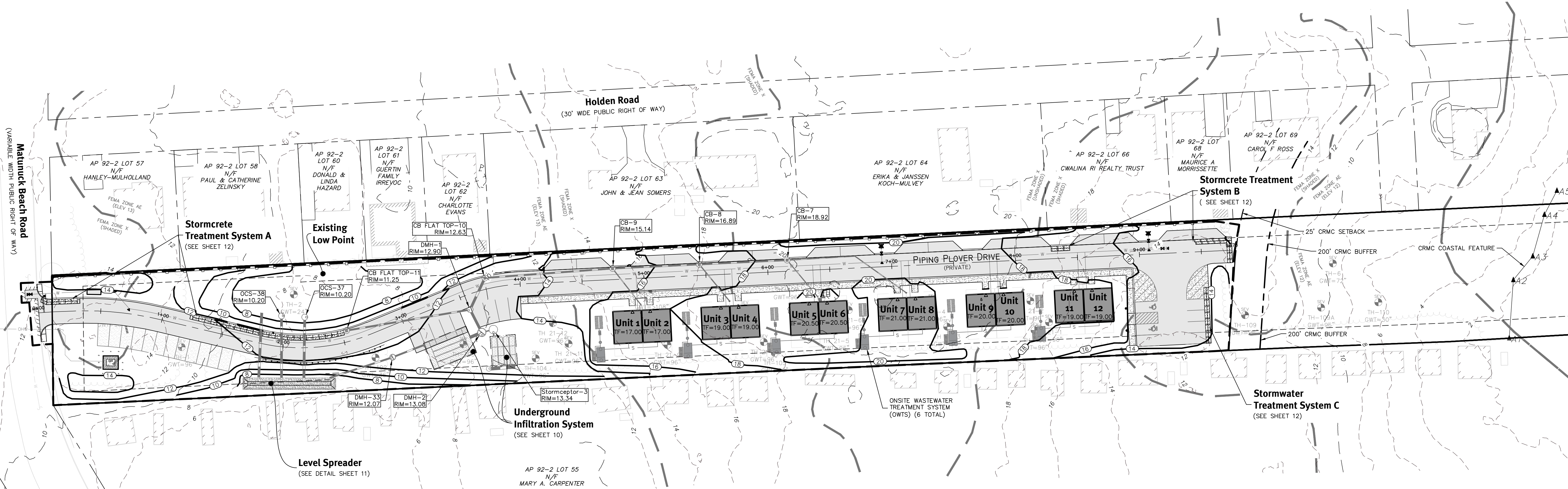
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 The contractor is responsible for all of the means, methods, safety and quality of the work. The contractor shall be responsible for the implementation of this plan and design.
 DiPrete Engineering assumes no responsibility for damages incurred due to locations of existing utilities. See Utility Note on sheet 3.

NO.	DATE	DESCRIPTION	BY
1	10-22-2021	PRELIMINARY SUBMISSION	N.D.K.
2	10-22-2021	CRMC ASSESSMENT APPLICATION SUBMISSION	N.D.K.
3	09-29-2021	OWTS SUBMISSION	N.D.K.
4	08-31-2021	PRELIMINARY PLAN SUBMISSION	N.D.K.
5	07-20-2021	REDEM SUBMISSION	N.D.K.

Drawn By: N.D.K. Design By: N.D.K.

Site Layout Plan
Matunuck Beach Condos
 Assessors: BR 92-2 Lot 56
 South Kingstown, Rhode Island
Matunuck Beach Road Partners, LLC
 P.O. Box 385
 Wakefield, RI 02880

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Grading Plan
Matunuck Beach Condos
 Assessors: Blt 02-2 Lot 66
 South Kingstown, Rhode Island
Project Owner
Matunuck Beach Road Partners, LLC
 P.O. Box 395
 Wakefield, RI 02880

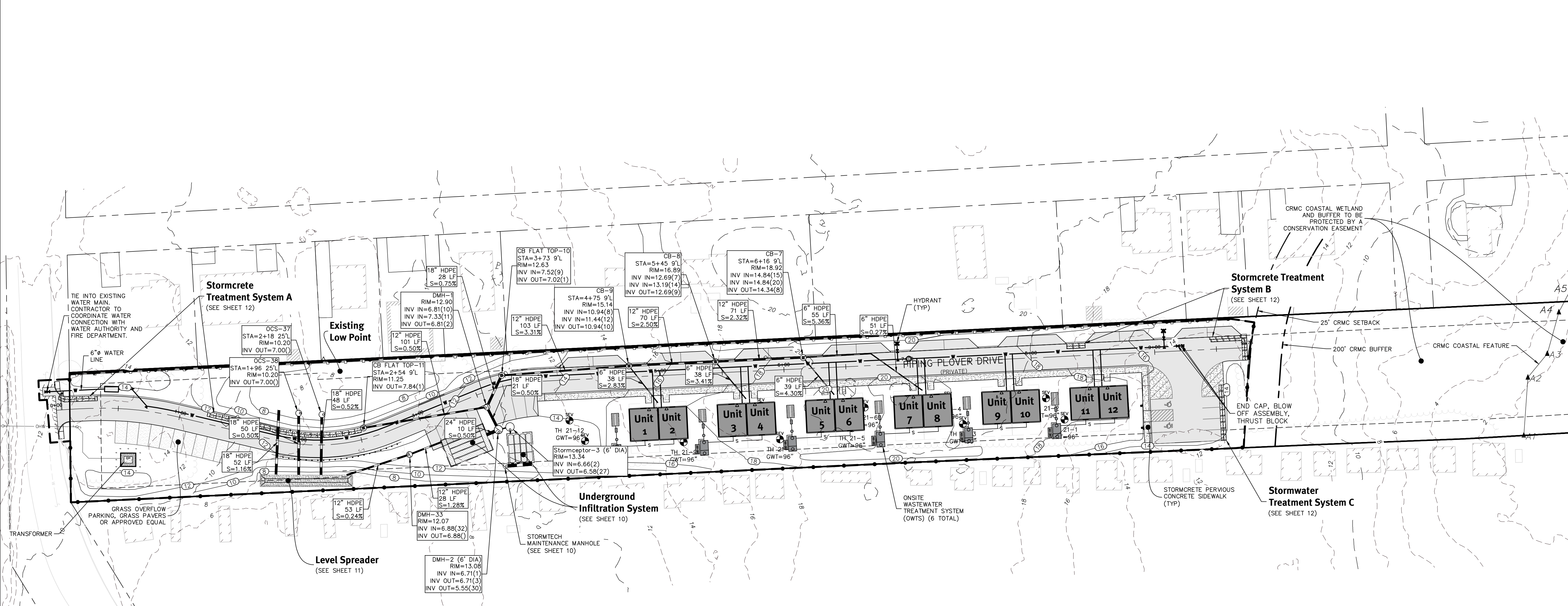
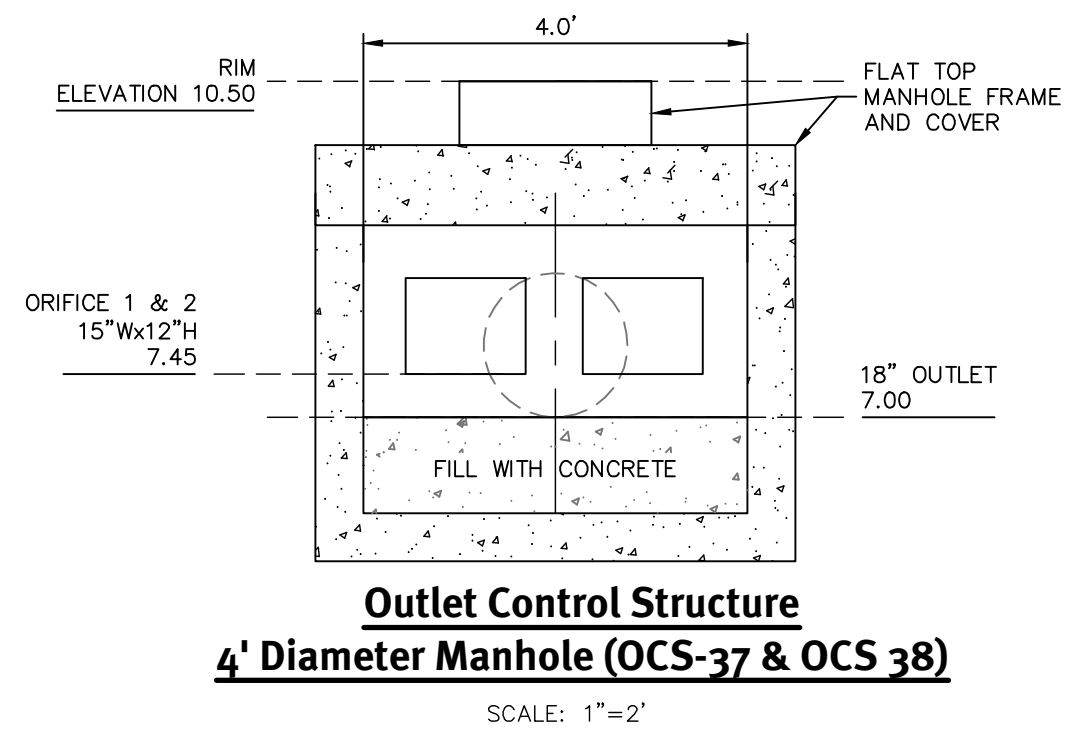
This plan set must not be used for construction purposes unless stamped, issued for construction, and stamped by a registered professional engineer of DPRETE Engineering, Inc. The contractor is responsible for all of the means, methods, safety and backfilling on any construction. The contractor shall be responsible for the implementation of this plan and design. The contractor shall assume responsibility for any damage to existing utilities. See Utility Note on Sheet 3.

No.	Date	By	Description
1	10-22-2021	S.T.M.	Permitting Submission
2	10-26-2021	S.P.	CRMC Assent Application Submission
3	09-29-2021	A.C.	Work Submission
4	08-11-2021	S.P.	Permitting Submission
5	07-20-2021	R.D.K.	REDEM Submission
6	07-20-2021	R.D.K.	REDEM Submission
7	07-20-2021	R.D.K.	REDEM Submission
8	07-20-2021	R.D.K.	REDEM Submission
9	07-20-2021	R.D.K.	REDEM Submission
10	07-20-2021	R.D.K.	REDEM Submission
11	07-20-2021	R.D.K.	REDEM Submission
12	07-20-2021	R.D.K.	REDEM Submission
13	07-20-2021	R.D.K.	REDEM Submission
14	07-20-2021	R.D.K.	REDEM Submission
15	07-20-2021	R.D.K.	REDEM Submission
16	07-20-2021	R.D.K.	REDEM Submission
17	07-20-2021	R.D.K.	REDEM Submission
18	07-20-2021	R.D.K.	REDEM Submission
19	07-20-2021	R.D.K.	REDEM Submission
20	07-20-2021	R.D.K.	REDEM Submission
21	07-20-2021	R.D.K.	REDEM Submission
22	07-20-2021	R.D.K.	REDEM Submission
23	07-20-2021	R.D.K.	REDEM Submission
24	07-20-2021	R.D.K.	REDEM Submission
25	07-20-2021	R.D.K.	REDEM Submission
26	07-20-2021	R.D.K.	REDEM Submission
27	07-20-2021	R.D.K.	REDEM Submission
28	07-20-2021	R.D.K.	REDEM Submission
29	07-20-2021	R.D.K.	REDEM Submission
30	07-20-2021	R.D.K.	REDEM Submission
31	07-20-2021	R.D.K.	REDEM Submission
32	07-20-2021	R.D.K.	REDEM Submission
33	07-20-2021	R.D.K.	REDEM Submission
34	07-20-2021	R.D.K.	REDEM Submission
35	07-20-2021	R.D.K.	REDEM Submission
36	07-20-2021	R.D.K.	REDEM Submission
37	07-20-2021	R.D.K.	REDEM Submission
38	07-20-2021	R.D.K.	REDEM Submission
39	07-20-2021	R.D.K.	REDEM Submission
40	07-20-2021	R.D.K.	REDEM Submission
41	07-20-2021	R.D.K.	REDEM Submission
42	07-20-2021	R.D.K.	REDEM Submission
43	07-20-2021	R.D.K.	REDEM Submission
44	07-20-2021	R.D.K.	REDEM Submission
45	07-20-2021	R.D.K.	REDEM Submission
46	07-20-2021	R.D.K.	REDEM Submission
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54	07-20-2021	R.D.K.	REDEM Submission
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56	07-20-2021	R.D.K.	REDEM Submission
57	07-20-2021	R.D.K.	REDEM Submission
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70	07-20-2021	R.D.K.	REDEM Submission
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74	07-20-2021	R.D.K.	REDEM Submission
75	07-20-2021	R.D.K.	REDEM Submission
76	07-20-2021	R.D.K.	REDEM Submission
77	07-20-2021	R.D.K.	REDEM Submission
78	07-20-2021	R.D.K.	REDEM Submission
79	07-20-2021	R.D.K.	REDEM Submission
80	07-20-2021	R.D.K.	REDEM Submission

CHRISTOPHER A. DUHAMEL

 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

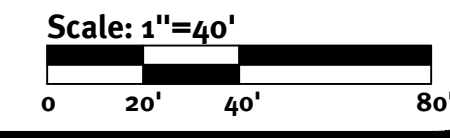
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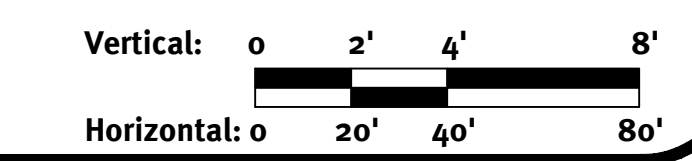
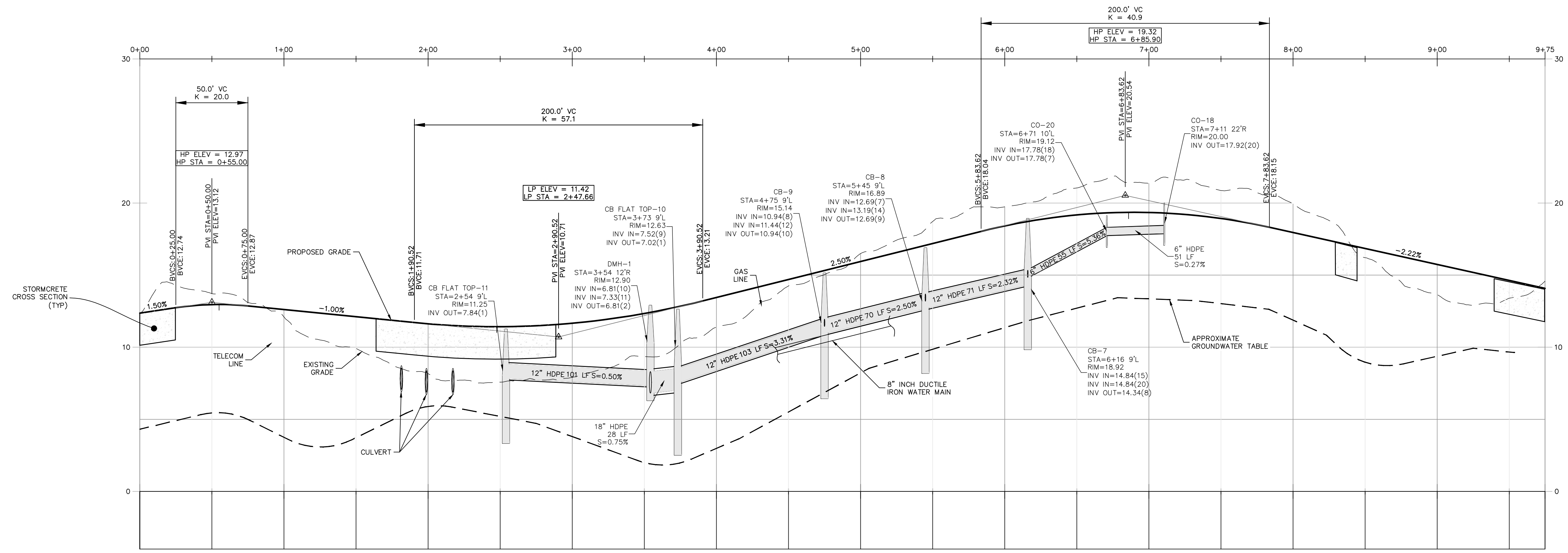
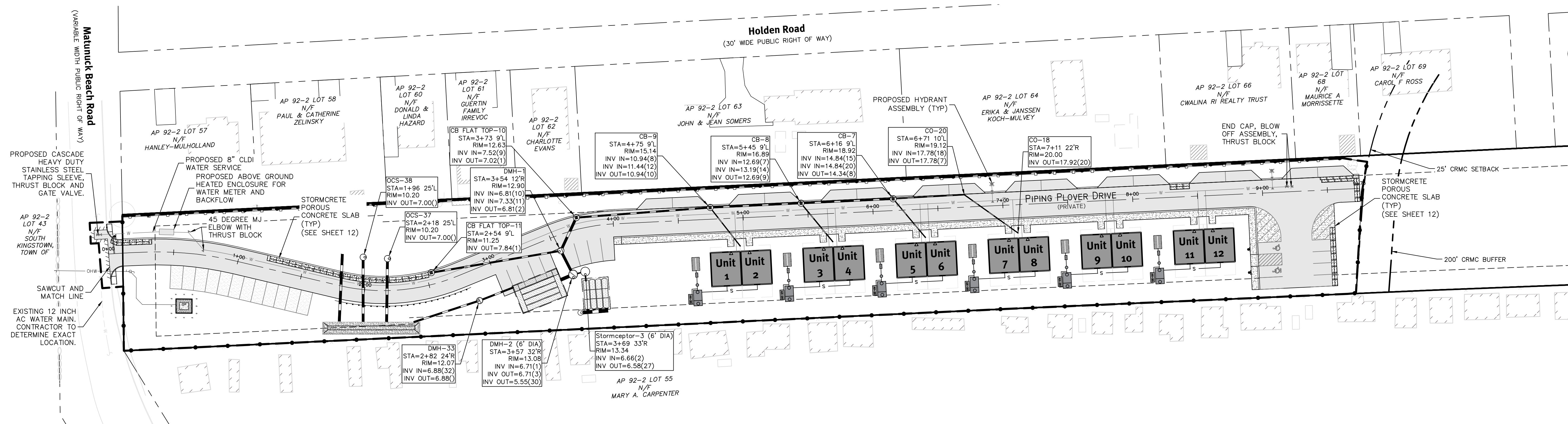


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 Existing utilities shown on this plan are approximate only. DiPrete Engineering assumes no responsibility for damages incurred due to locations of existing utilities. See Utility Note on Sheet 3.

NO.	DATE	DESCRIPTION	BY
1	07-20-2021	REVISION	N.D.K.
2	08-12-2021	PRELIMINARY PLAN SUBMISSION	N.D.K.
3	09-20-2021	WORK SUBMISSION	N.D.K.
4	10-26-2021	CRMC ASSENT APPLICATION SUBMISSION	N.D.K.
5	10-26-2021	PERMITTING SUBMISSION	N.D.K.

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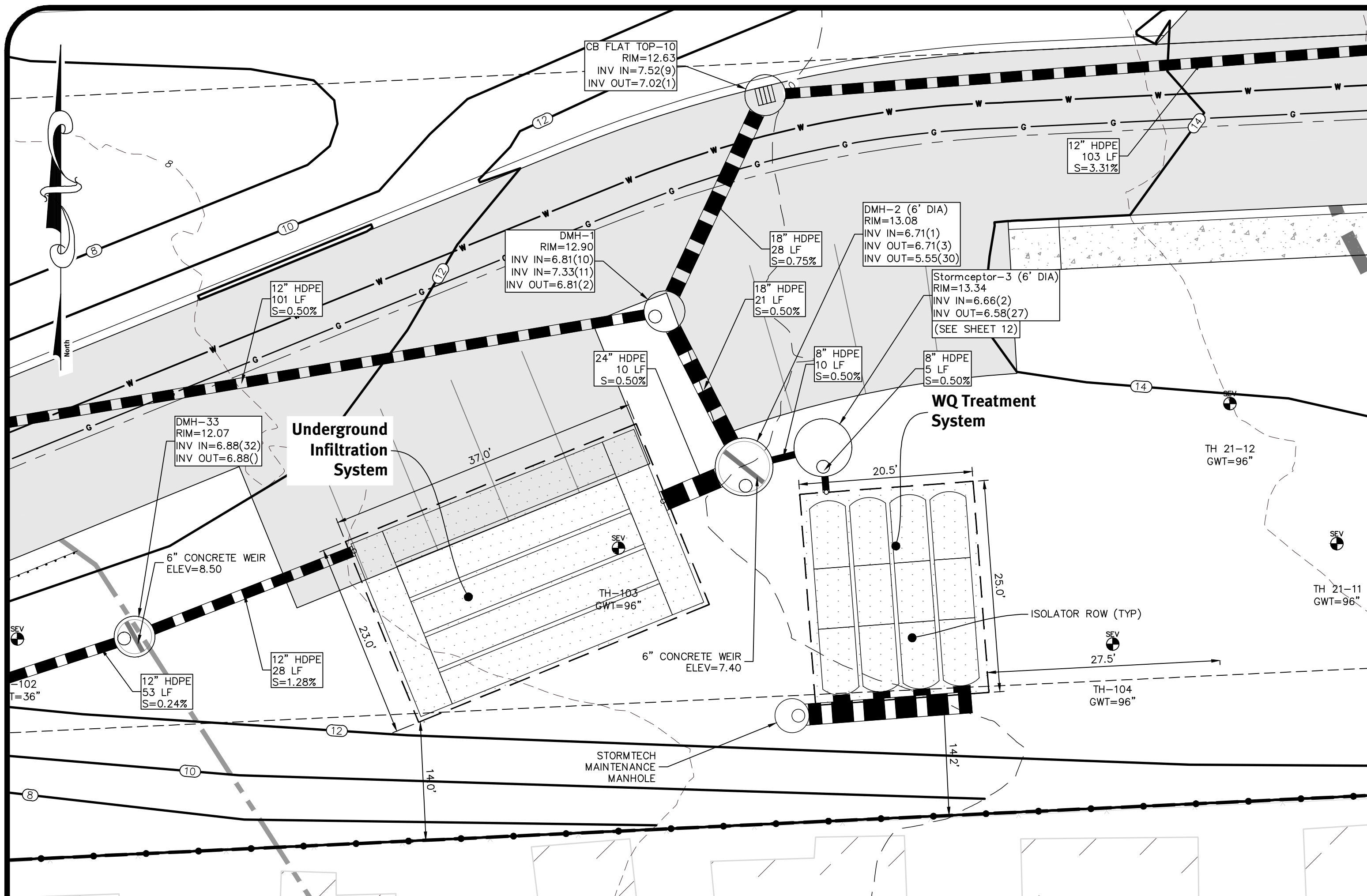
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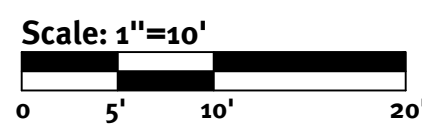
Rev.	Date	Description	By	Appr.
1	08-12-2021	PRELIMINARY PLAN SUBMISSION	NDK	NDK
2	09-20-2021	FINAL PLAN SUBMISSION	NDK	NDK
3	10-20-2021	CONTRACT DOCUMENT SUBMISSION	NDK	NDK
4	10-20-2021	CONTRACT DOCUMENT SUBMISSION	NDK	NDK
5	10-22-2021	PERMITS SUBMISSION	NDK	NDK

Plan & Profile
Matunuck Beach Condos
Assessors: Blk 92-2 Lot 66
South Kingstown, Rhode Island
Matunuck Beach Road Partners, LLC
P.O. Box 385
Waketield, RI 02880
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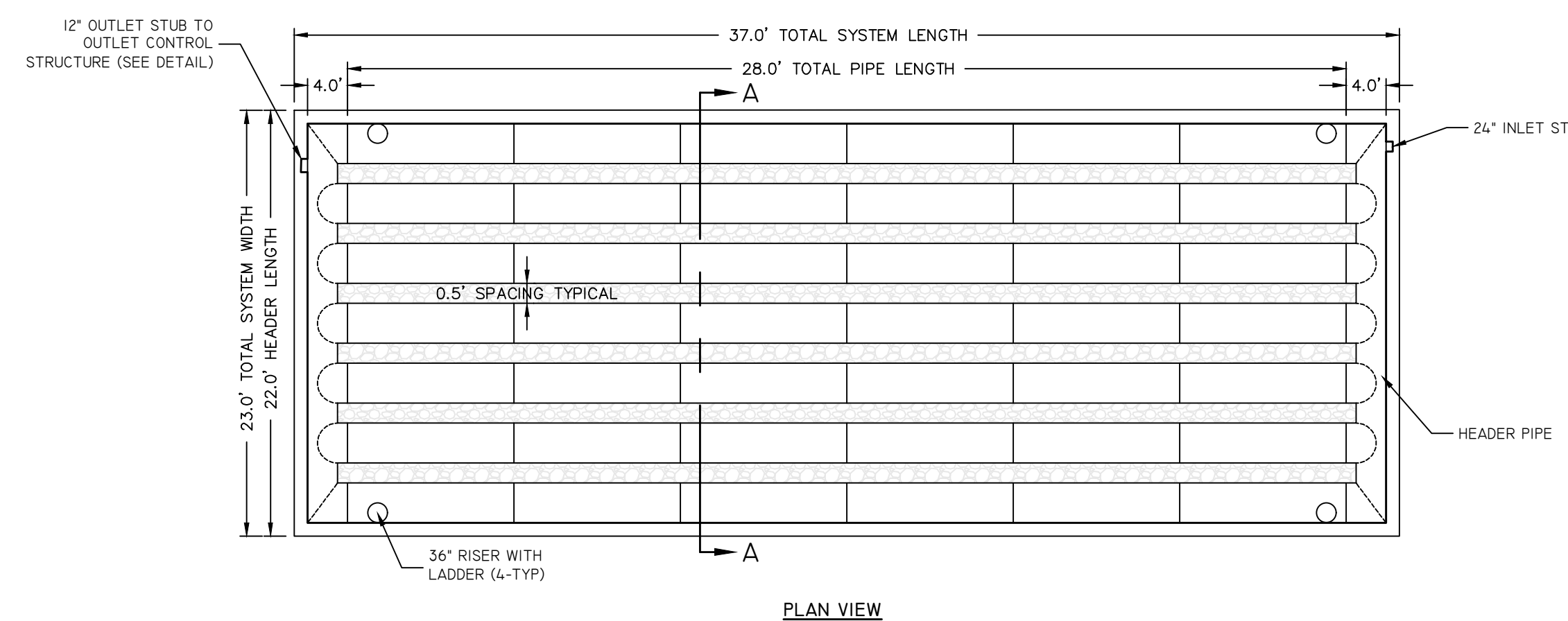
UNDERGROUND INFILTRATION SYSTEM



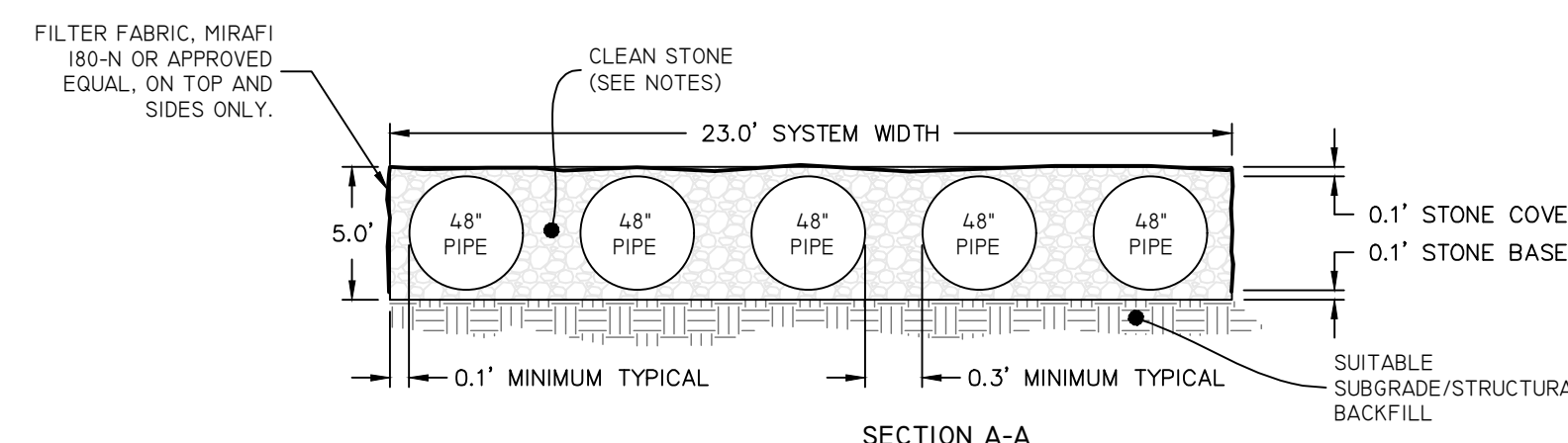
NOTES:

- CLEAN STONE SHALL BE CLEAN DOUBLE WASHED ANGULAR STONE. STONE MUST MEET AASHTO SPECIFICATION M-43 SIZE NO. 2 OR NO. 3.
- PIPE SHALL BE HDPE OR ALUMINIZED TYPE 2. ALL PIPE MUST BE FULLY PERFORATED. CONTRACTOR TO PROVIDE SHOP DRAWINGS TO DESIGN ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.
- HEADER PIPE CAN BE CUSTOM MANUFACTURED OR CONSTRUCTED USING PIPE FITTINGS. CONTRACTOR TO PROVIDE SHOP DRAWINGS TO DESIGN ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.

DESCRIPTION	UIS
TOP OF UIS STONE ELEVATION	10.00
BOTTOM OF UIS STONE ELEVATION	5.00
100 YEAR STORM ELEVATION	8.57
10 YEAR STORM ELEVATION	7.47
1 YEAR STORM ELEVATION	5.00
SEASONAL HIGH GWT ELEVATION	1.00
SOIL EVALUATION	TH-103



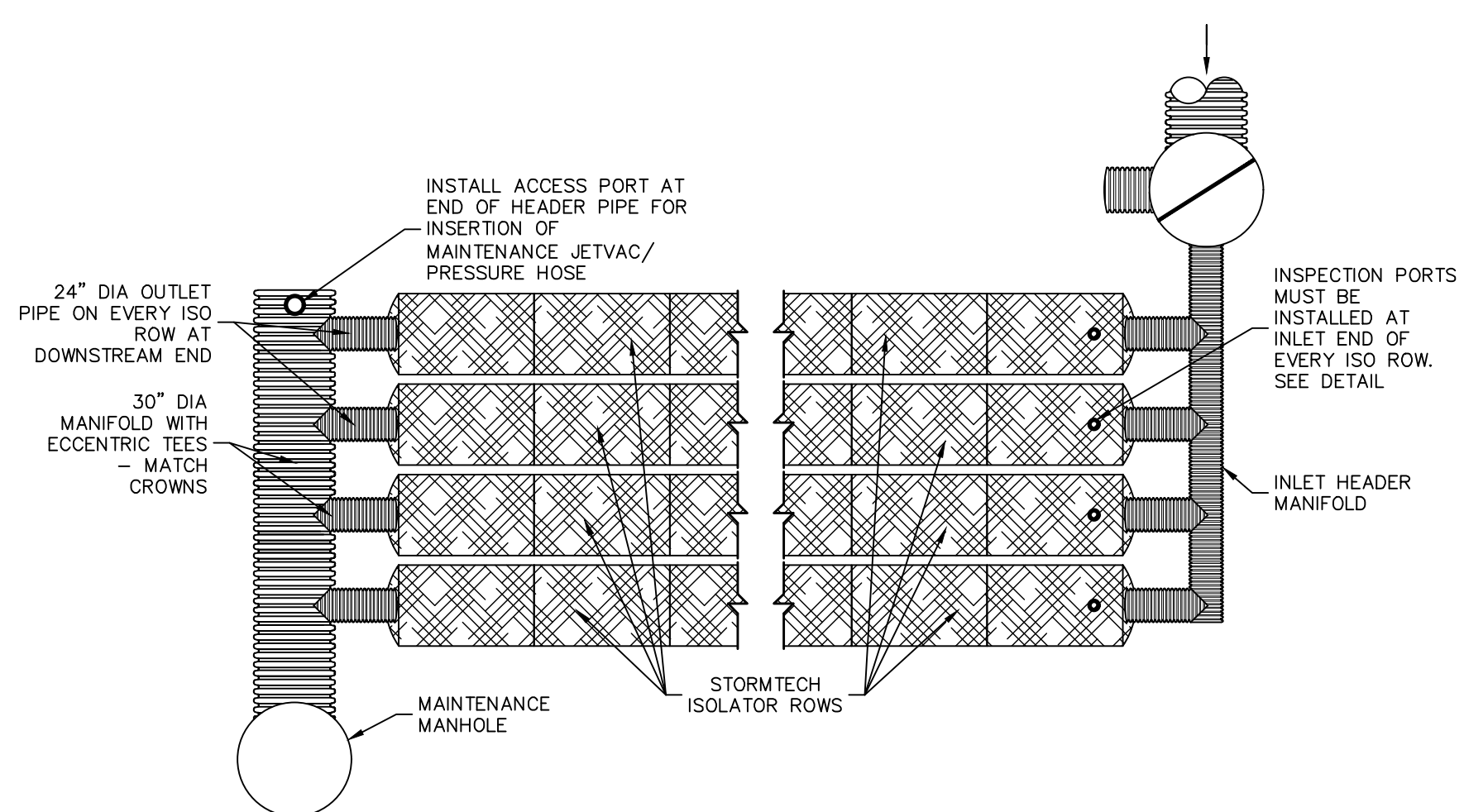
PLAN VIEW



SECTION A-A

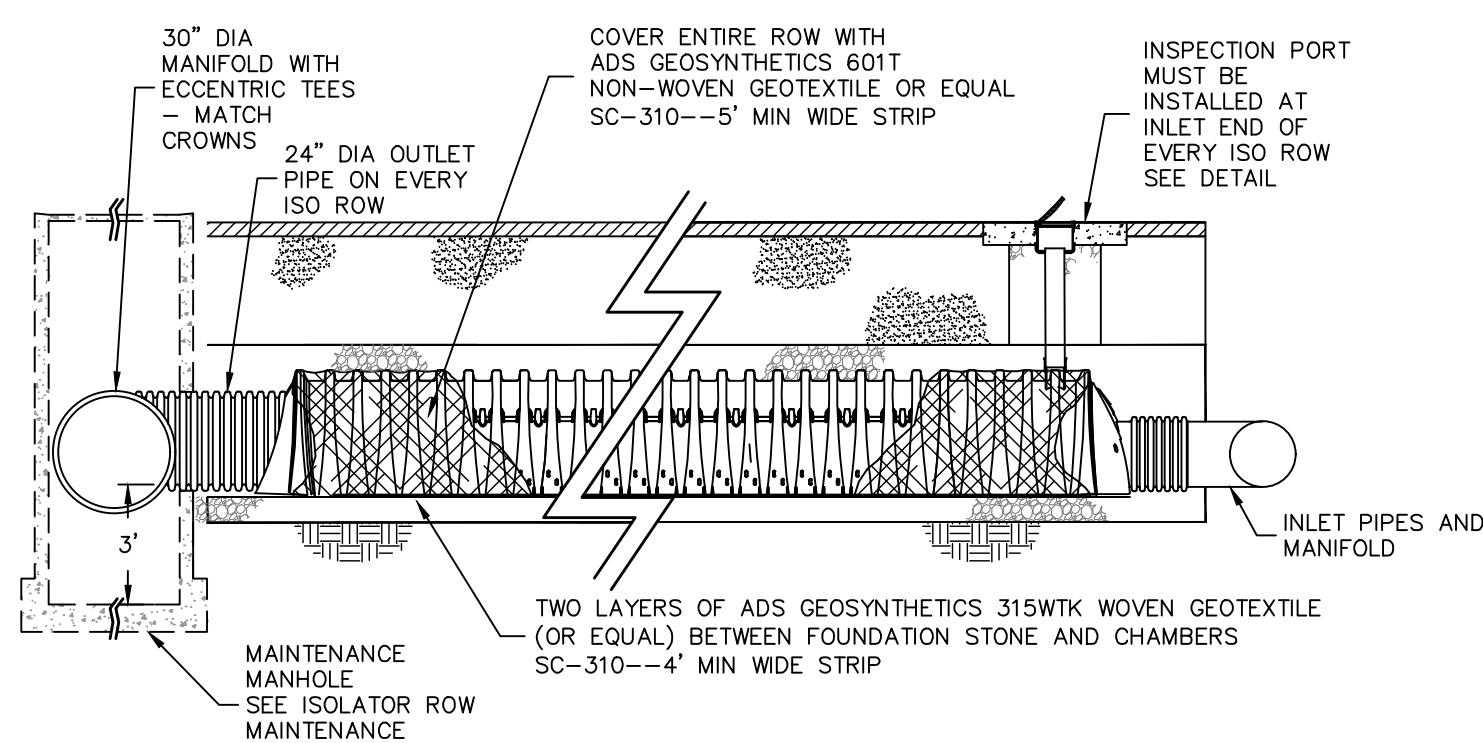
UNDERGROUND INFILTRATION SYSTEM

NOT TO SCALE



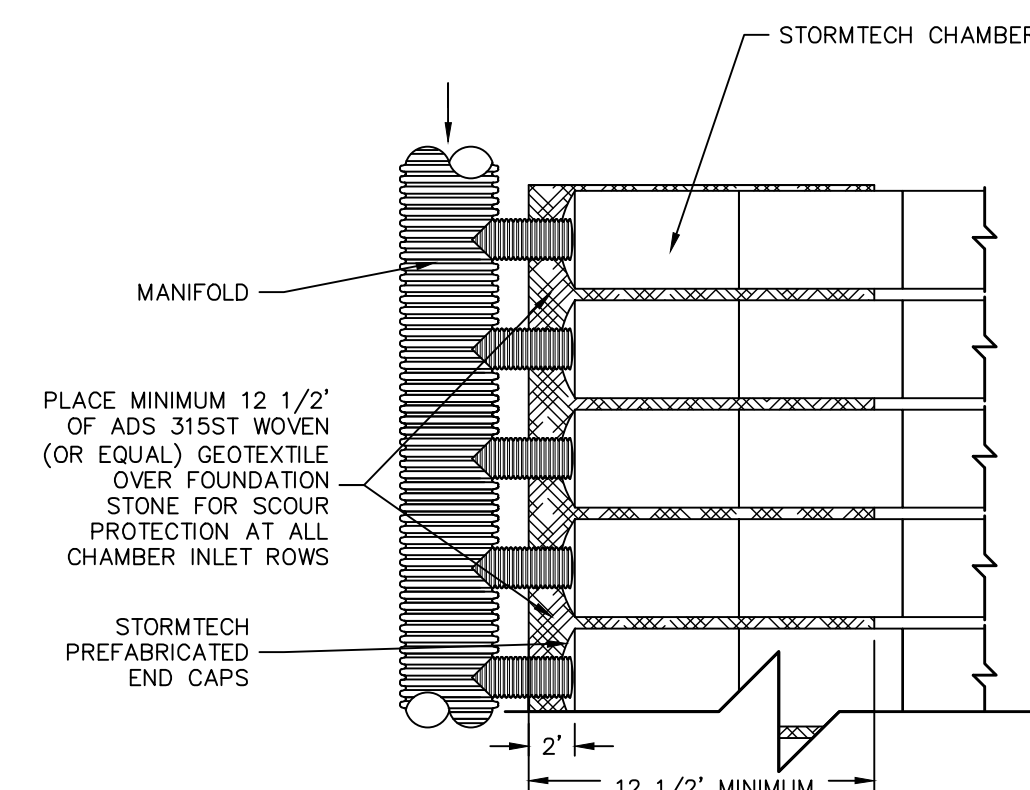
STORMTECH ISOLATOR ROW MAINTENANCE DETAIL

NOT TO SCALE



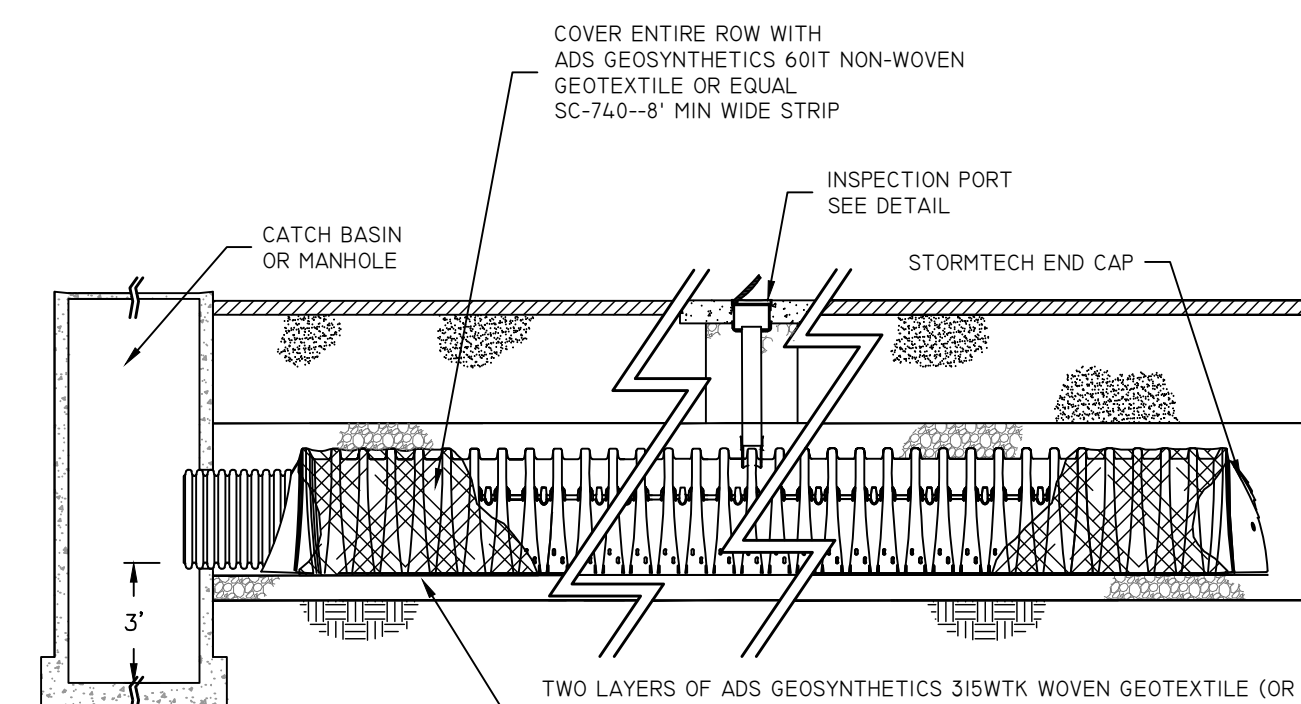
STORMTECH ISOLATOR ROW DETAIL

NOT TO SCALE



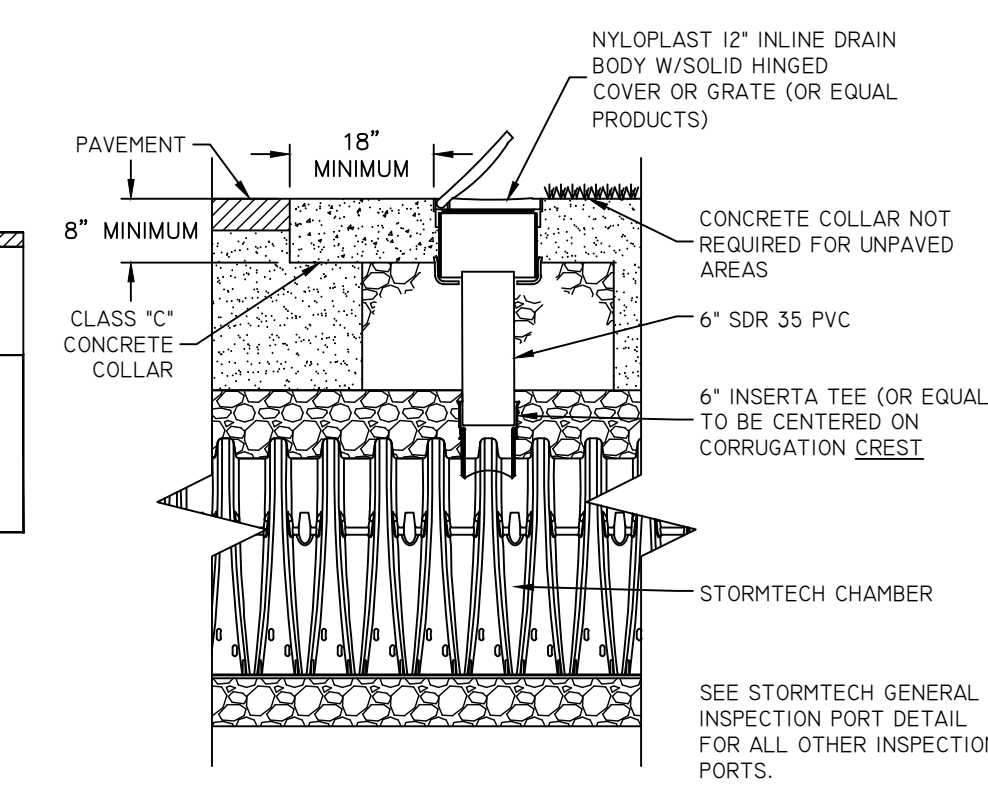
Stormtech Manifold Detail (Typ)

NOT TO SCALE



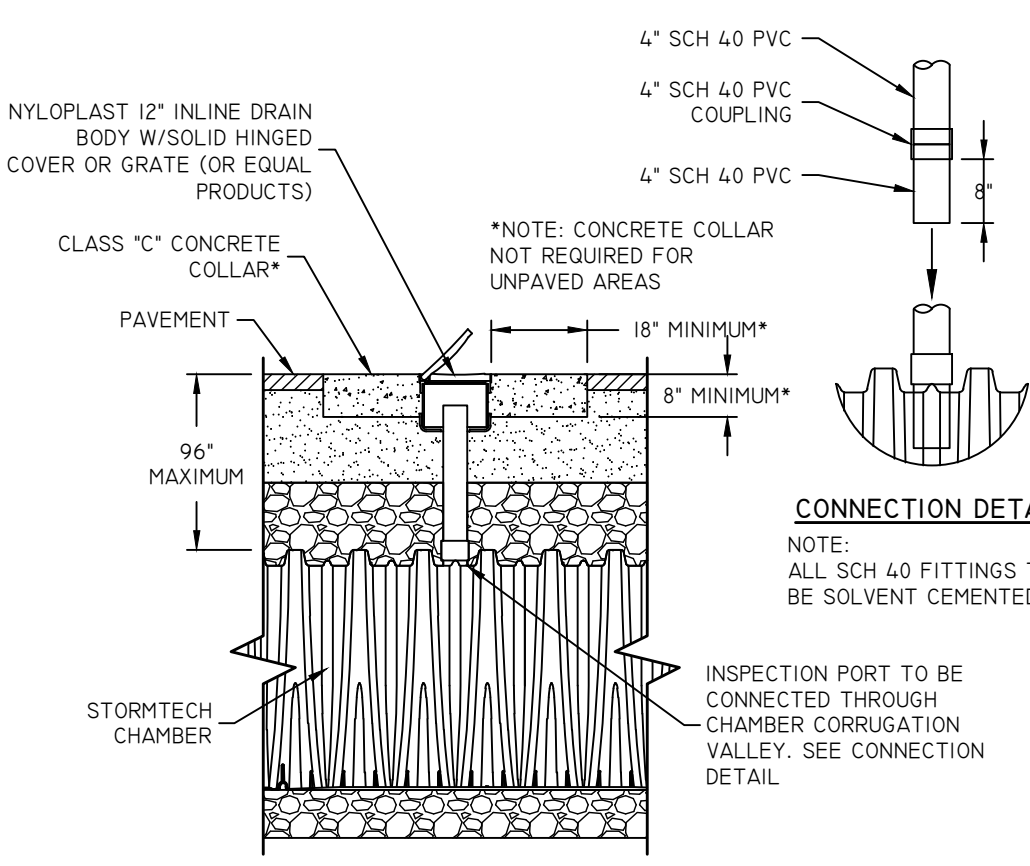
STORMTECH ISOLATOR ROW DETAIL (SC-740)

NOT TO SCALE



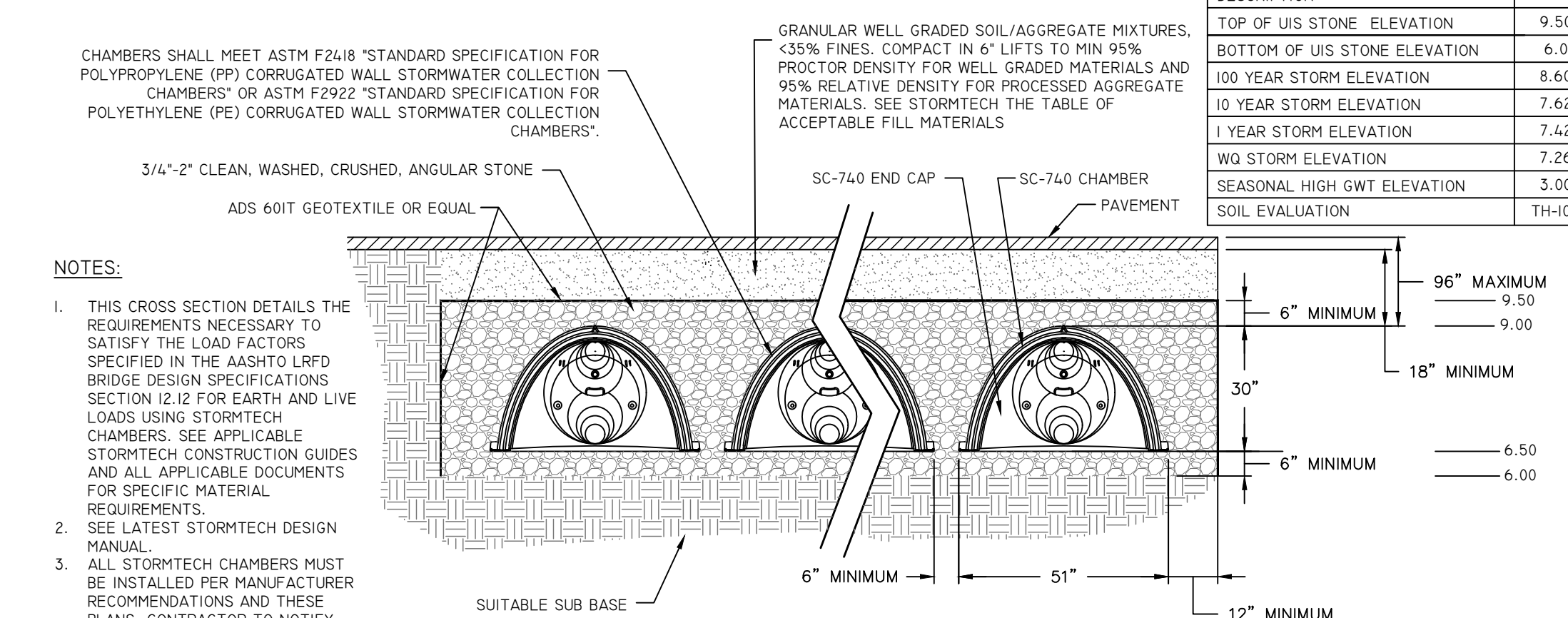
ISOLATOR ROW INSPECTION PORT

NOT TO SCALE



STORMTECH GENERAL INSPECTION PORT DETAIL

NOT TO SCALE



WATER QUALITY TREATMENT SYSTEM
STORMTECH SC-740 TYPICAL CROSS SECTION

NOT TO SCALE

NOTES:

- THIS CROSS SECTION DETAILS THE REQUIREMENTS NECESSARY TO SATISFY THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS SECTION 12.12 FOR EARTH AND LIVE LOADS USING STORMTECH CHAMBERS. SEE APPLICABLE STORMTECH CONSTRUCTION GUIDES AND ALL APPLICABLE DOCUMENTS FOR SPECIFIC MATERIAL REQUIREMENTS.
- SEE LATEST STORMTECH DESIGN MANUAL.
- ALL STORMTECH CHAMBERS MUST BE INSTALLED PER MANUFACTURER RECOMMENDATIONS AND THESE PLANS. CONTRACTOR TO NOTIFY DESIGN ENGINEER OF ANY DISCREPANCIES PRIOR TO INSTALLATION.

DESCRIPTION	UIS-B
TOP OF UIS STONE ELEVATION	9.50
BOTTOM OF UIS STONE ELEVATION	6.0
100 YEAR STORM ELEVATION	8.60
10 YEAR STORM ELEVATION	7.62
1 YEAR STORM ELEVATION	7.42
WG STORM ELEVATION	7.26
SEASONAL HIGH GWT ELEVATION	3.00
SOIL EVALUATION	TH-104

DiPrete Engineering
Two Stafford Court Cranston, RI 02920
tel 401-943-1000 fax 401-644-6006 www.diprete-eng.com

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Engineer assumes no responsibility for damages incurred due to locations of existing utilities. See Utility Note on Sheet 3.

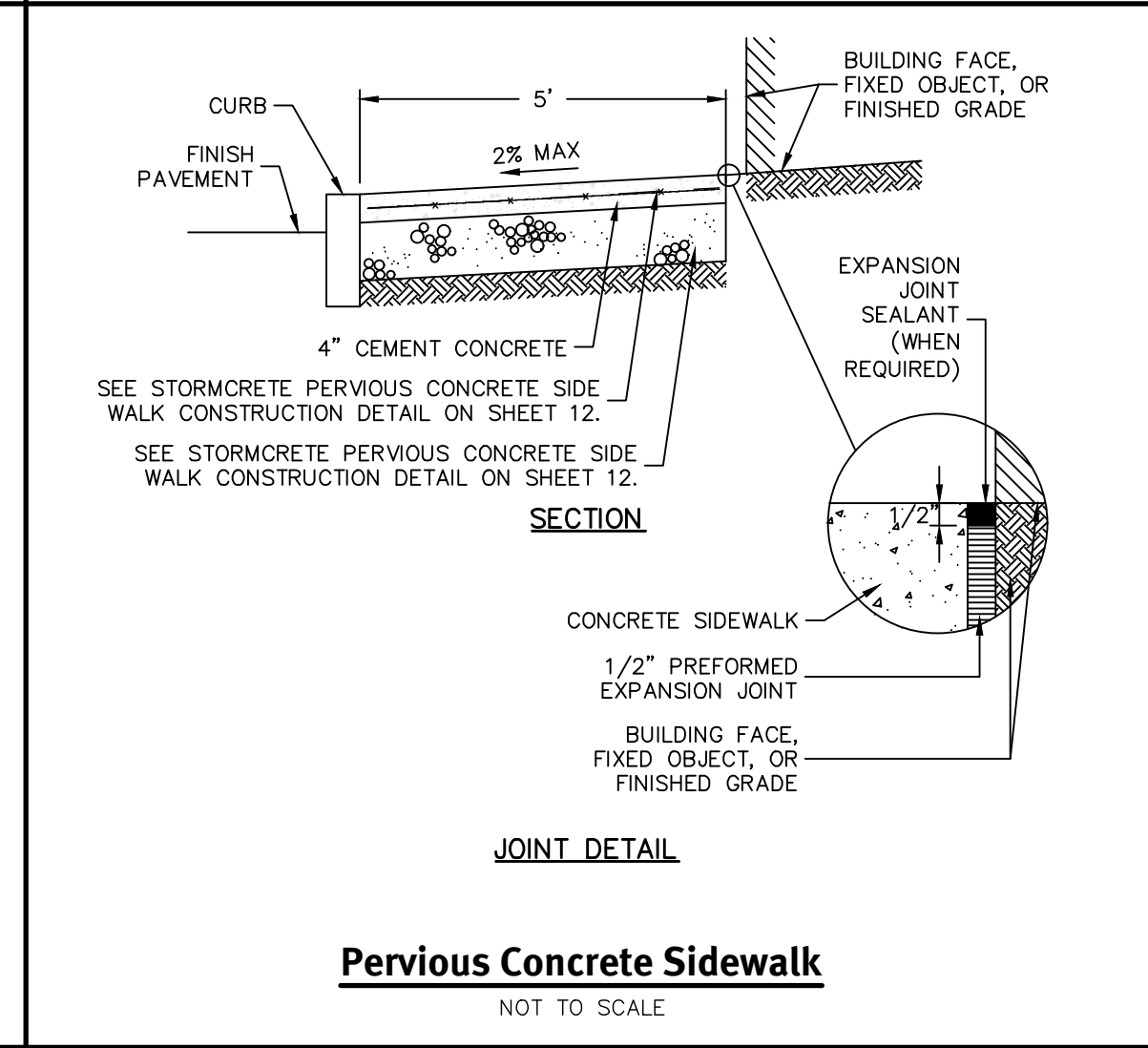
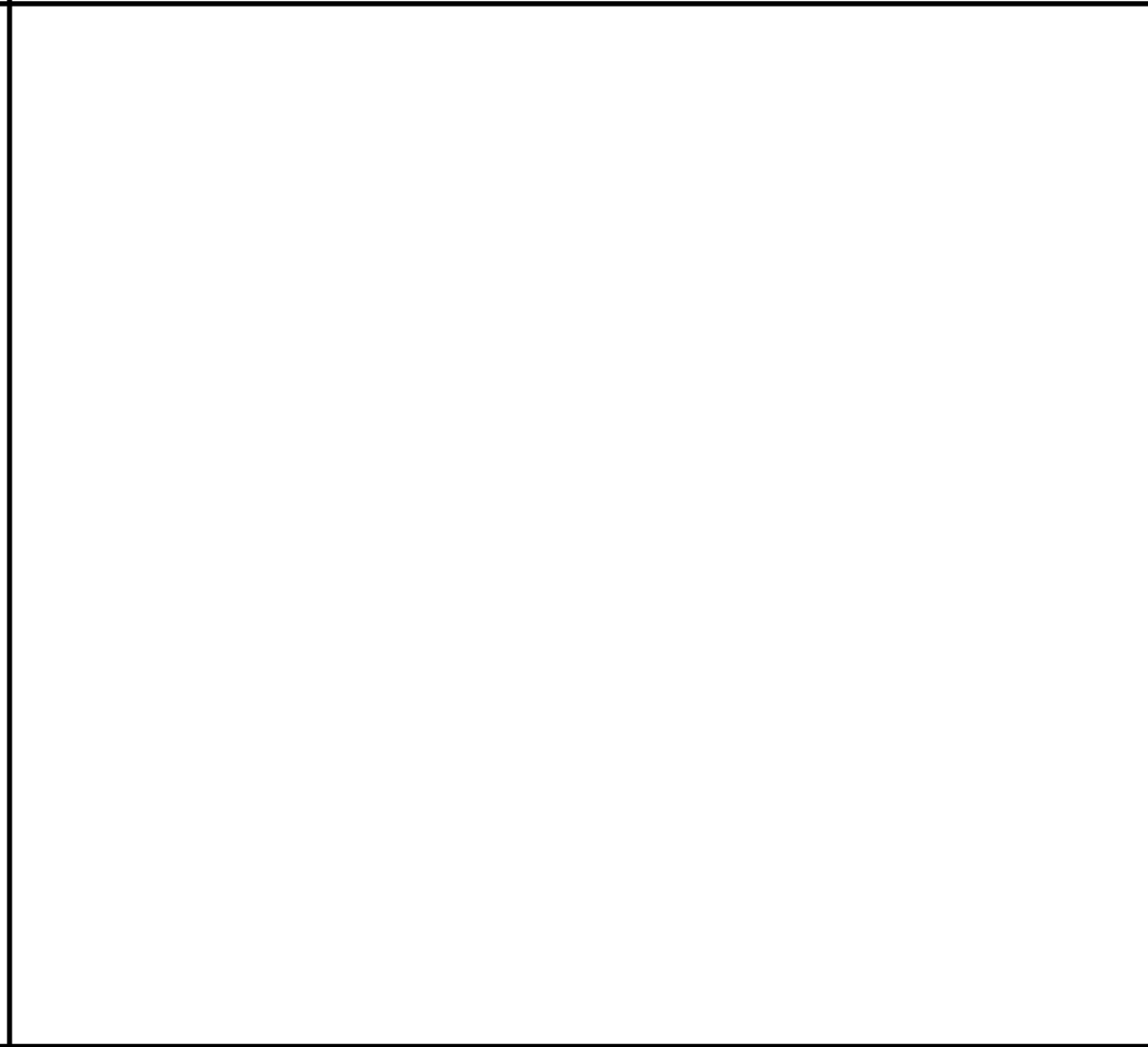
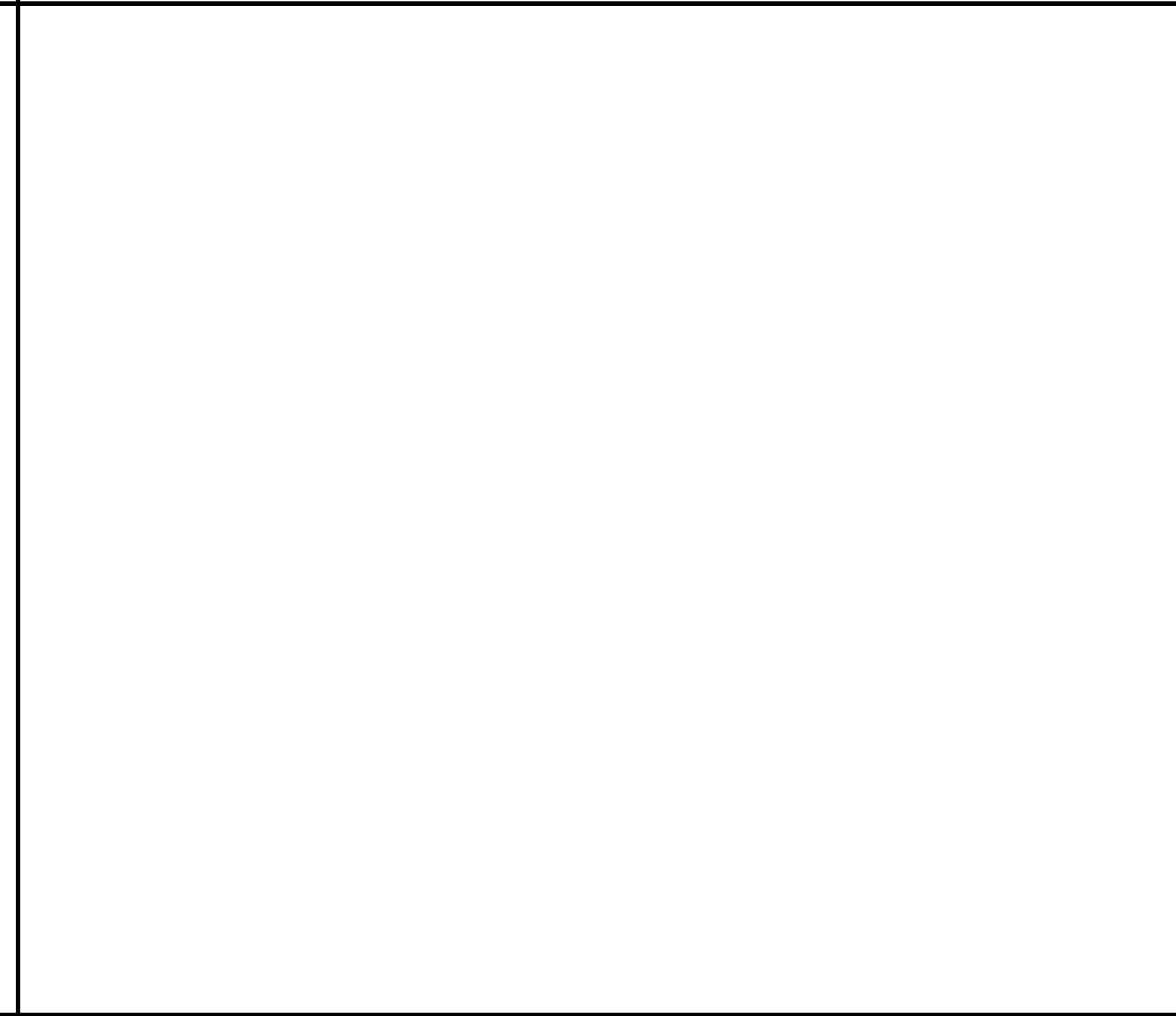
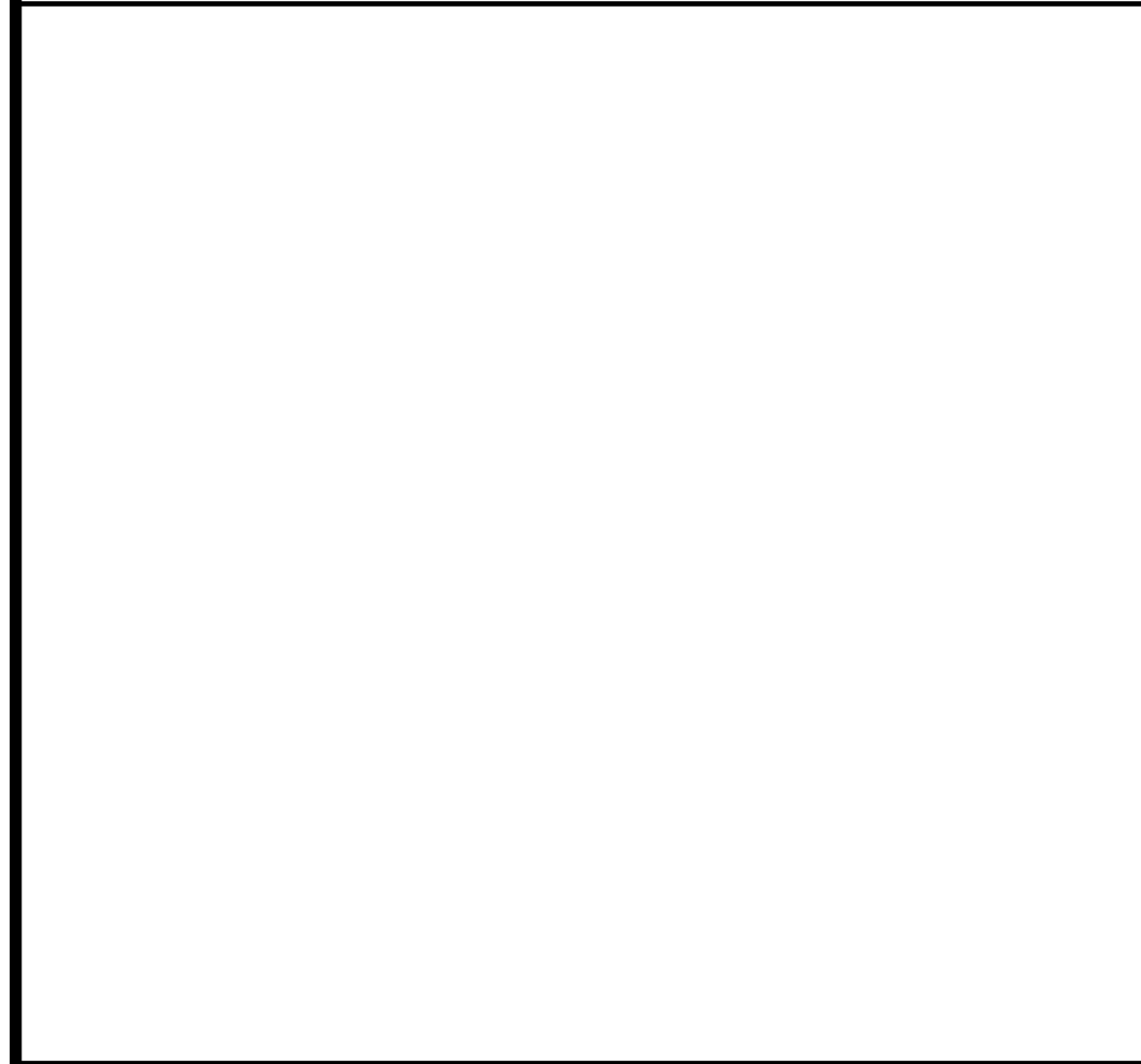
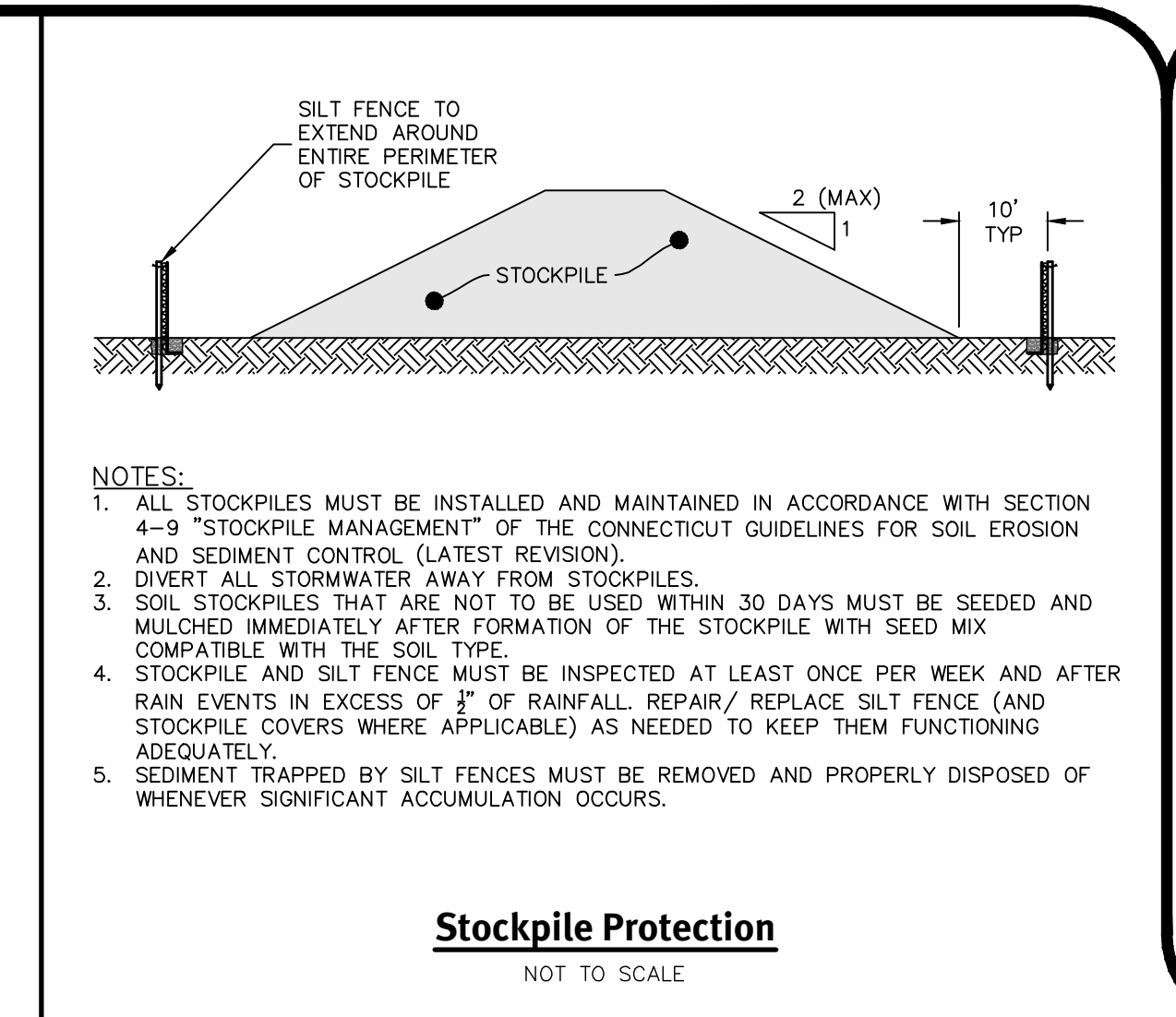
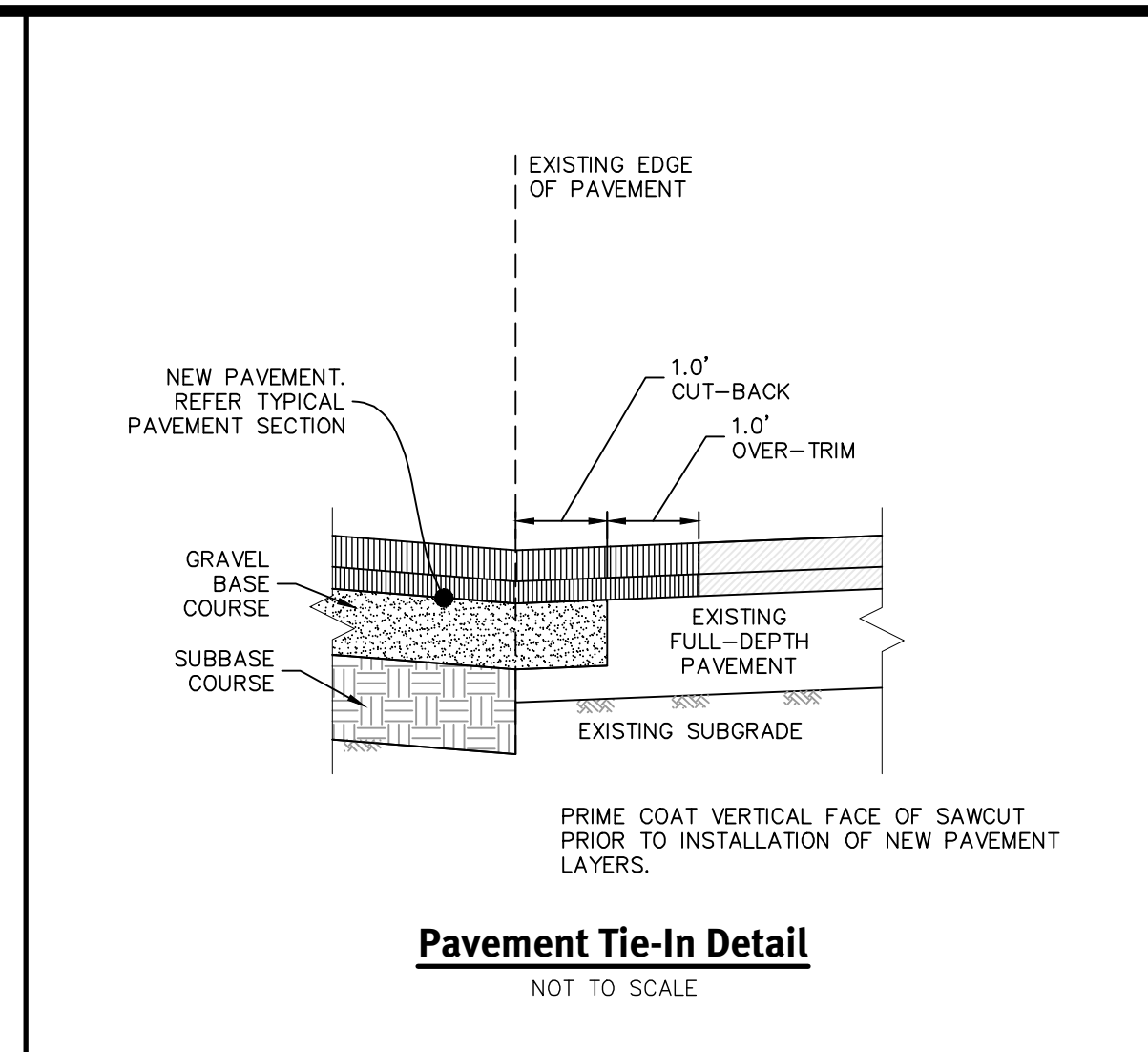
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10-22-2021	Permit/As-Built Submission	S.D.	S.T.M.
10-06-2021	CHK. Assent Application Submission	A.C.	S.T.M.
09-29-2021	Plan Submission	S.D.	S.T.M.
08-12-2021	Permit/As-Built Submission	S.D.	S.T.M.
07-20-2021	PERM. Submission	S.D.	S.T.M.

Drawn By: N.D.K. Design By: N.D.K.

STORMTECH & UIS DETAIL SHEET
Matunuck Beach Condos
Assessors: BR 02-107 66
South Kingstown, Rhode Island
Project Owner:
Matunuck Beach Road Partners, LLC
P.O. Box 385
Waketield, RI 02880
DE JOB No: 2389-002 Copyright 2021 by DiPrete Engineering Associates, Inc.

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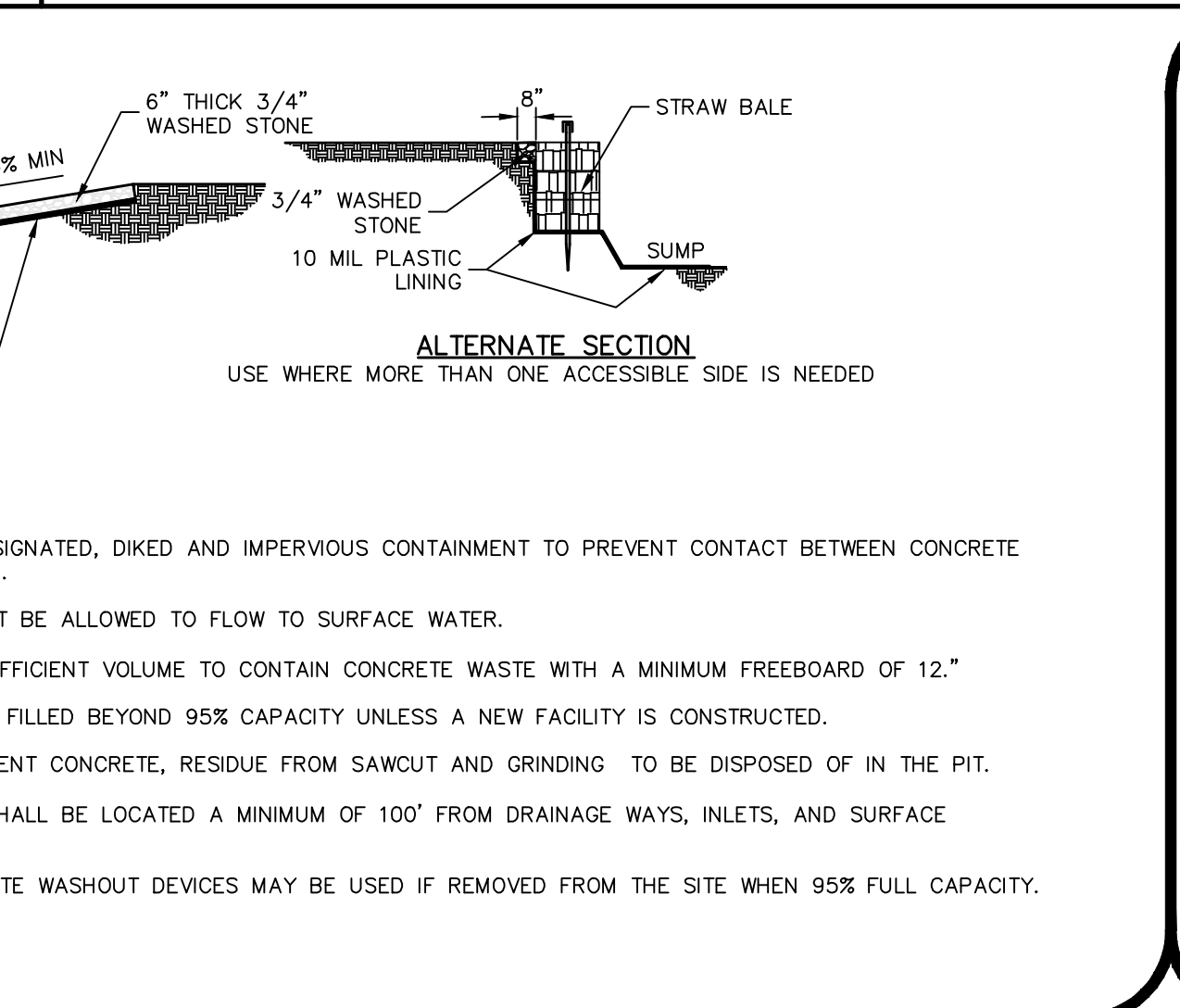
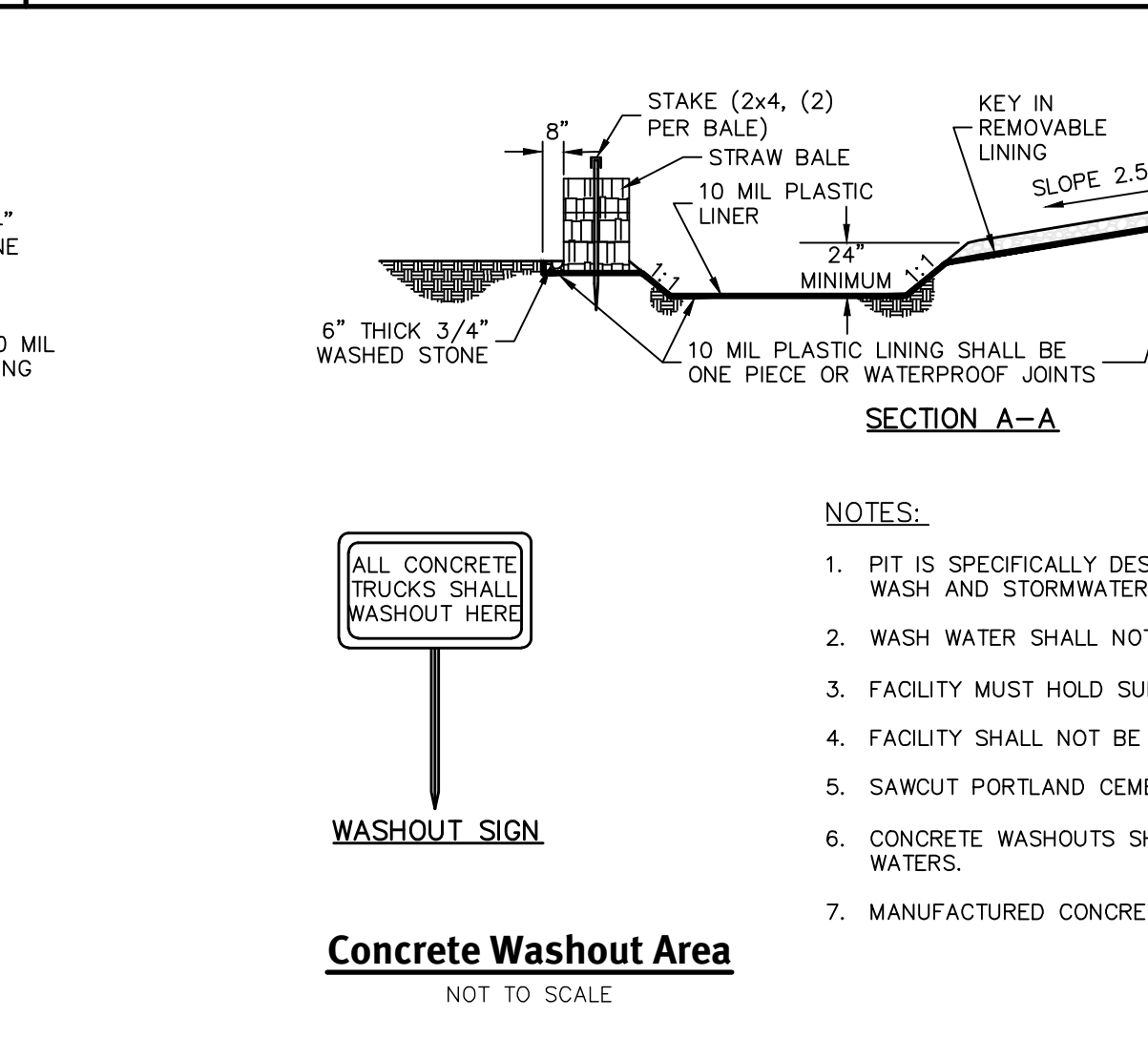
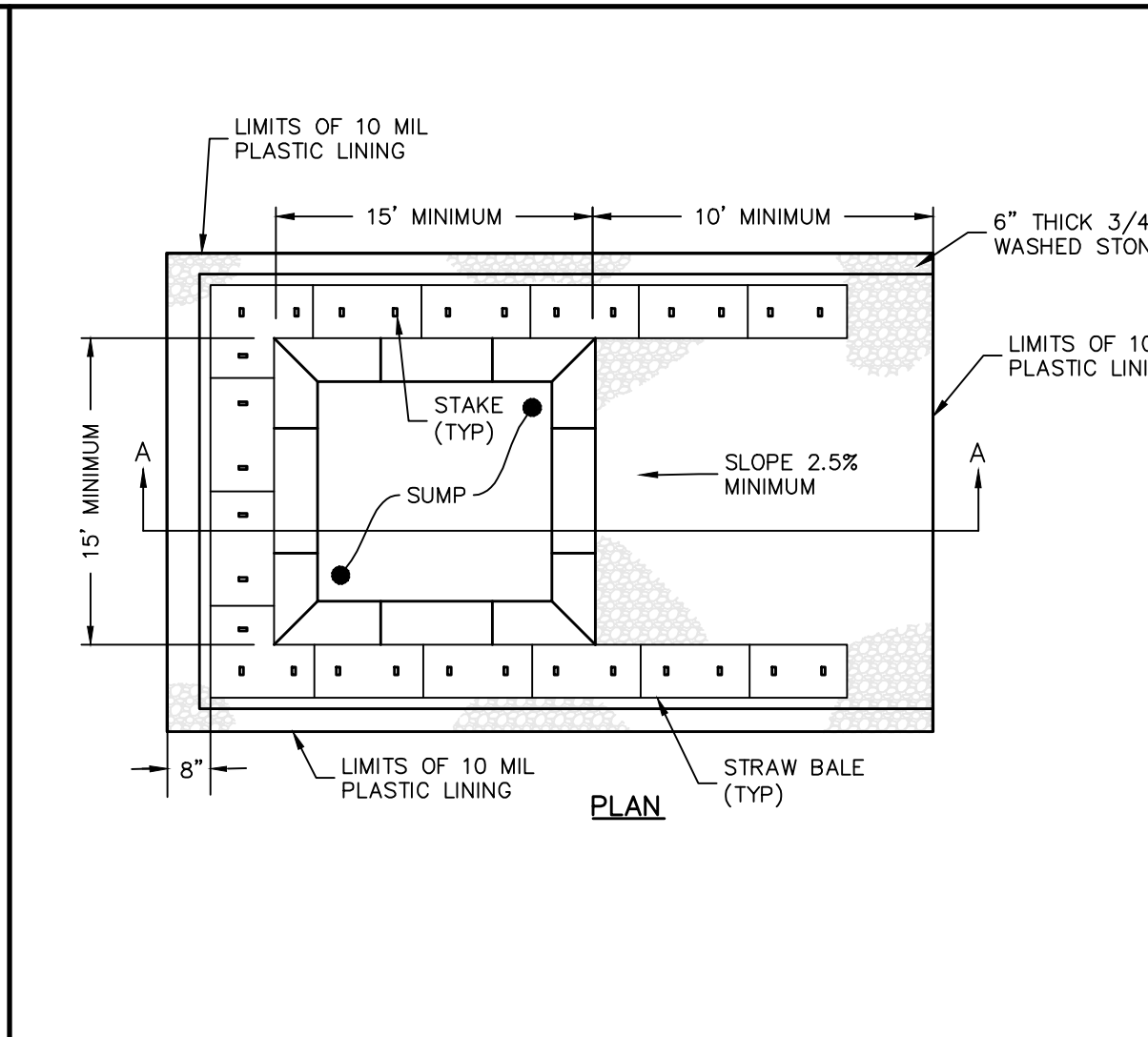
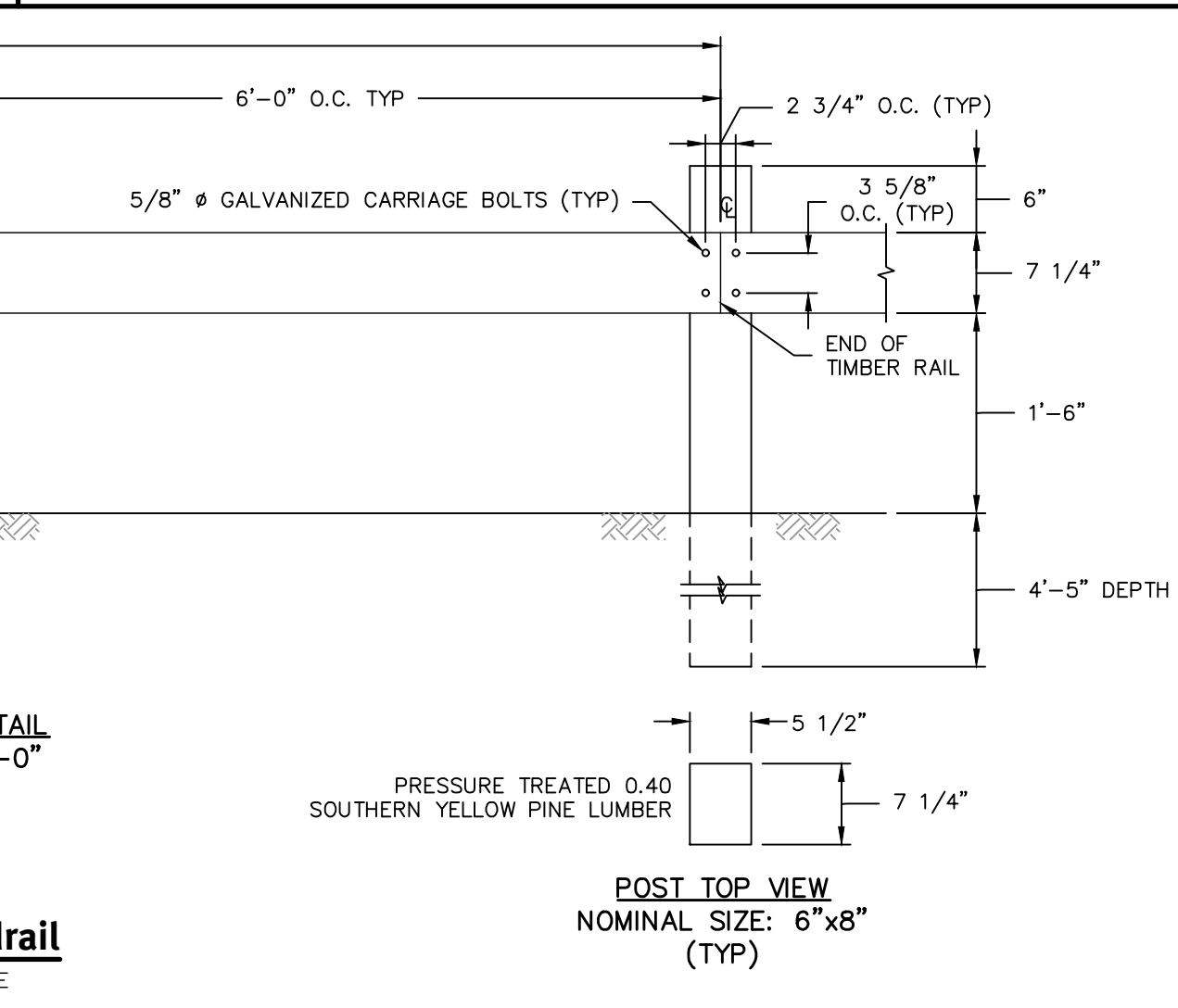
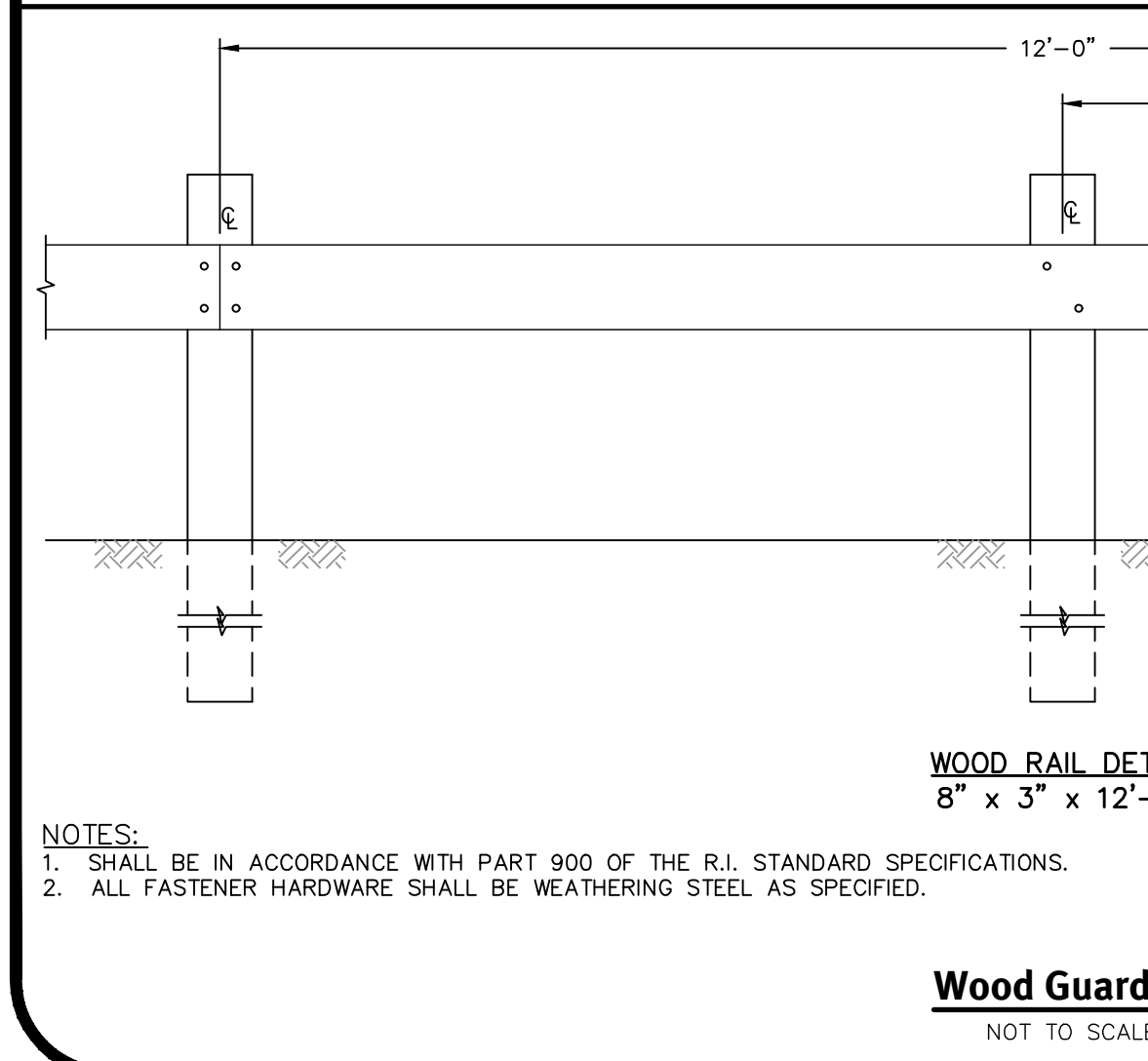
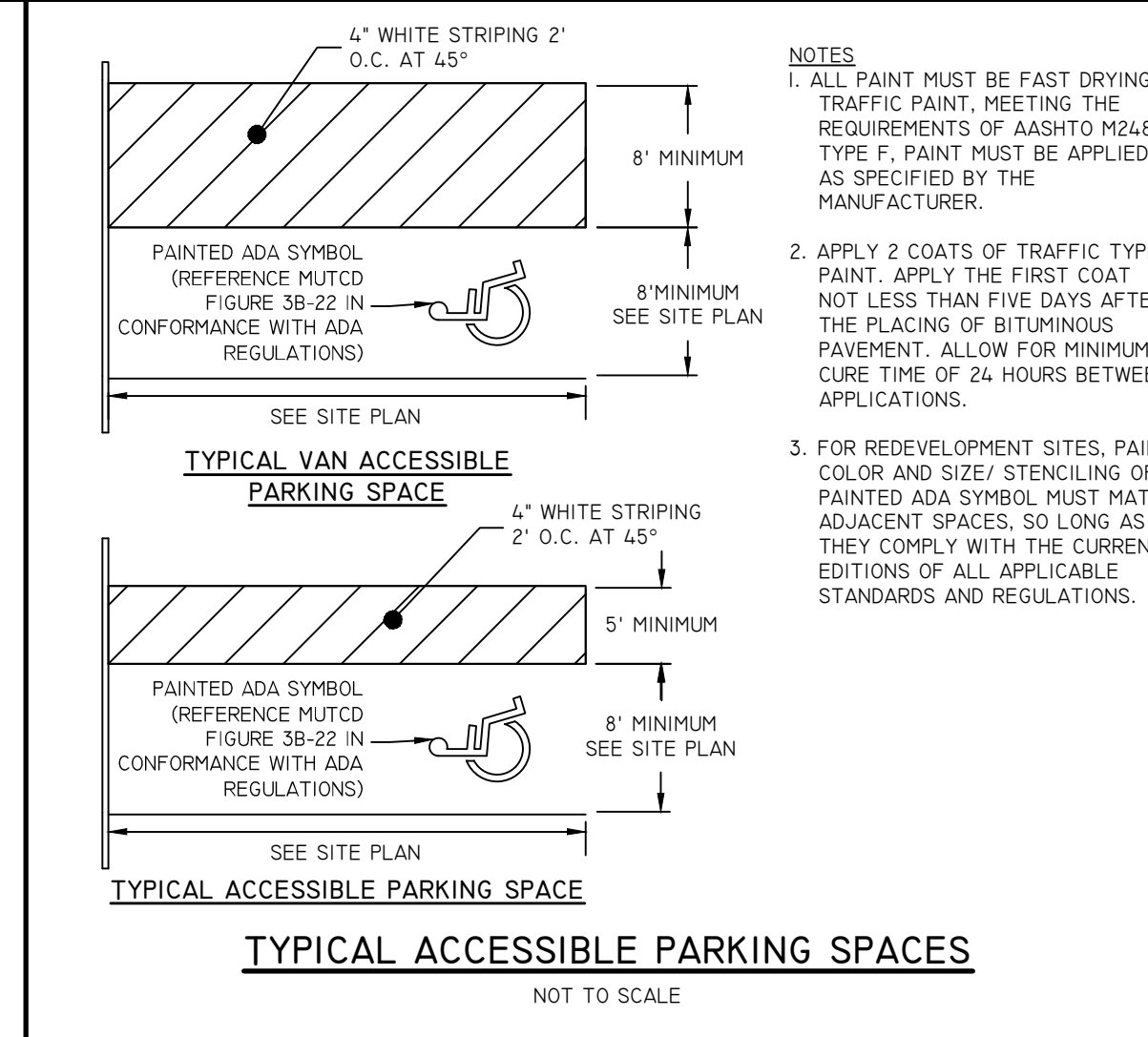
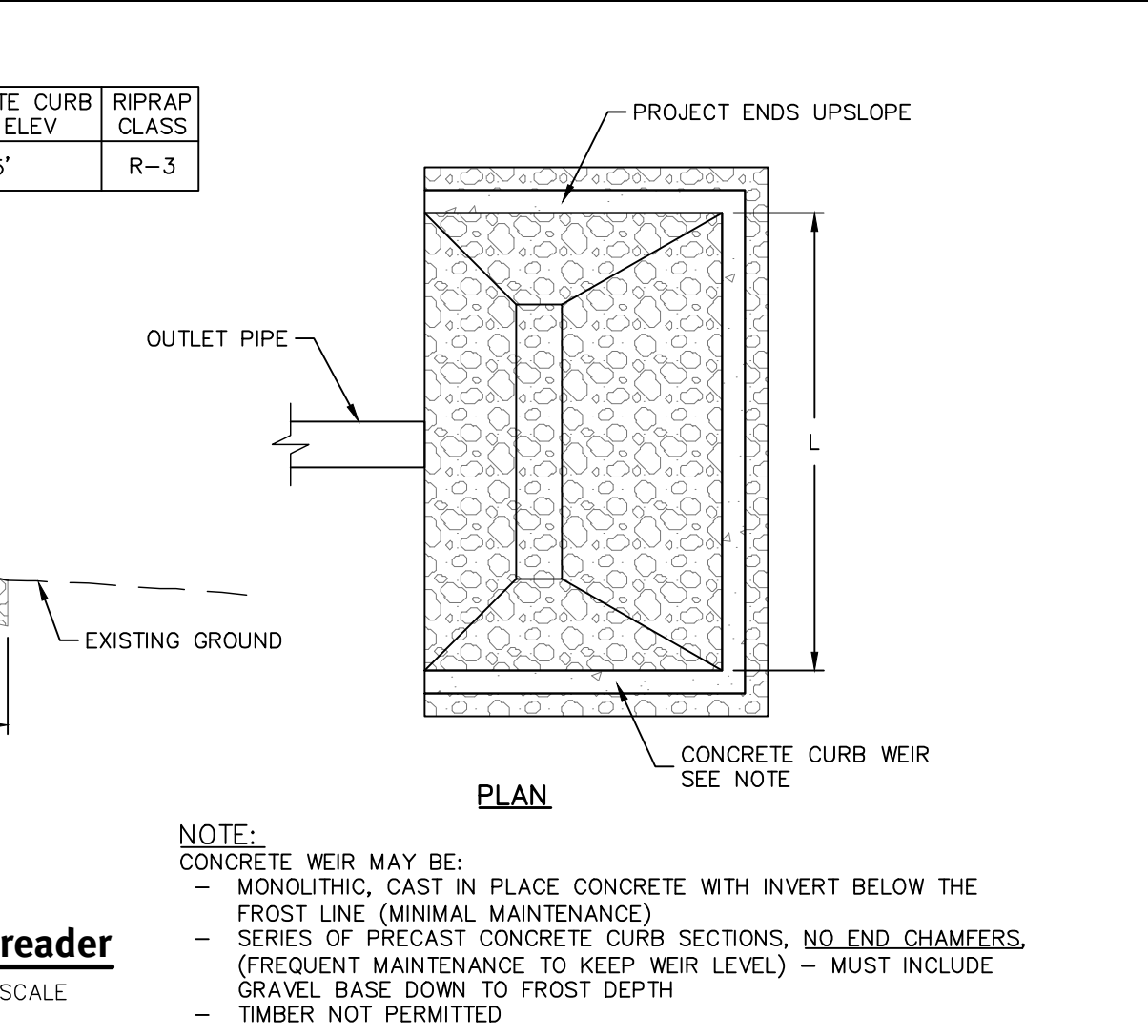
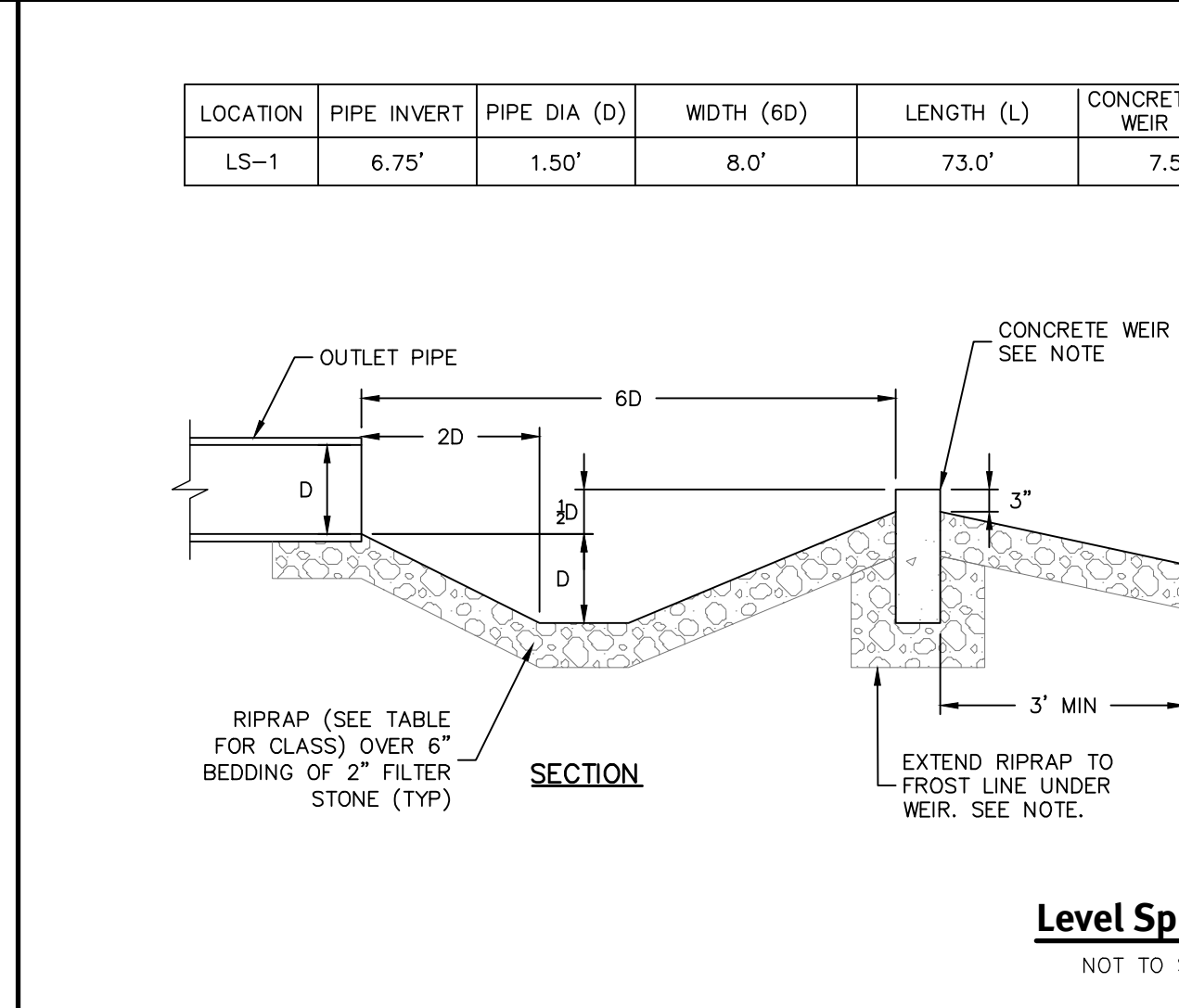
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LOCATION	PIPE INVERT	PIPE DIA (D)	WIDTH (6D)	LENGTH (L)	CONCRETE CURB WEIR ELEV	RIPRAP CLASS
LS-1	6.75'	1.50'	8.0'	73.0'	7.5'	R-3

Level Spreader
NOT TO SCALE

NOTE:
CONCRETE WEIR MAY BE:
- MONOLITHIC, CAST IN PLACE CONCRETE WITH INVERT BELOW THE FROST LINE (MINIMAL MAINTENANCE)
- SERIES OF PRECAST CONCRETE CURB SECTIONS, NO END CHAMFERS (FREQUENT MAINTENANCE TO KEEP WEIR LEVEL) - MUST INCLUDE GRAVEL BASE DOWN TO FROST DEPTH
- TIMBER NOT PERMITTED



DiPrete Engineering

Two Stafford Court Cranston, RI 02920
tel 401-943-1000 fax 401-464-6006 www.diprete-eng.com

CHRISTOPHER A. DUHAMEL

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The contractor is responsible for all of the means, methods, safety and quality of the work shown on this plan set. The contractor shall be responsible for the proper implementation of this plan and design. DiPrete Engineering assumes no responsibility for damages incurred due to the use of this plan set for any purpose other than that for which it was prepared.

NO.	DATE	DESCRIPTION	BY	CHKD.
1	10-22-2021	Permit Application Submission	S.D.M.	
2	10-20-2021	Check Assent Application Submission	S.P.	
3	09-29-2021	Work Submission	A.C.	
4	08-31-2021	Permit Application Submission	S.P.	
5	07-20-2021	REDEM Submission	R.D.K.	

Design By: N.D.K.
Drawn By: N.D.K.

Detail Sheet - 1

Matnuck Beach Condos

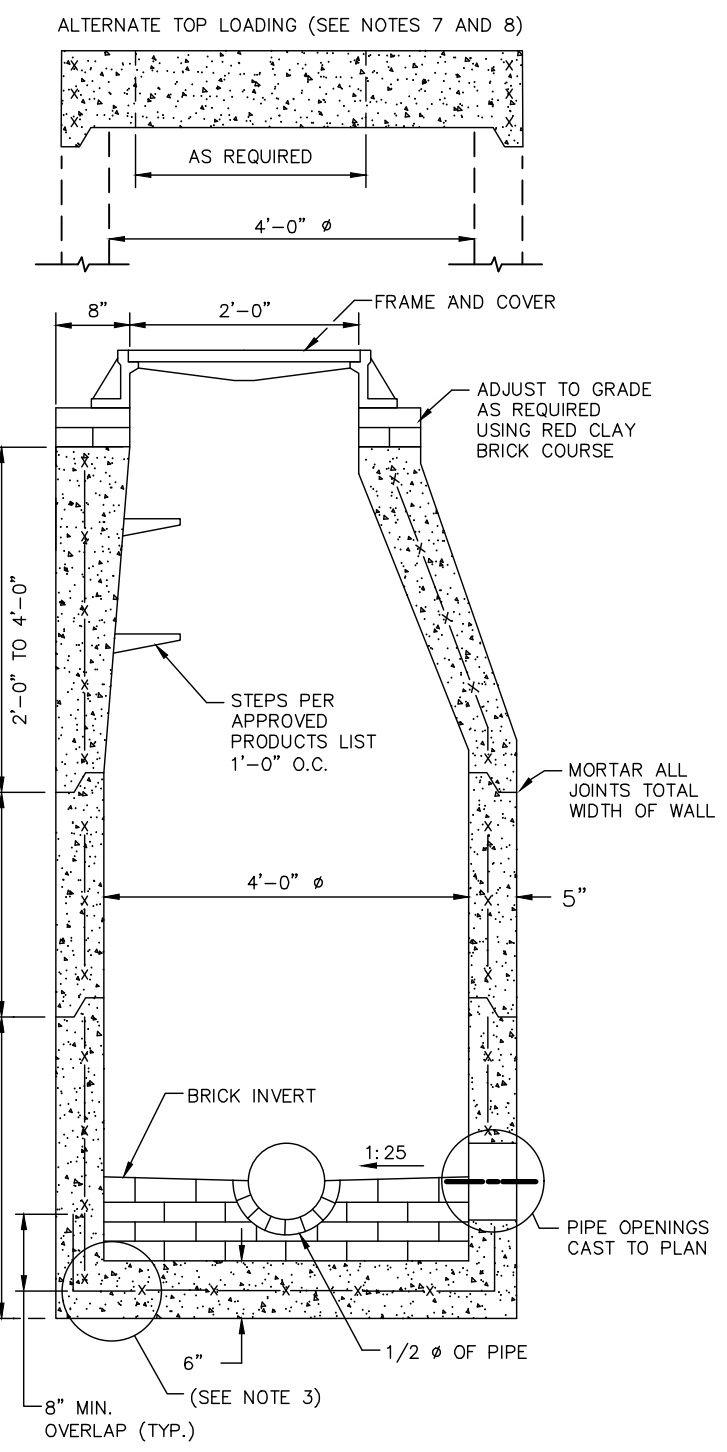
Accessors: PRG 02-7, Lot 66
South Kingsdown, Rhode Island

Matnuck Beach Road Partners, LLC

P.O. Box 395
Waketield, RI 02880

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SHEET **11** OF 14



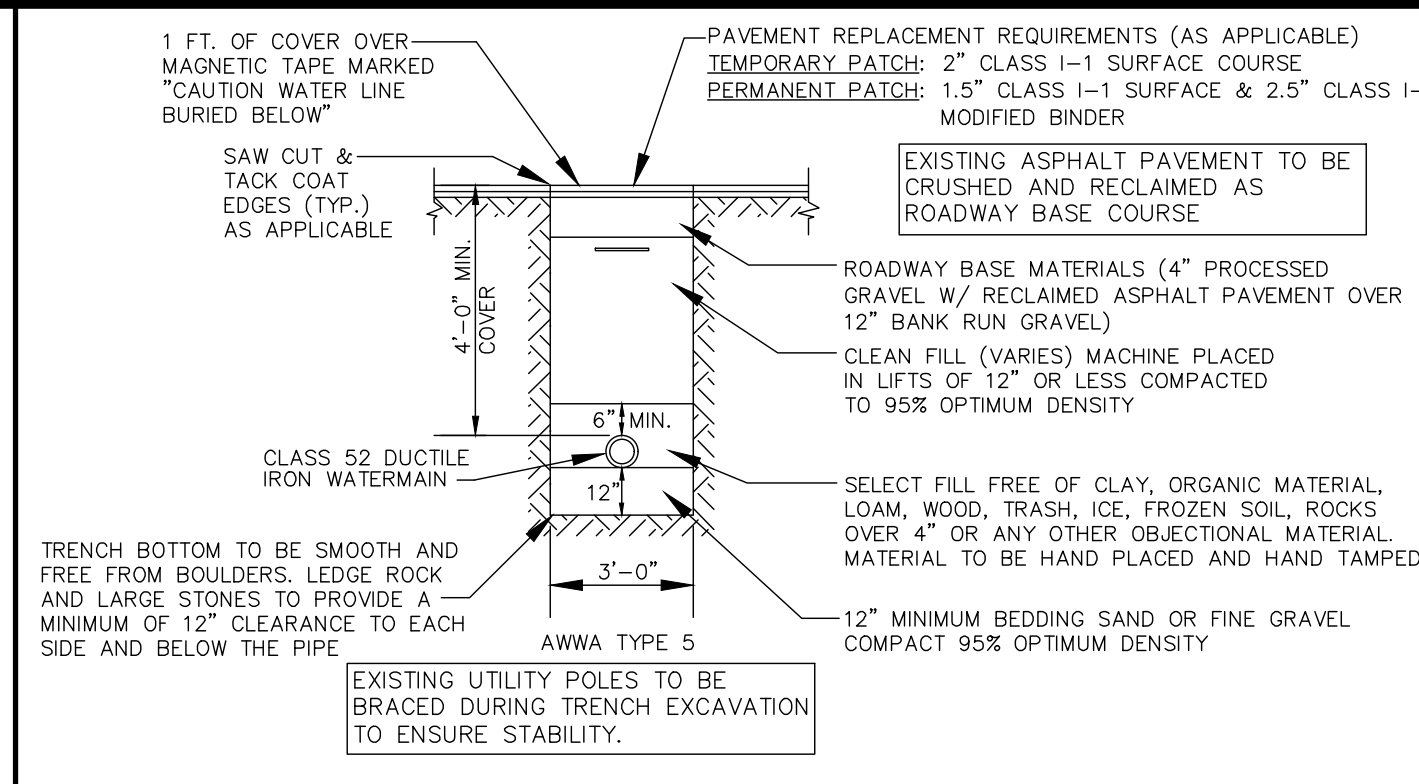
- NOTES:**
- SHALL BE IN ACCORDANCE WITH SECTION 702 OF THE R.I. STANDARD SPECIFICATIONS.
 - CIRCUMFERENTIAL STEEL REINFORCEMENT REQUIRED = 0.12 SQ. IN. / LIN. FT. MINIMUM.
 - STEEL REINFORCEMENT FOR BASE SECTION BOTTOM SHALL BE A MINIMUM OF 0.12 SQ. IN./LIN. FT. (BOTH WAYS).
 - ONE POUR MONOLITHIC BASE SECTION.
 - ANY NECESSARY ADJUSTMENTS DURING CONSTRUCTION WILL BE DONE BY SAW-CUTTING AND/OR CORING ONLY. NO JACKHAMMERS, HAMMERS AND CHISELS OR PNEUMATIC TOOLS WILL BE ALLOWED.
 - STEPS SHALL CONFORM TO STD. S.3.0 AND SHALL BE INSTALLED AT THE CASTING PLANT.
 - ALTERNATE TOP SLAB IS ONLY FOR USE WHEN REDUCING SECTION DOES NOT FIT BECAUSE OF STRUCTURE DEPTH.
 - REFER TO STD. S.2.0 FOR MAXIMUM PIPE SIZES.

PRECAST 4'-0" ROUND MANHOLE
NOT TO SCALE

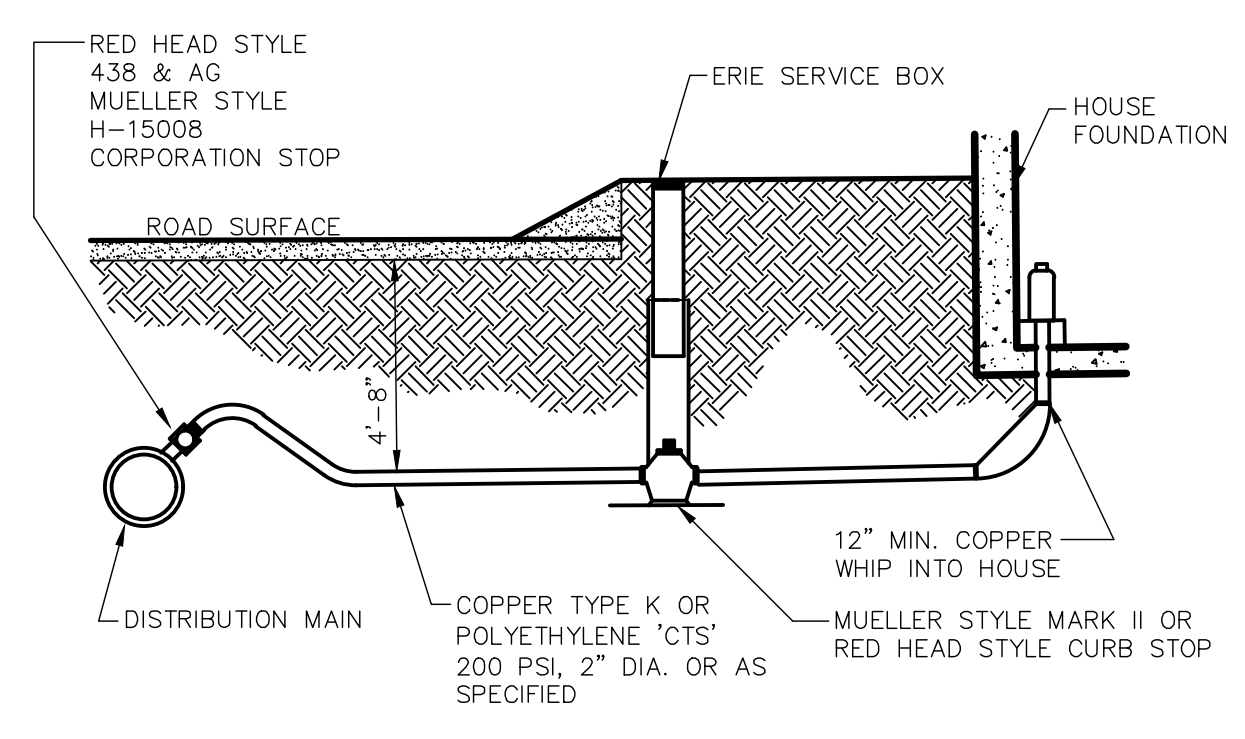
R.I. STANDARD 4.2.0

LEAKAGE AND PRESSURE TESTING FOR WATERMAINS

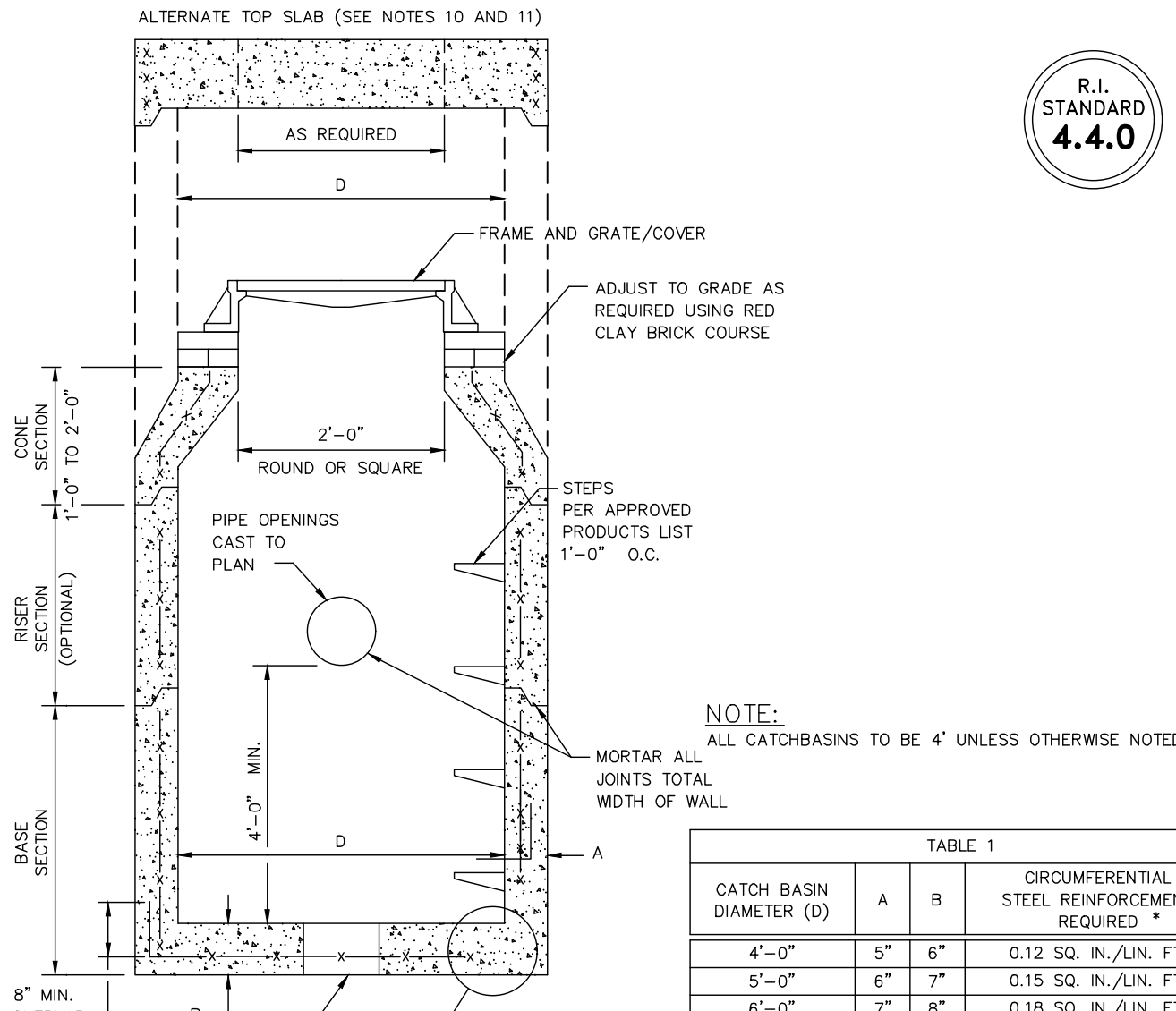
- GENERAL**
HYDROSTATIC AND LEAKAGE TESTS SHALL BE PERFORMED ON ALL COMPLETED SECTIONS OF NEWLY INSTALLED WATERMAIN PIPELINE IN ACCORDANCE WITH AWWA C600, THE TOWN OF SOUTH KINGSTOWN, AND AS SPECIFIED BELOW.
THE CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL LABOR, TOOLS AND EQUIPMENT NECESSARY FOR TESTING.
- TESTING PROCEDURES**
ALL AIR SHALL BE EXPELLED AT THE HIGH POINTS AND THE PIPELINE SLOWLY FILLED WITH POTABLE WATER.
THE INTERNAL PRESSURE SHALL BE BUILT UP TO 150 PSI AND MAINTAINED FOR A PERIOD OF NOT LESS THAN ONE (1) HOUR.
ALL LEAKS IN THE PIPELINE SHALL BE STOPPED; CRACKED OR DEFECTIVE PIPE, FITTINGS OR ACCESSORIES SHALL BE REMOVED AND REPLACED WITH NEW BY THE CONTRACTOR.
THE PIPELINE SHALL BE RETESTED AS MAY BE REQUIRED AND NECESSARY UNTIL THE LEAKAGE FALLS WITHIN THE ALLOWABLE DETERMINED FOR THE PIPE NETWORK, AT WHICH TIME THE PIPELINE MAY BE CONSIDERED READY FOR:
a. WATERMAINS - DISINFECTION STEP



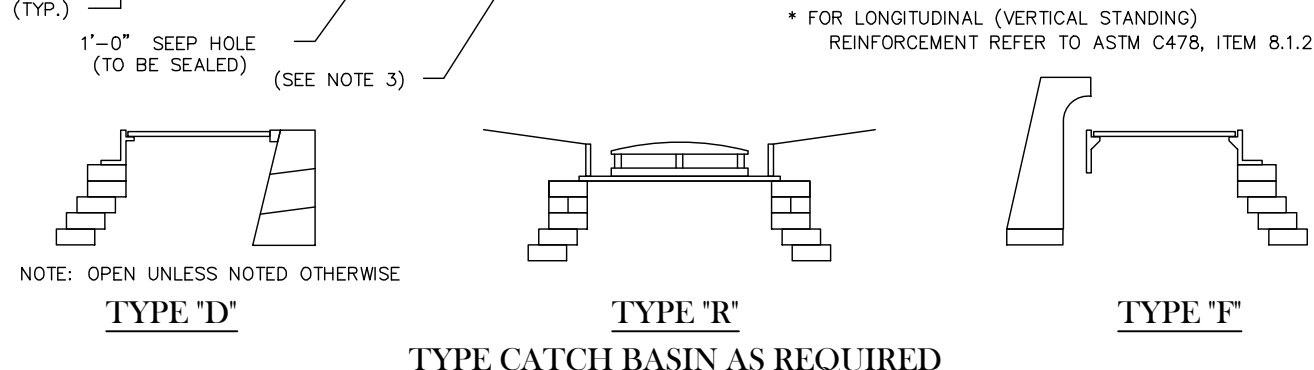
WATER TRENCH DETAIL N.T.S.



TYPICAL 2" OR SMALLER WATER SERVICE N.T.S.

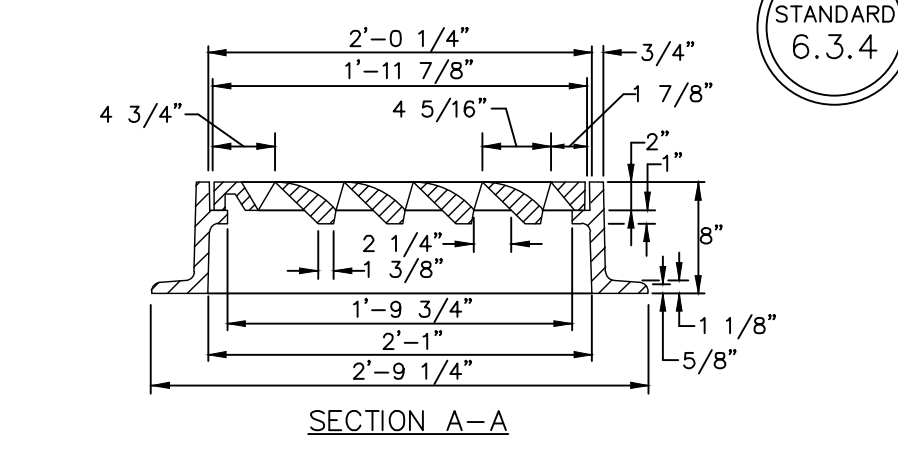
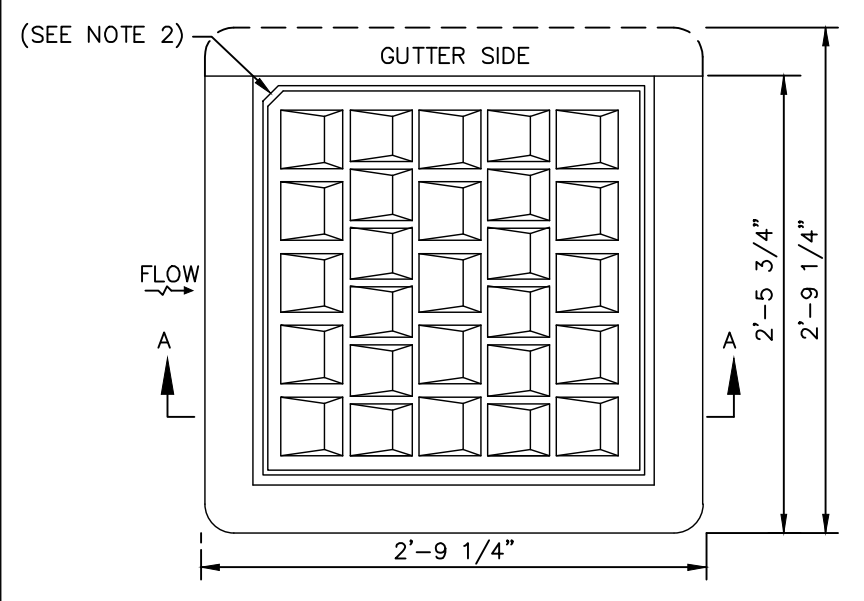


NOTE: ALL CATCHBASINS TO BE 4' UNLESS OTHERWISE NOTED.
* FOR LONGITUDINAL (VERTICAL STANDING) REINFORCEMENT REFER TO ASTM C478, ITEM 8.1.2



- NOTES:**
- SHALL BE IN ACCORDANCE WITH SECTION 702 OF THE R.I. STANDARD SPECIFICATIONS.
 - SEE TABLE 1 FOR STEEL REINFORCEMENT REQUIREMENTS.
 - STEEL REINFORCEMENT FOR BASE SECTION BOTTOM SHALL BE A MINIMUM OF 0.12 SQ. IN./LIN. FT. (BOTH WAYS).
 - STEPS SHALL CONFORM TO STD. S.3.0 AND SHALL BE INSTALLED AT THE CASTING PLANT.
 - ONE POUR MONOLITHIC BASE SECTION.
 - ANY NECESSARY ADJUSTMENTS DURING CONSTRUCTION WILL BE DONE BY SAW-CUTTING AND/OR CORING ONLY. NO JACKHAMMERS, HAMMERS AND CHISELS OR PNEUMATIC TOOLS WILL BE ALLOWED.
 - CORBELS MADE OF RED CLAY BRICK WILL BE PERMITTED FOR THE "CONE SECTION" OF THE 4'-0" CATCH BASIN ONLY.
 - FOR CATCH BASIN TYPES "D" AND "F" STEPS MUST BE INSTALLED ON THE CURB SIDE OF THE STRUCTURE.
 - THE CENTERLINE OF THE OPENING MUST BE WITHIN 2'-0" FROM THE STEPS.
 - ALTERNATE TOP SLAB IS ONLY FOR USE WHEN REDUCING SECTION DOES NOT FIT BECAUSE OF STRUCTURE DEPTH.
 - REFER TO STD. S.2.0 FOR MAXIMUM PIPE SIZES.

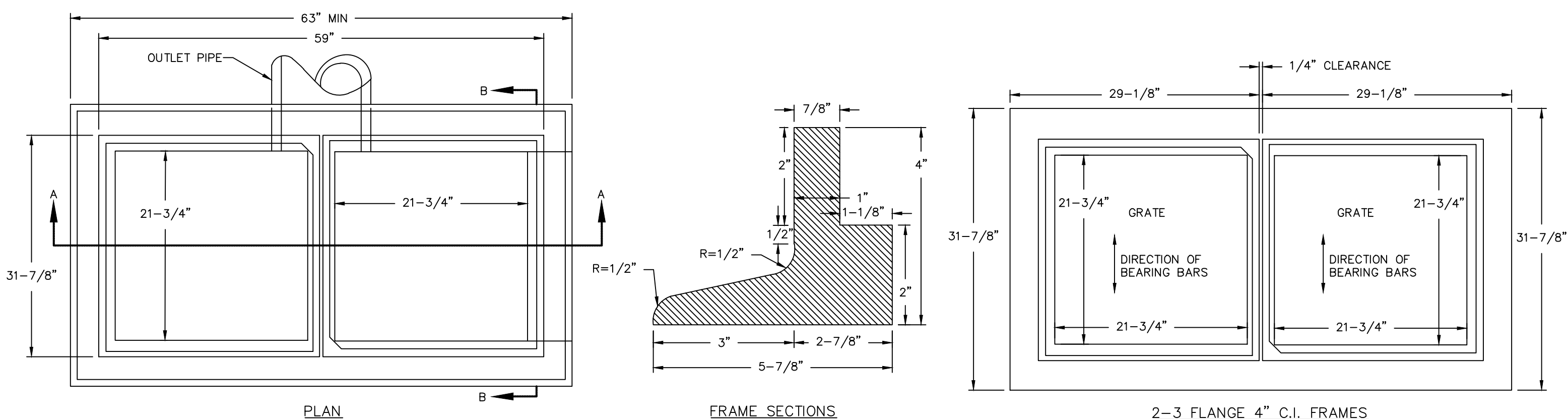
PRECAST 4'-0", 5'-0", OR 6'-0" ROUND CATCH BASIN
NOT TO SCALE



- NOTES:**
- FRAME AND COVER SHALL CONFORM TO SECTION M.04 OF THE R.I. STANDARD SPECIFICATIONS.
 - THIS CORNER LEFT FOR "LEFT" GRATE, DIAGONALLY OPPOSITE CORNER FOR "RIGHT" GRATE TO FIT IN KEYED FRAME.

HIGH CAPACITY FRAME AND GRATE (BICYCLE SAFE)
NOT TO SCALE

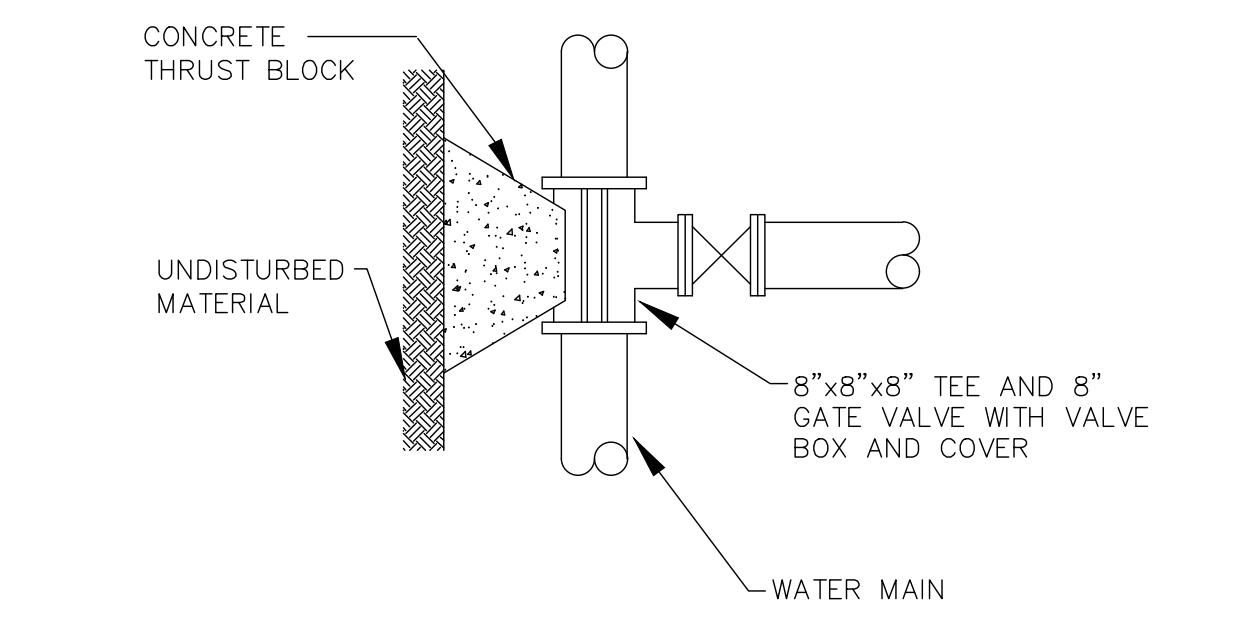
R.I. STANDARD 6.3.4



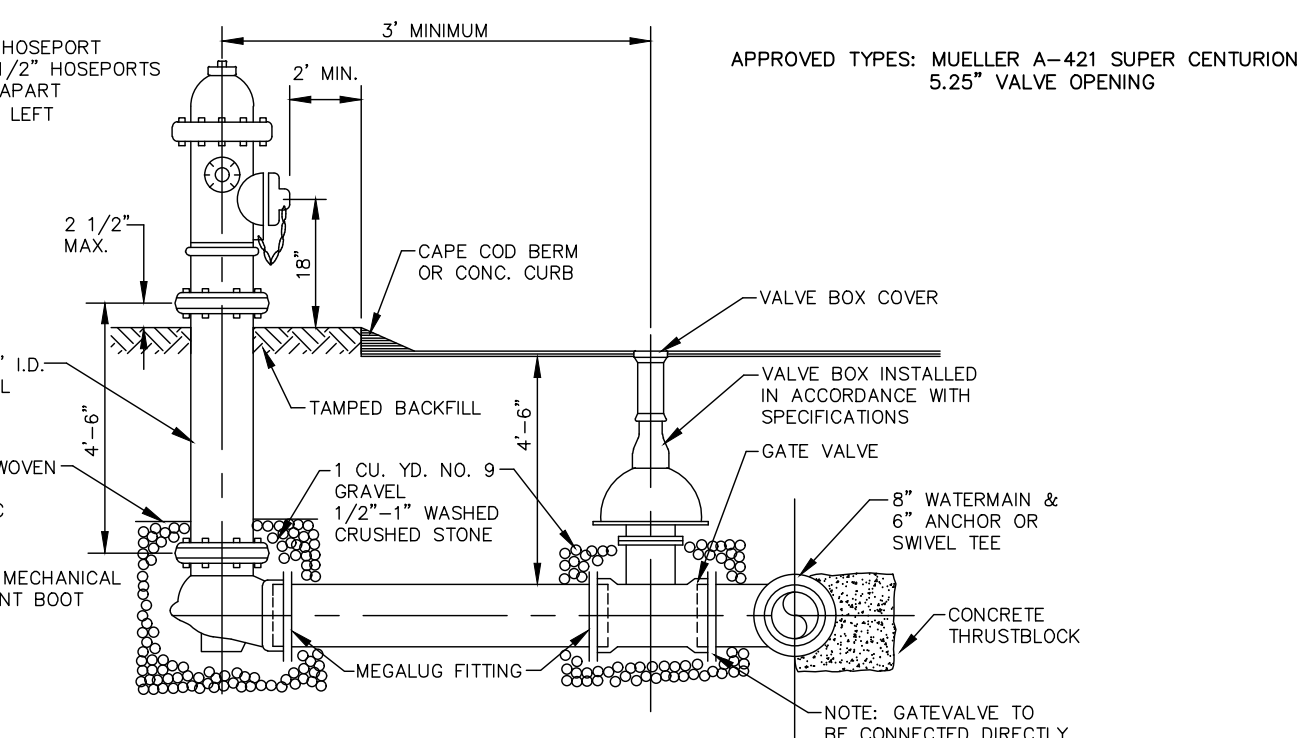
DOUBLE CATCHBASIN GRATE
NOT TO SCALE

WATER DETAILS

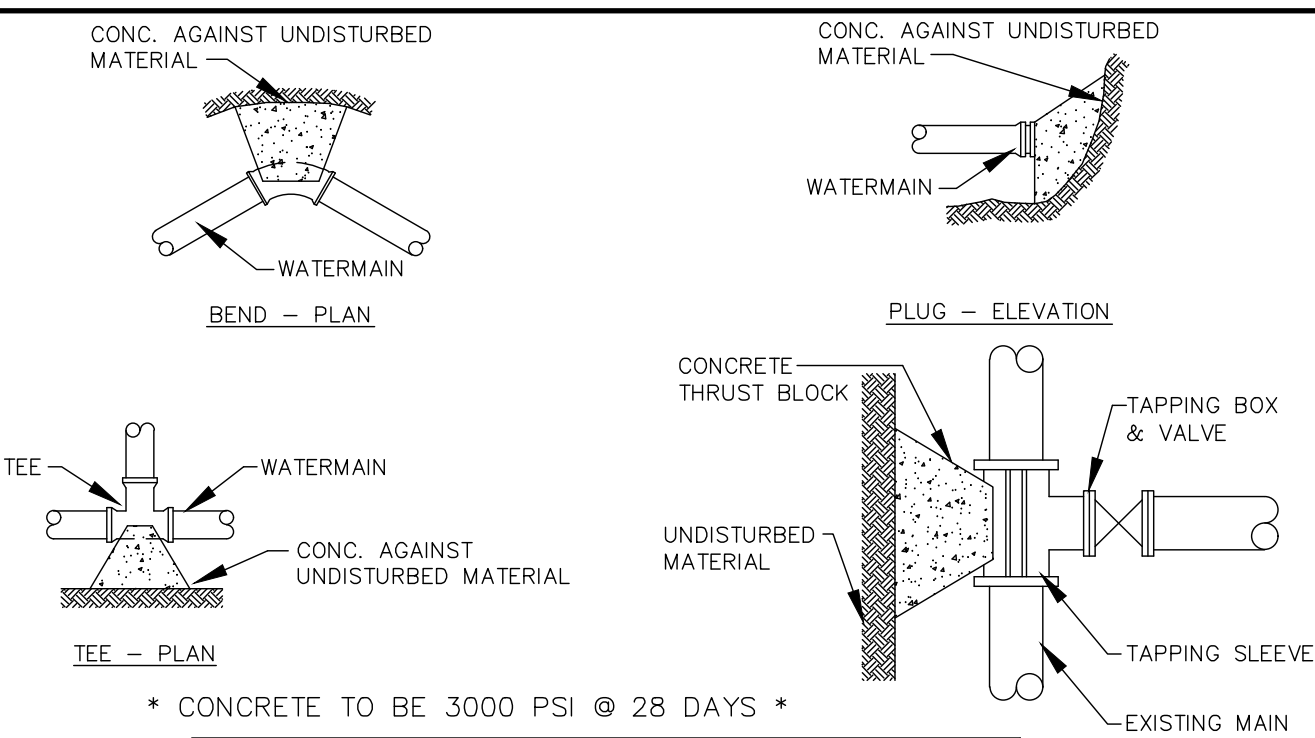
- ALL WORK AND MATERIAL OF WATER LINE SHALL BE IN ACCORDANCE WITH RULES AND REGULATIONS SET FORTH BY THE TOWN OF SOUTH KINGSTOWN. INSTALLATION PROCEDURES AND MATERIALS TO CONFORM TO AWWA SPECIFICATIONS AND ART. III OF THE SOUTH KINGSTOWN TOWN ORDINANCES. A PRECONSTRUCTION MEETING SHALL BE HELD PRIOR TO ORDER OF MATERIALS AND WATER MAIN INSTALLATION.
- WATER MAIN INSTALLATION SHALL BE INSPECTED BY THE TOWN OF SOUTH KINGSTOWN PRIOR TO BACKFILLING THE TRENCH.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE TOWN OF SOUTH KINGSTOWN FIVE (5) DAYS PRIOR TO START OF CONSTRUCTION.
- CHLORINATION OF SYSTEM AND SAMPLING SHALL CONFORM TO AWWA REQUIREMENTS FOR SERVICE AND MAIN INSTALLATIONS.
- THE CONTRACTOR SHALL NOTIFY THE DIRECTOR OF WATER SUPPLY AT LEAST TWO WORKING DAYS IN ADVANCE FOR FINAL INSPECTION.
- WHENEVER, IN THESE SPECIFICATIONS, REFERENCE IS MADE TO THE REQUIREMENTS OF AWWA, ANSI, ASTM OR ANY OTHER STANDARD SPECIFICATION, THE REFERENCE IS MADE TO THE LATEST REVISIONS OR MODIFICATIONS OF SUCH REQUIREMENTS AND SPECIFICATIONS.
- ALL PIPE, FITTINGS, AND APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH AWWA AND ANSI STANDARDS AND THE MANUFACTURER'S SUGGESTED RECOMMENDATIONS FOR INSTALLATIONS.
- PIPELINES SHALL BE CONSTRUCTED IN DRY TRENCHES AND LAID TO THE LINE GRADE. WHENEVER PIPE IS TO BE INSTALLED IN SATURATED SOIL CONDITIONS A BEDDING OF PROCESSED GRANULAR FILTER MATERIAL SHALL BE PROVIDED.
- ALL BENDS, CROSSES, TEES, END CAPS AND PLUGS, VALVES AND ANY OTHER APPURTENANCES SHALL BE RESTRAINED WITH THRUST BLOCKS, STRAPPING OR ANCHORS.
- JOINING OF MECHANICAL AND PUSH ON TYPE JOINTS SHALL BE PERFORMED IN STRICT ACCORDANCE WITH AWWA STANDARD C-600, AND THE TOWN OF SOUTH KINGSTOWN SPECIFICATIONS. RUBBER GASKETS AND RINGS SHALL BE SUITABLE FOR USE WITH POTABLE WATER AND THOROUGHLY CLEANED TO REMOVE OIL, GRIT, AND OTHER FOREIGN MATTER PRIOR TO ASSEMBLY. THE GASKETS SHALL BE INSPECTED BY THE DIRECTOR OF WATER SUPPLY OR HIS AGENT TO INSURE THAT THEY ARE ACCEPTABLE.
- ALL FITTINGS USED FOR SERVICE CONNECTIONS SHALL BE IN ACCORDANCE WITH AWWA C-800 AND SOUTH KINGSTOWN SPECIFICATIONS.
- VALVES USED SHALL BE IN ACCORDANCE WITH AWWA C-500 SERIES, AND THE TOWN OF SOUTH KINGSTOWN REGULATIONS. VALVES SHALL BE MECHANICAL JOINT, DOUBLE DISC PARALLEL SEAT OR RESILIENT SEAT GATE STYLES AS FOLLOWS:
a. MUELLER CORPORATION STOP DOUBLE DISC PARALLEL SEAT.
b. AMERICAN DARLING VALVE RESILIENT MODEL CRS-80.
- BLOW-OFF ASSEMBLIES SHALL BE INSTALLED IN ACCORDANCE WITH AWWA C-800 SERIES, AND THE TOWN OF SOUTH KINGSTOWN.
- FIRE HYDRANTS SHALL BE INSTALLED IN ACCORDANCE WITH MUELLER A421, AWWA C-502 "DRY BARREL FIRE HYDRANTS" AND THE TOWN OF SOUTH KINGSTOWN SPECIFICATIONS.
- HYDROSTATIC AND LEAKAGE TESTS SHALL BE PERFORMED ON ALL COMPLETED SECTIONS OF NEWLY INSTALLED PIPELINE IN ACCORDANCE WITH AWWA C-600, AND TOWN SPECIFICATIONS.
- ALL PIPE SHALL BE DISINFECTED PRIOR TO BEING ACTIVATED IN ACCORDANCE WITH AWWA B-300, AWWA C-601 AND TOWN SPECIFICATIONS.
- DISTRIBUTION PIPING SHALL BE CL 52 DUCTILE IRON, DOUBLE CEMENT LINED, WITH PUSH ON JOINTS. PIPE SHALL MEET ANSI/AWWA C151/A21.51. JOINTS SHALL MEET ANSI/AWWA/C111/A21.11. AMERICAN MANUFACTURER ONLY.
- FITTINGS SHALL BE DUCTILE IRON MECHANICAL JOINT CL350 CEMENT MORTAR LINED AND MEET ANSI/AWWA/C153/A21.53. MECHANICAL JOINTS SHALL MEET ANSI/AWWA/C111/A21.11 AMERICAN MANUFACTURER ONLY.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL STATE AND TOWN PERMITS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS RELATED TO INSTALLATION OF THE WATER MAIN.
- EXCAVATIONS THAT EXTEND INTO PUBLIC RIGHT-OF-WAY SHALL BE BACKFILLED AND COMPACTED IN 12" LIFTS. A TEMPORARY SURFACE COURSE IS TO BE APPLIED. FINAL BINDER AND FINISH COURSE TO BE PLACED AFTER REMOVAL OF TEMPORARY PAVEMENT AND COMPACTION OF GRAVEL BASE. CONTRACTOR SHALL MAKE ROAD PASSABLE FOR ONE LANE OF TRAFFIC AT ALL TIMES.
- CONTRACTOR SHALL NOTIFY DIG SAFE PRIOR TO DIGGING ANY TRENCHES.
- WHEN WORK IS NOT IN PROGRESS AND AT THE END OF EACH DAY, ALL OPEN ENDS OF THE PIPE AND FITTINGS SHALL BE SECURELY CLOSED.
- DIPRETE ENGINEERING DOES NOT CERTIFY AS TO THE WATER FLOW RATE OR RESIDUAL PRESSURE OF THIS WATER MAIN EXTENSION.



TYPICAL 4" OR GREATER WATER SERVICE N.T.S.



AWWA C502 DRY BARREL FIRE HYDRANT N.T.S.



* CONCRETE TO BE 3000 PSI @ 28 DAYS *

PIPE SIZE	THRUST BLOCK SCHEDULE BEARING AREA	TEE & DEAD END
8"	45" BEND OR LESS	3.0' x 3.0'
12"		3.5' x 3.5'

THRUST BLOCK DETAILS N.T.S.

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Two Stafford Court Cranston, RI 02920
tel 401-943-1000 fax 401-644-6006 www.diprete-eng.com

CHRISTOPHER A. DUHAMEL
REGISTERED PROFESSIONAL ENGINEER CIVIL

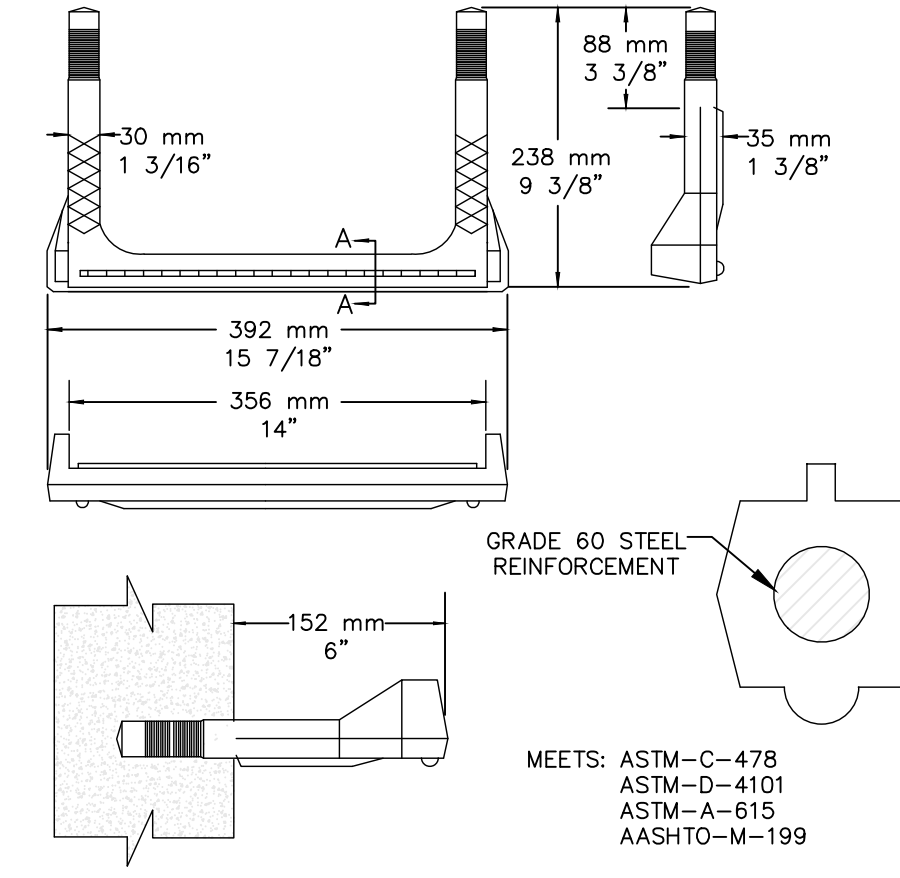
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NO.	DATE	DESCRIPTION	BY	CHKD.
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2	10-26-2021	CHK. Assent Application Submission	A.C.	S.T.M.
3	09-29-2021	Work Submission	A.C.	S.T.M.
4	08-31-2021	Permitting Plan Submission	S.P.	S.T.M.
5	07-20-2021	BEEM Submission	R.D.K.	S.T.M.
6	07-20-2021	BEEM Submission	R.D.K.	S.T.M.

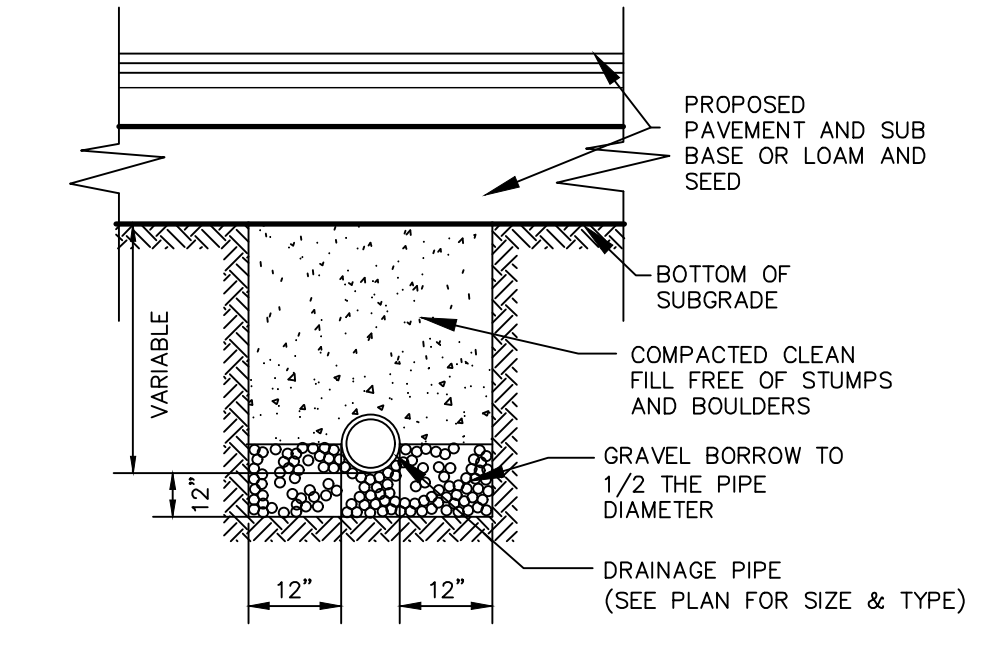
Drawn By: N.D.K. Design By: N.D.K.

Detail Sheet - 3
Matunuck Beach Condos
Assessors: BRG 02-7, lot 66
South Kingstown, Rhode Island
Project Owner:
Matunuck Beach Road Partners, LLC
P.O. Box 385
Waketield, RI 02880

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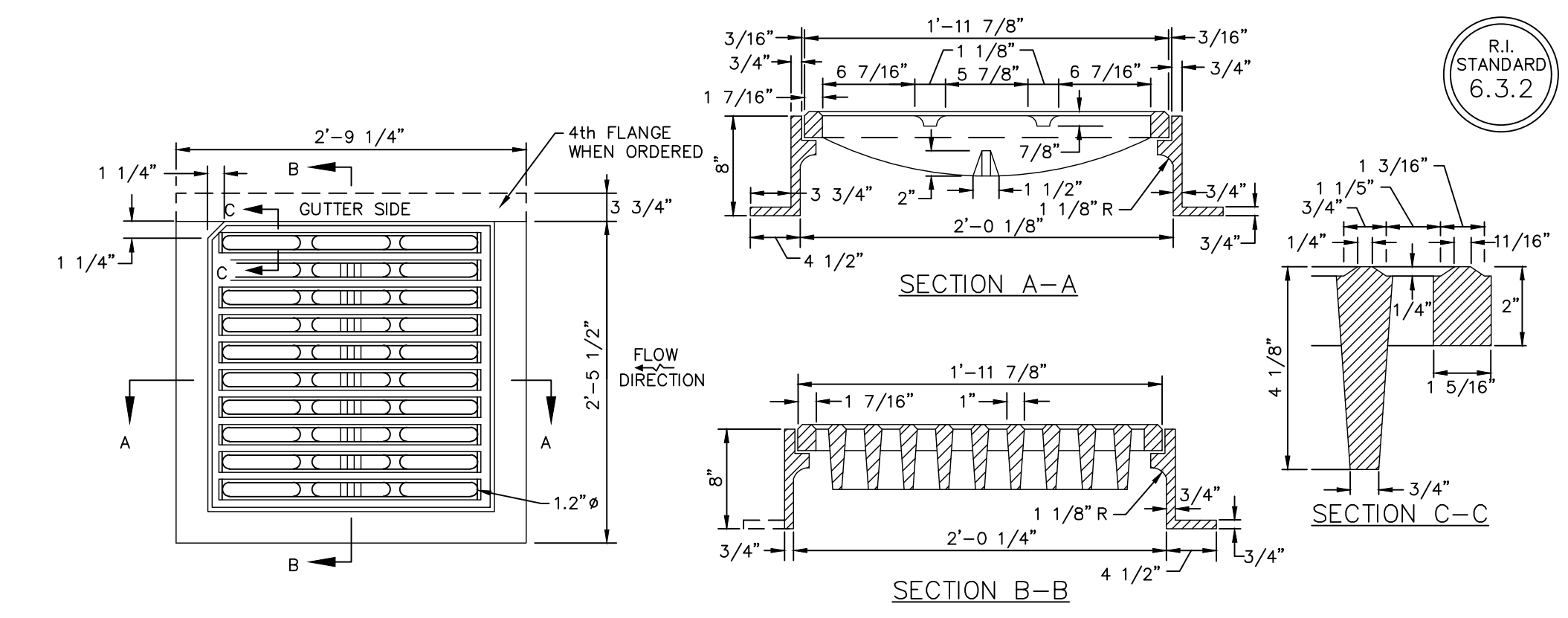


MANHOLE STEP
NOT TO SCALE

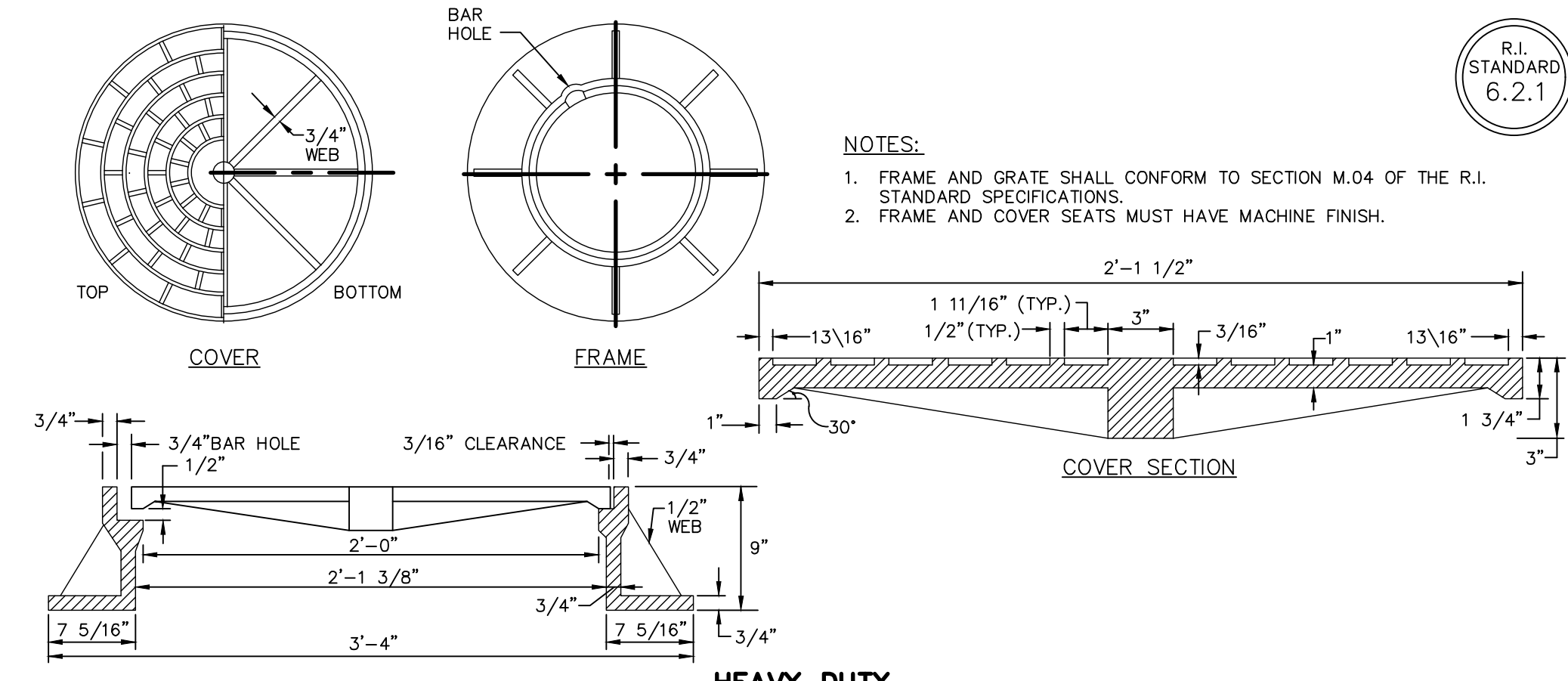


NOTE: DRAINAGE PIPE TO BE RCP CLASS III UNLESS OTHERWISE NOTED

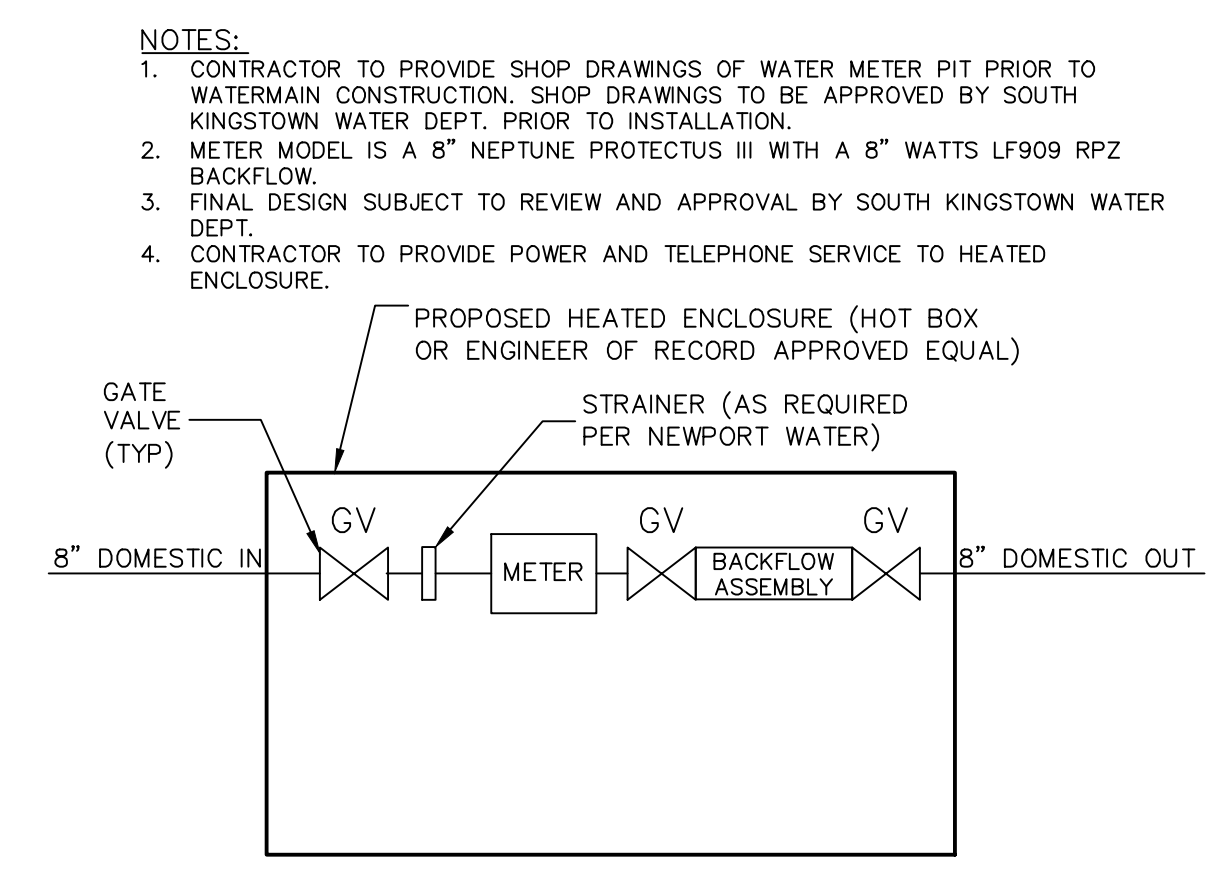
DRAINAGE TRENCH DETAIL
NOT TO SCALE



SQUARE FRAME AND GRATE (BICYCLE SAFE)
NOT TO SCALE

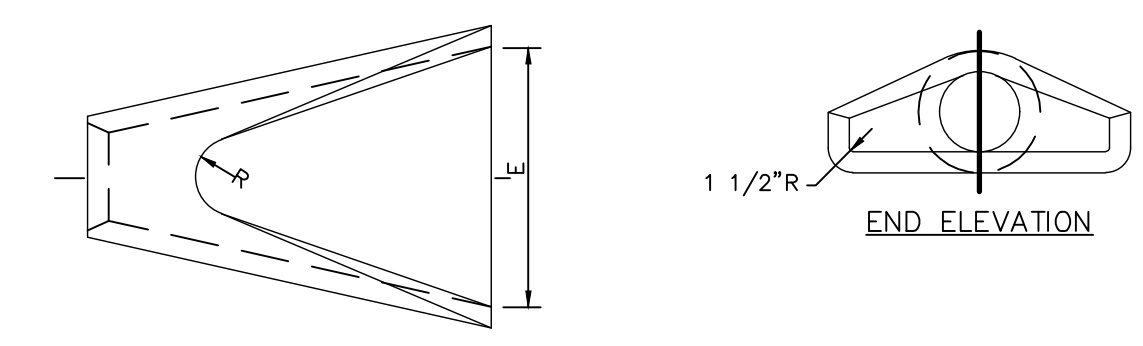


HEAVY-DUTY ROUND FRAME AND COVER
NOT TO SCALE

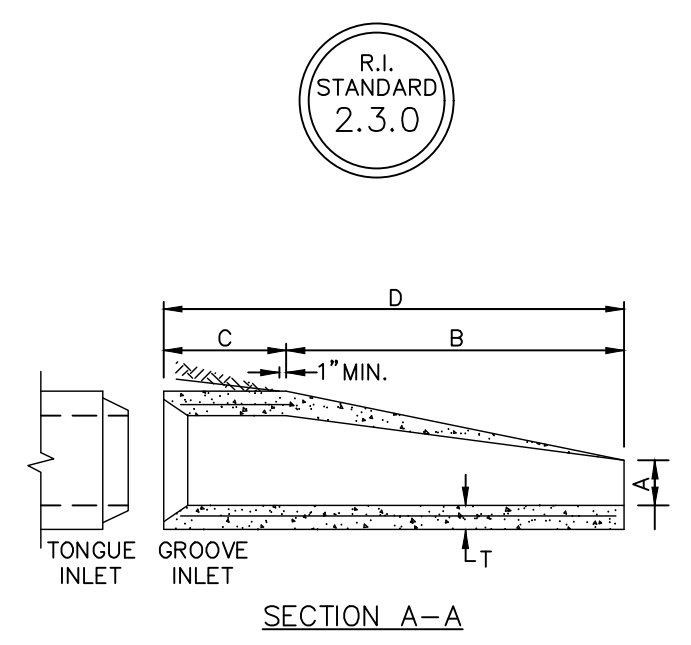


Schematic Heated Enclosure For Water Meter & Backflow
NOT TO SCALE

DIMENSIONS								REINFORCEMENT
DIA.	A	B	C	D	E	R	T	ONE LAYER REINFORCEMENT IN CENTER OF WALL MIN. AREA OF EACH WAY (SQ. IN./FT.)
1'-0"	4"	2'-0"	4'-0 7/8"	6'-0 7/8"	2'-0"	9"	2"	0.048
1'-3"	6"	2'-3"	3'-10"	6'-1"	2'-6"	11"	2 1/4"	0.054
1'-6"	9"	2'-3"	3'-10"	6'-1"	3'-0"	12"	2 1/2"	0.060
2'-0"	9 1/2"	3'-7 1/2"	2'-6"	6'-1 1/2"	4'-0"	1'-2"	3"	0.072
2'-6"	1'-0"	4'-6"	1'-7 3/4"	6'-1 3/4"	5'-0"	1'-3"	3 1/2"	0.084
3'-0"	1'-3"	5'-3"	2'-10 3/4"	6'-1 3/4"	6'-0"	1'-8"	4"	0.096
3'-6"	1'-9"	5'-3"	2'-11"	6'-2"	6'-6"	1'-10 1/4"	4 1/2"	0.108
4'-0"	2'-0"	6'-0"	2'-2"	6'-2"	7'-0"	1'-10"	5"	0.120
4'-6"	2'-3"	6'-6"	2'-11"	6'-4"	7'-6"	2'-0"	5 1/2"	0.132
5'-0"	2'-6"	6'-0"	3'-3"	6'-3"	8'-0"	2'-0"	6"	0.144



PRECAST CONCRETE FLARED END SECTION
NOT TO SCALE



R.I. STANDARD 2.3.0

DiPrete Engineering
Two Stafford Court Cranston, RI 02920
tel 401-943-1000 fax 401-464-6006 www.diprete-eng.com

CHRISTOPHER A. DUHAMEL
REGISTERED PROFESSIONAL ENGINEER CIVIL

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The contractor shall conform to the R.I. Standard Specifications for Highway Construction, 6th Edition, as amended, and the R.I. Standard Specifications for Watermain Construction, 6th Edition, as amended, in the implementation of this plan and design.
Existing utilities shown on this plan are approximate only. DiPrete Engineering assumes no responsibility for damages incurred due to the location of existing utilities. See Utility Note on Sheet 3.

DATE	DESCRIPTION	BY
10-22-2021	Permitting Submission	S.F.M.
10-26-2021	CHK. Assent Application Submission	S.F.M.
09-29-2021	Work Submission	A.C.
08-11-2021	Permitting Plan Submission	S.F.M.
07-20-2021	REDEM Submission	R.D.K.
07-20-2021	Design	By:
	Drawn By: N.D.K.	Design By: N.D.K.

Detail Sheet - 4
Matunuck Beach Condos
Assessors: BR 027 Lot 66
South Kingstown, Rhode Island
Matunuck Beach Road Partners, LLC
P.O. Box 395
Waketield, RI 02880
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