

DEVELOPMENT PLAN REVIEW FILING

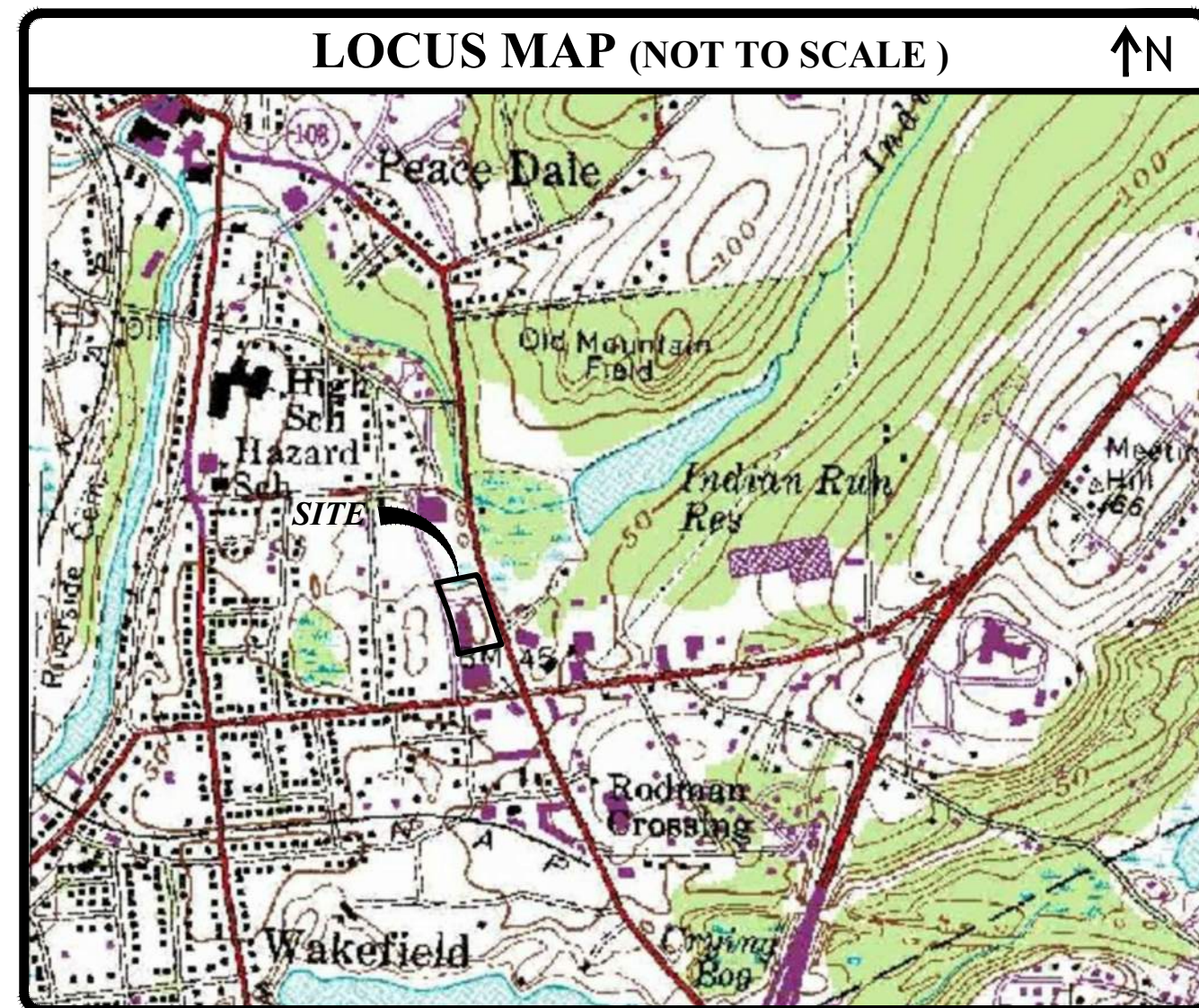
THE WINDING RHODE COMPASSION CENTER

682 KINGSTOWN ROAD, UNIT #1

SOUTH KINGSTOWN, RHODE ISLAND

AP 57-1, LOT 96-0

ZONING DISTRICT: COMMERCIAL-HIGHWAY (CH)



OWNER	APPLICANT	CIVIL ENGINEER
SCOT V. HALLBERG 17 ARNOLD ST., SUITE 100 WAKEFIELD, RI 02879	WINDING RHODE COMPASSION CENTER, INC. 300 POST ROAD WARWICK, RI 02888 72 PINE STREET, 1ST FLOOR PROVIDENCE, RI 02903	JOE CASALI ENGINEERING, INC. 300 POST ROAD WARWICK, RI 02888 PHONE: 401-944-1300 FAX: 401-944-1313

GENERAL NOTES:

- THIS PLAN IS BASED ON TOWN OF SOUTH KINGSTOWN GEOGRAPHIC INFORMATION SYSTEM (GIS) DATABASE DATA AND RHODE ISLAND GIS DATABASE DATA. A CLASS I PROPERTY LINE SURVEY AND CLASS III TOPOGRAPHIC SURVEY MAY BE REQUIRED FOR FUTURE STAGES OF DESIGN.
- THE PROJECT SITE LIES WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN), AS SHOWN ON THE FEMA FIRM MAP FOR THE TOWN OF SOUTH KINGSTOWN, RI, COMMUNITY PANEL NO. 44009C0203K, EFFECTIVE DATE APRIL 3, 2020.
- THE LOCATION AND DEPTH OF EXISTING UTILITIES ARE APPROXIMATE AND HAVE BEEN PLOTTED FROM THE LATEST AVAILABLE INFORMATION. THE UTILITY LOCATIONS ARE APPROXIMATE AND MAY NOT BE ALL INCLUSIVE. THE CONTRACTOR SHALL CHECK AND VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, BOTH OVERHEAD AND UNDERGROUND, AND "DIG-SAFE" MUST BE NOTIFIED PRIOR TO COMMENCING ANY CONSTRUCTION OPERATIONS. RESTORATION AND REPAIR OF DAMAGE TO EXISTING UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR WITH NO ADDITIONAL COST TO THE OWNER. NO EXCAVATION SHALL COMMENCE UNTIL ALL INVOLVED UTILITY COMPANIES AND/OR CITY WHOSE FACILITIES MIGHT BE AFFECTED BY ANY WORK TO BE PERFORMED BY THE CONTRACTOR ARE NOTIFIED AT LEAST 72 HOURS IN ADVANCE.
- SOILS ON THE SITE CONSIST ENTIRELY OF URBAN LAND (UR). THERE ARE NO PRIME AGRICULTURAL SOILS OR FARMLAND SOILS OF STATEWIDE IMPORTANCE.
- THE PROJECT SITE IS LOCATED WITHIN THE SAUGATUCKET RIVER WATERSHED AREA. STORMWATER RUNOFF FROM THE SITE IS ULTIMATELY CONVEYED TO THE INDIAN RUN BROOK (WBI010045R-02), WHICH HAS A TMDL FOR FECAL COLIFORM (7/31/2003) AND FOR COPPER AND ZINC (6/2/2008). THERE ARE NO KNOWN WETLANDS OR COASTAL FEATURES ON OR IMMEDIATELY ADJACENT TO THE SITE.
- PER RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT (RIDEM) ENVIRONMENTAL RESOURCE MAPPING (ERM) DATABASE, THE PROJECT SITE IS NOT LOCATED WITHIN A KNOWN NATURAL HERITAGE AREA, IS NOT LOCATED WITHIN AN OWTS CRITICAL RESOURCE AREA, AND IS NOT LOCATED WITHIN A DRINKING WATER SUPPLY WATERSHED, AS DEFINED BY RIDEM.
- THE PROJECT SITE IS NOT UNDER THE JURISDICTION OF THE NARROW RIVER SPECIAL AREA MANAGEMENT PLAN, OR THE SALT PONDS REGION SPECIAL AREA MANAGEMENT PLAN, AS DEFINED BY THE RICRMC.
- BASED ON THE SOUTH KINGSTOWN GEOGRAPHIC INFORMATION SYSTEM DATABASE, THE PROJECT SITE IS NOT LOCATED WITHIN THE TOWN OF SOUTH KINGSTOWN GROUNDWATER PROTECTION OVERLAY DISTRICT.
- THE PROJECT SITE IS NOT LISTED ON THE NATIONAL REGISTER OF HISTORIC PLACES. THERE ARE NO HISTORIC CEMETERIES OR HISTORIC FEATURES ON OR IMMEDIATELY ADJACENT TO THE DEVELOPMENT PARCEL.
- THERE ARE NO KNOWN EASEMENTS WITHIN OR ADJACENT TO THE SUBJECT PARCEL.
- TELEPHONE, ELECTRIC, SEWER, GAS, AND WATER SERVICES ARE ALL AVAILABLE FROM KINGSTOWN ROAD.

INDEX OF DRAWINGS

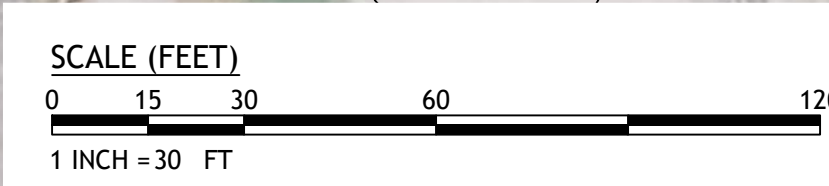
SHEET	PLAN
C1.0	EXISTING CONDITIONS and AERIAL PLAN
C2.0	SITE PLAN
L1.0	CONCEPTUAL LANDSCAPE PLAN, prepared by DIANE SOULE & ASSOCIATES, INC.
A1.0	PRELIMINARY FLOOR PLANS, prepared by DENNIS COLWELL ARCHITECTS, INC.
A2.0	BUILDING ELEVATIONS, prepared by DENNIS COLWELL ARCHITECTS, INC.

LEGEND:

—	EXISTING PROPERTY LINE	—	EXISTING TELECOM DUCTBANK
- - -	ABUTTING PROPERTY LINE	—	EXISTING ELECTRIC DUCTBANK
163.84	EXISTING SPOT ELEVATION	—	EXISTING GAS LINE
100	EXISTING CONTOUR	—	PROPOSED GAS LINE
100	PROPOSED CONTOUR	—	EXISTING WATER LINE
—	EXISTING STONE WALL	—	PROPOSED WATER LINE
—	EXISTING CURB	—	EXISTING SEWER LINE
—	PROPOSED CURB	—	PROPOSED SEWER LINE
—	EXISTING FENCE	—	EXISTING SEWER MANHOLE
—	PROPOSED FENCE	—	PROPOSED SEWER MANHOLE
—	EXISTING DRAIN LINE	—	N/F
—	PROPOSED DRAIN LINE	—	NOW OR FORMERLY
—	EXISTING DRAINAGE MANHOLE	—	TREELINE
—	PROPOSED DRAINAGE MANHOLE	—	SILT FENCE
—	EXISTING CATCH BASIN	—	LOD
—	PROPOSED CATCH BASIN	—	LIMIT OF DISTURBANCE
—	EXISTING UTILITY POLE	—	TEST HOLE
—	PROPOSED UTILITY POLE	—	HYDRANT
—	EXISTING UTILITY POLE	—	PROPOSED HANDICAP

ZONING CRITERIA	REQUIRED	EXISTING
ZONING DISTRICT	CH	CH
MINIMUM LOT SIZE	20,000 SF	118,483 SF
MINIMUM LOT WIDTH	100 FT	345 FT
MINIMUM LOT FRONTAGE	100 FT	273.2 FT
MINIMUM FRONT YARD SETBACK	40 FT	3.35 FT*
MINIMUM SIDE YARD SETBACK	30 FT	136.6 FT
MINIMUM REAR YARD SETBACK	40 FT	N/A
MAXIMUM BUILDING HEIGHT	35 FT	<35 FT
MAXIMUM BUILDING COVERAGE	30%	26.3%

*PRE-EXISTING NON-CONFORMING CONDITION



JCE
 JOE CASALI ENGINEERING, INC.
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 (401) 944-1300 (401) 944-1313 FAX WWW.JOECASALI.COM

JOSEPH A. CASALI
 No. 7150
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

**THE WINDING RHODE
 COMPASSION CENTER
 682 KINGSTOWN ROAD, UNIT #1
 SOUTH KINGSTOWN, RHODE ISLAND
 AP 57-1, LOT 96-0**

REVISIONS:

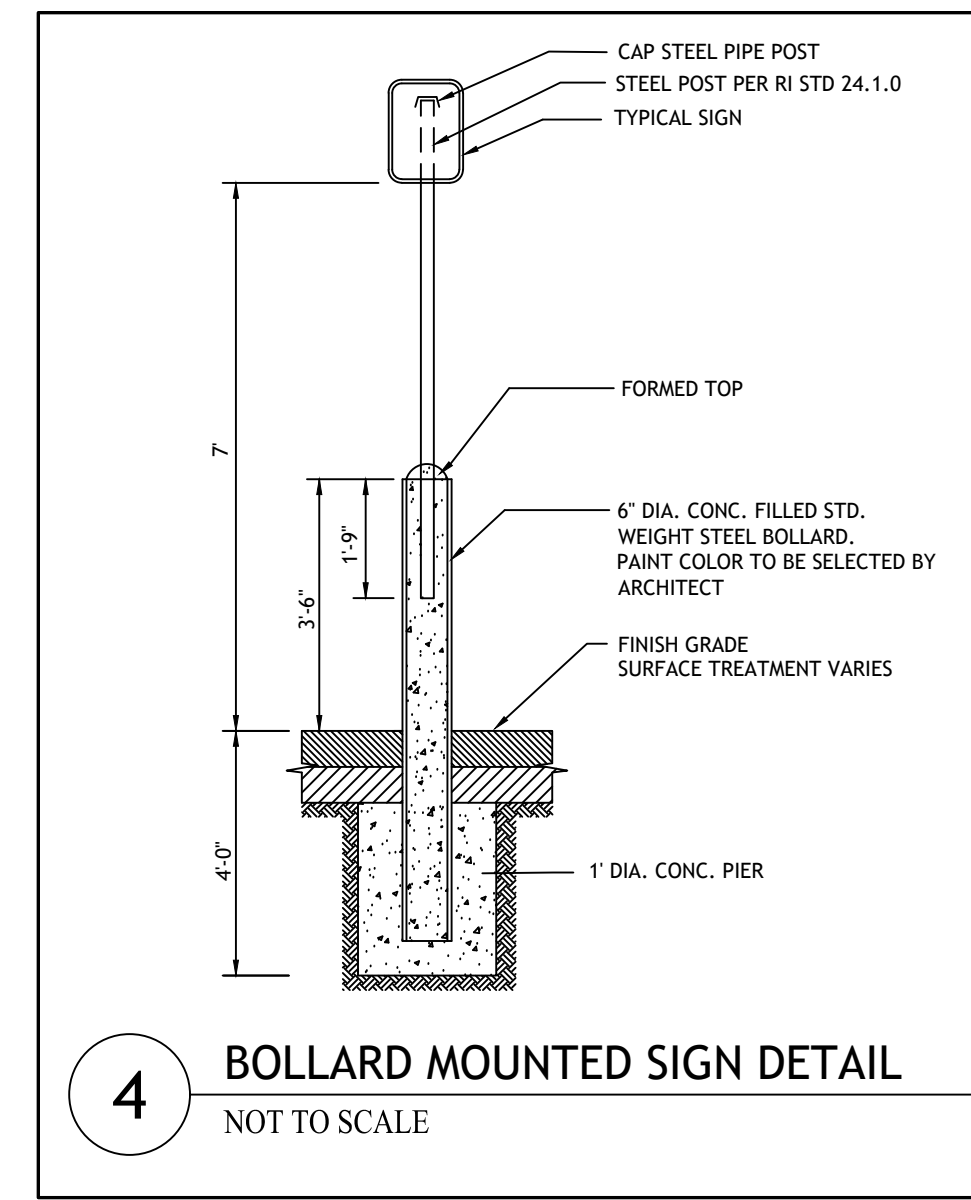
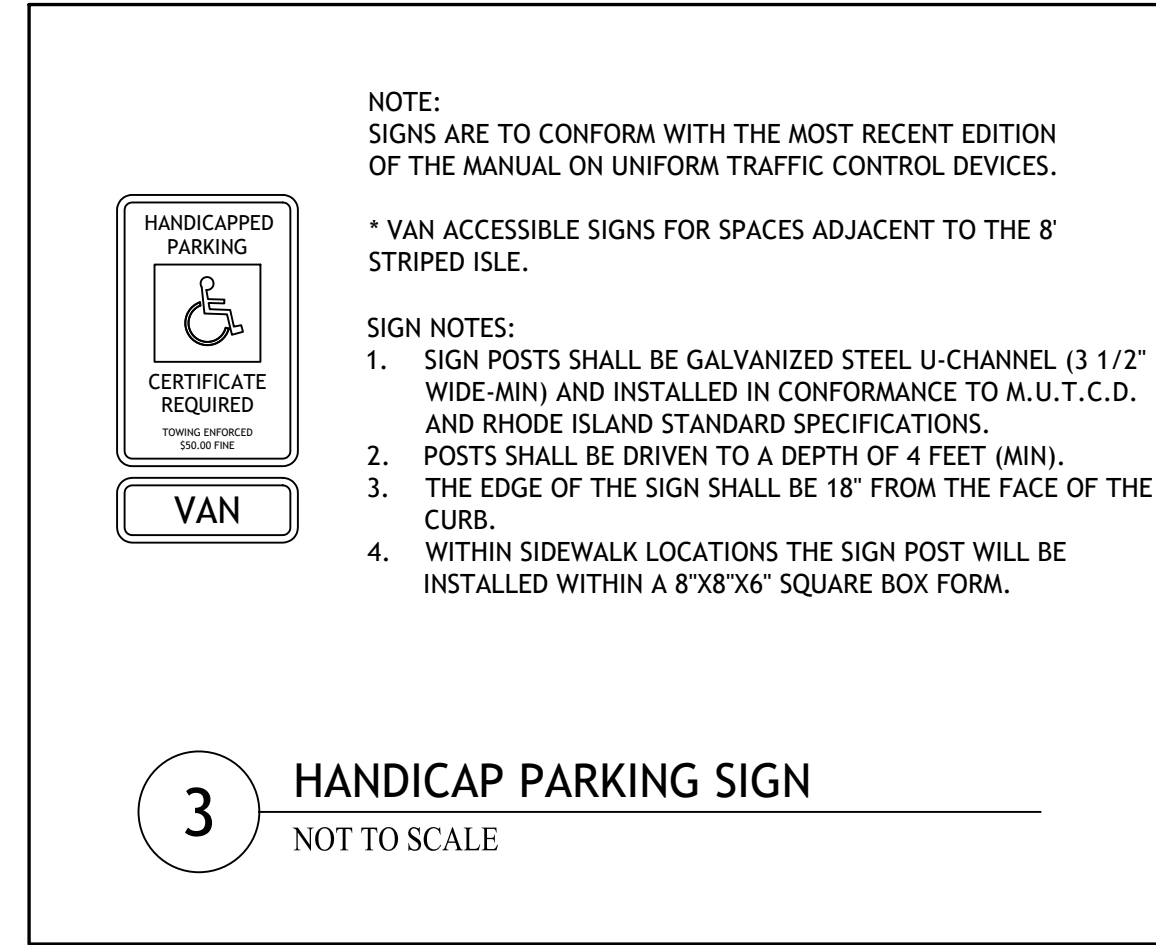
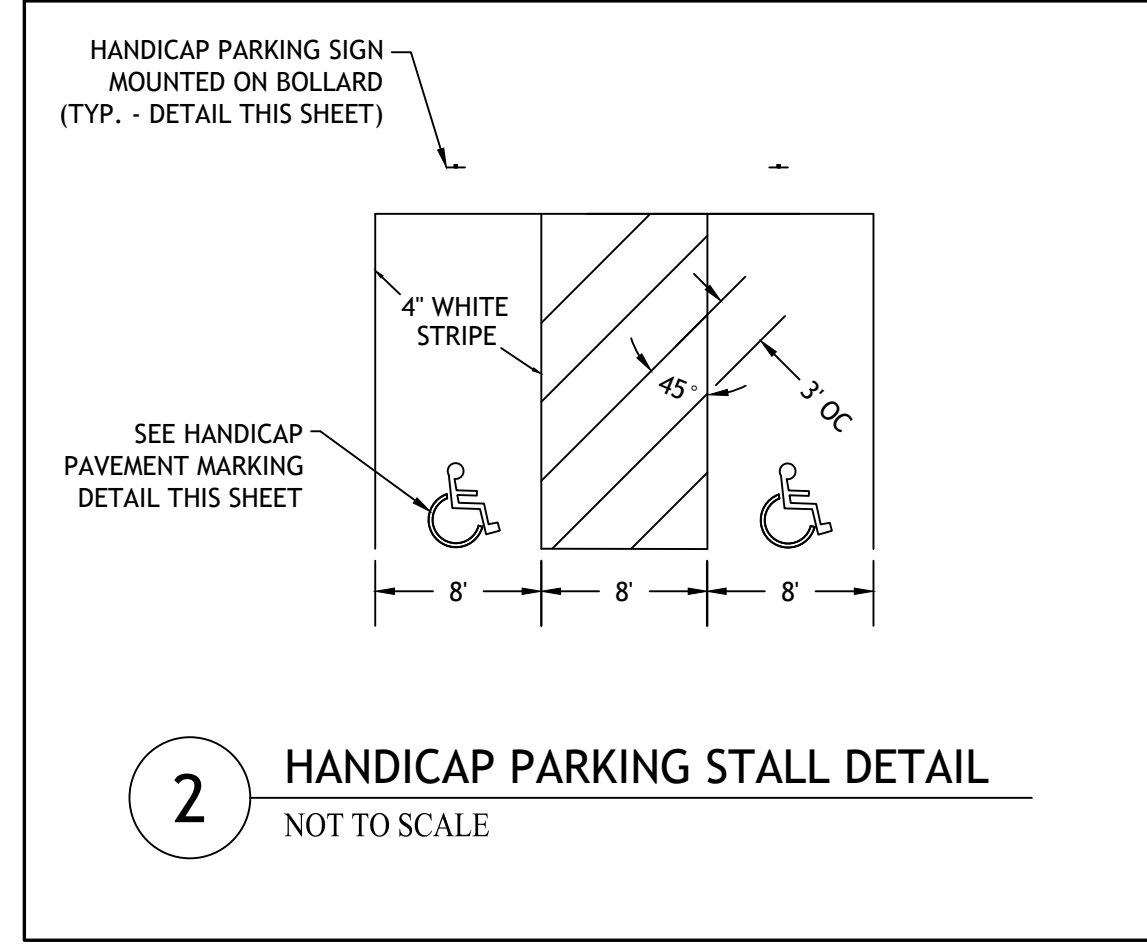
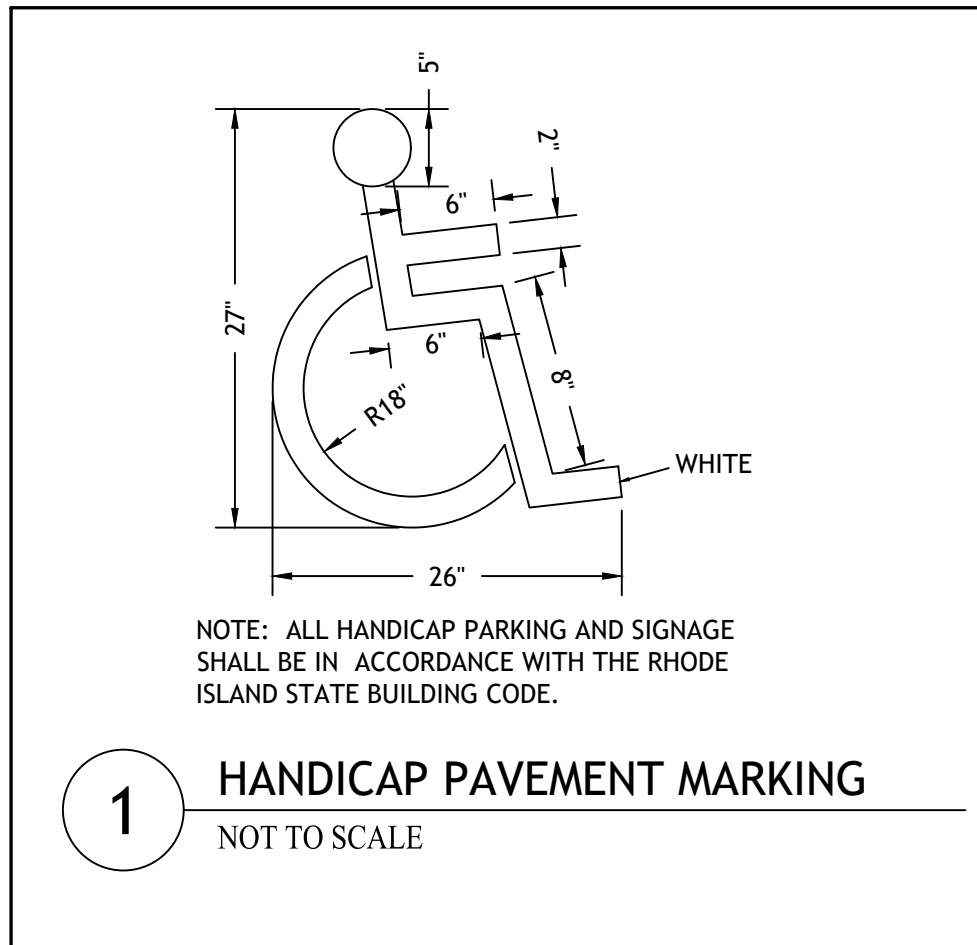
NO.	DATE	DESCRIPTION

DESIGNED BY: DRD
 DRAWN BY: SEP
 CHECKED BY: JAC
 DATE: OCTOBER 2020
 PROJECT NO: 20-346

PRELIMINARY, NOT FOR CONSTRUCTION

EXISTING CONDITIONS AND AERIAL PLAN

SHEET C1.0



ZONING CRITERIA	REQUIRED	EXISTING	PROPOSED
ZONING DISTRICT	CH	CH	CH
MINIMUM LOT SIZE	20,000 SF	118,483 SF	118,483 SF
MINIMUM LOT WIDTH	100 FT	345 FT	345 FT
MINIMUM LOT FRONTAGE	100 FT	273.2 FT	273.2 FT
MINIMUM FRONT YARD SETBACK	40 FT	3.35 FT*	3.35 FT*
MINIMUM SIDE YARD SETBACK	30 FT	136.6 FT	136.6 FT
MINIMUM REAR YARD SETBACK	40 FT	N/A	N/A
MAXIMUM BUILDING HEIGHT	35 FT	<35 FT	<35 FT
MAXIMUM BUILDING COVERAGE	30%	26.3%	26.3%

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OFF-STREET PARKING SPACE REQUIREMENTS:

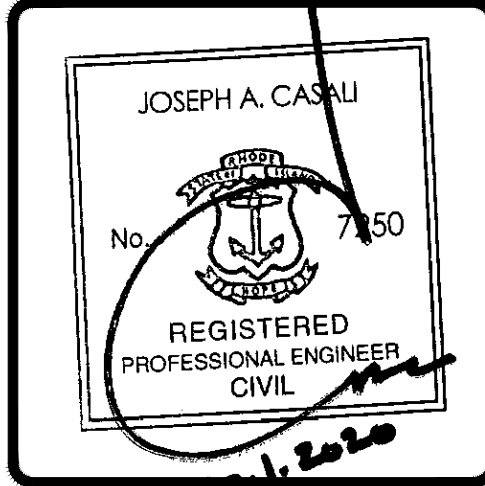
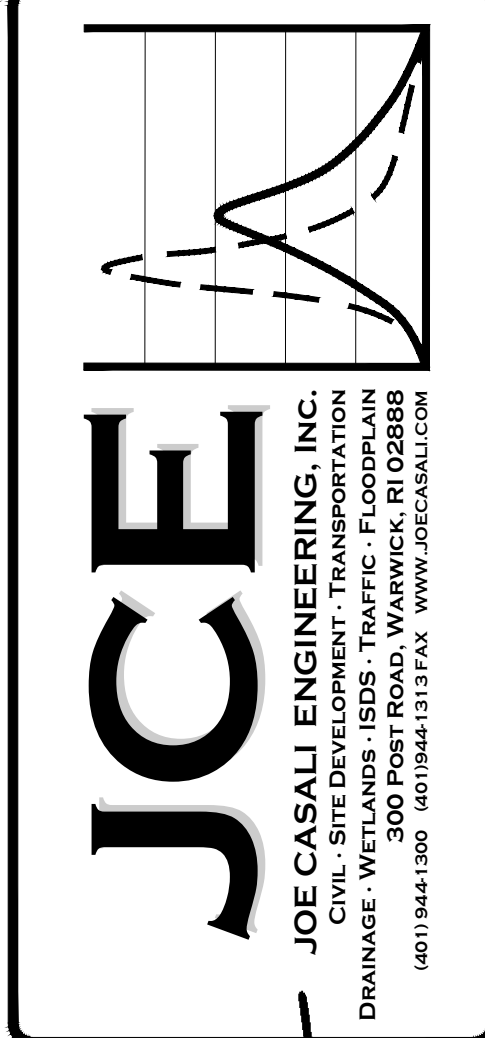
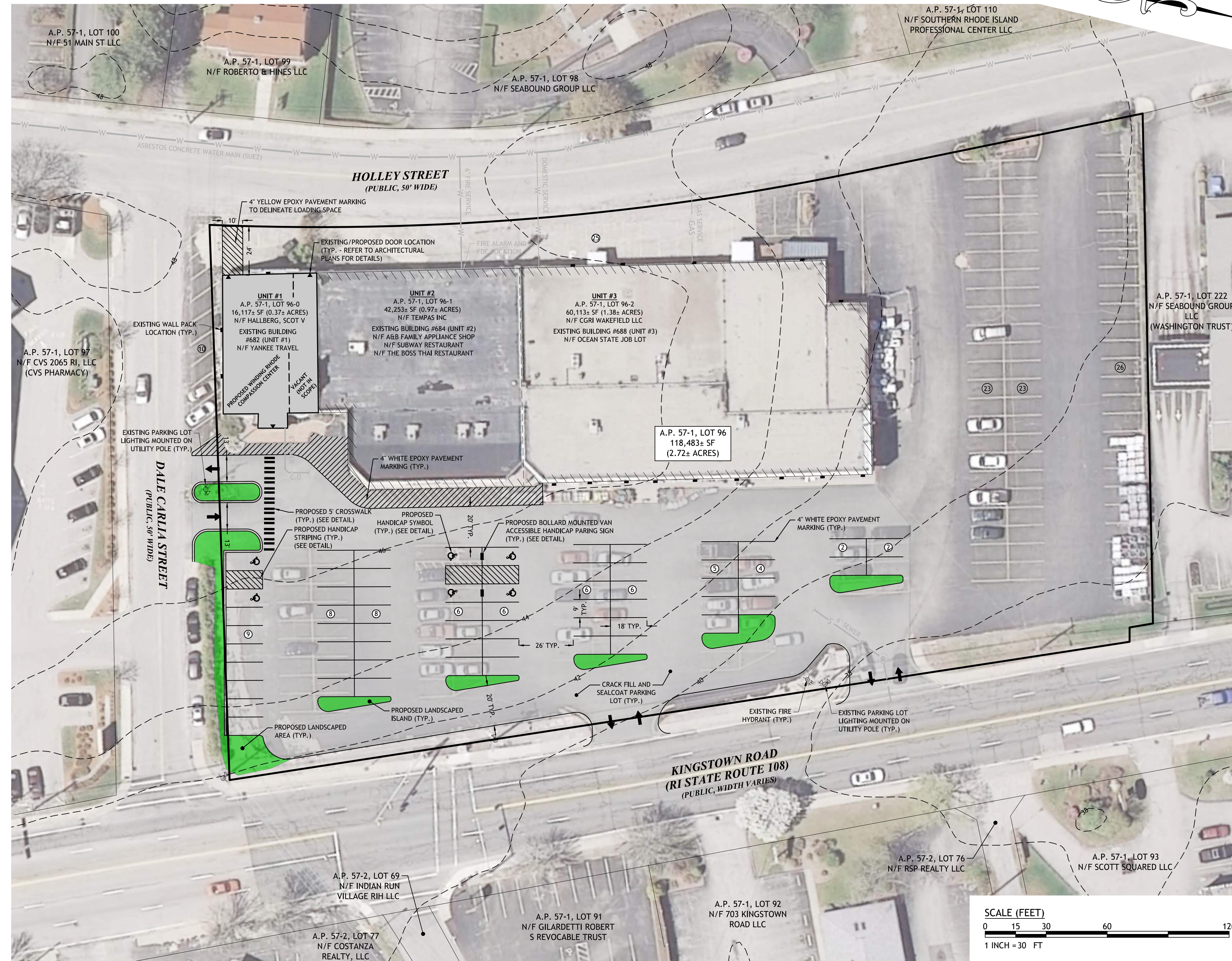
RETAIL STORES, SHOPPING CENTERS AND OTHER TYPES OF PERMITTED BUSINESS OR COMMERCIAL USES:
1 SPACE FOR EACH 350 SF OF GROSS LEASABLE FLOOR AREA (GLFA) (MINIMUM OF 3 SPACES)

UNIT 1 (COMPASSION CENTER & VACANT SPACE):
EXISTING GLFA: 6,095 SF
6,095 SF / 350 SF = 17.4 OR 18 SPACES

UNIT 2 (TEMPAS):
EXISTING GLFA: 15,705 SF
15,705 SF / 350 SF = 44.9 OR 45 SPACES

UNIT 3 (OCEAN STATE JOB LOT):
EXISTING GLFA: 27,632 SF
27,632 SF / 350 SF = 78.9 OR 79 SPACES

REQUIRED: 142 SPACES (5 ADA)
OVERALL EXISTING: 172 SPACES (2 ADA)
OVERALL PROVIDED: 169 SPACES (6 ADA)



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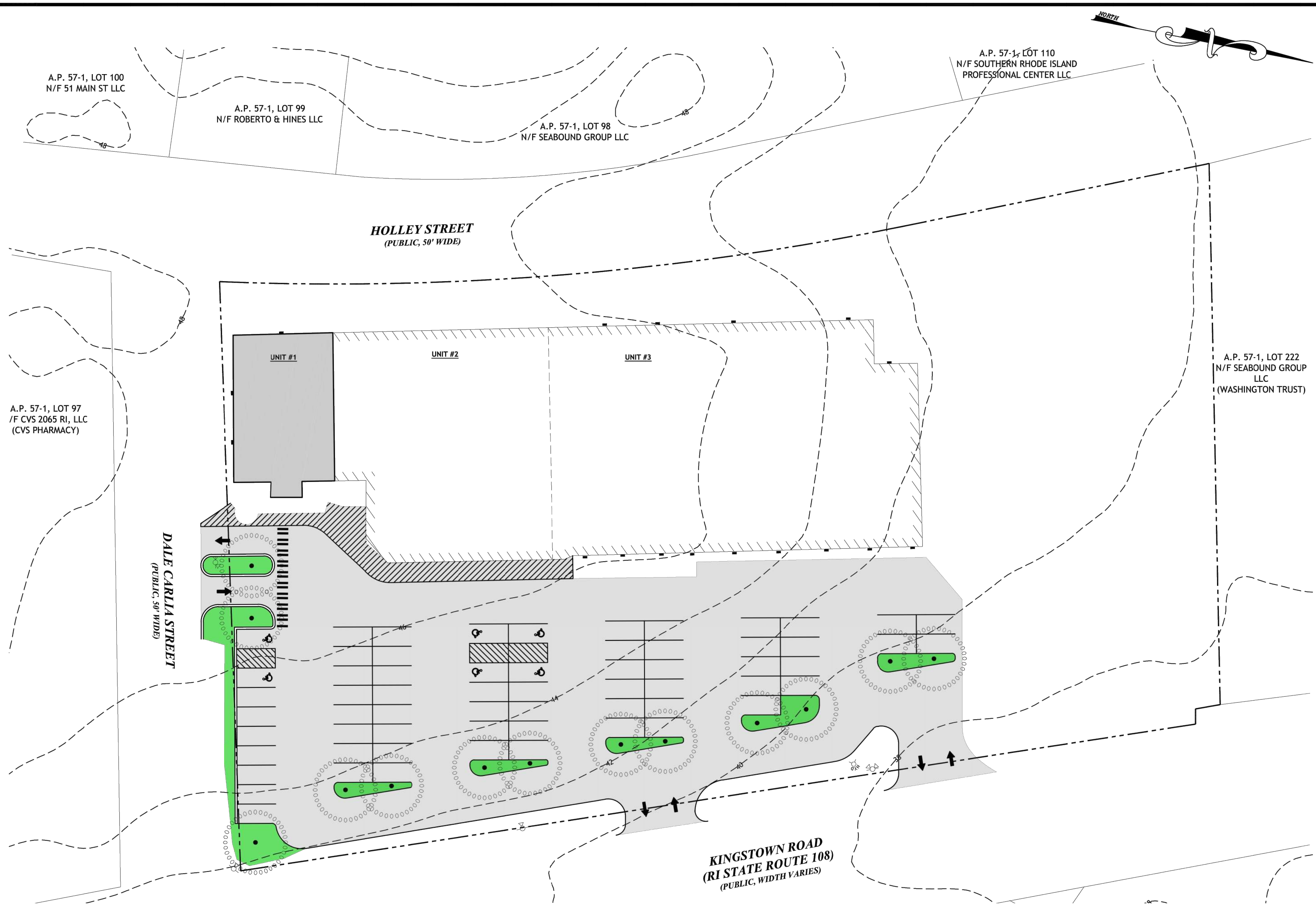
REVISIONS:	NO.	DATE	DESCRIPTION

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CHECKED BY: JAC
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PRELIMINARY, NOT FOR CONSTRUCTION

SITE PLAN

SHEET C2.0



CONCEPTUAL LANDSCAPE PLAN
1"=30'

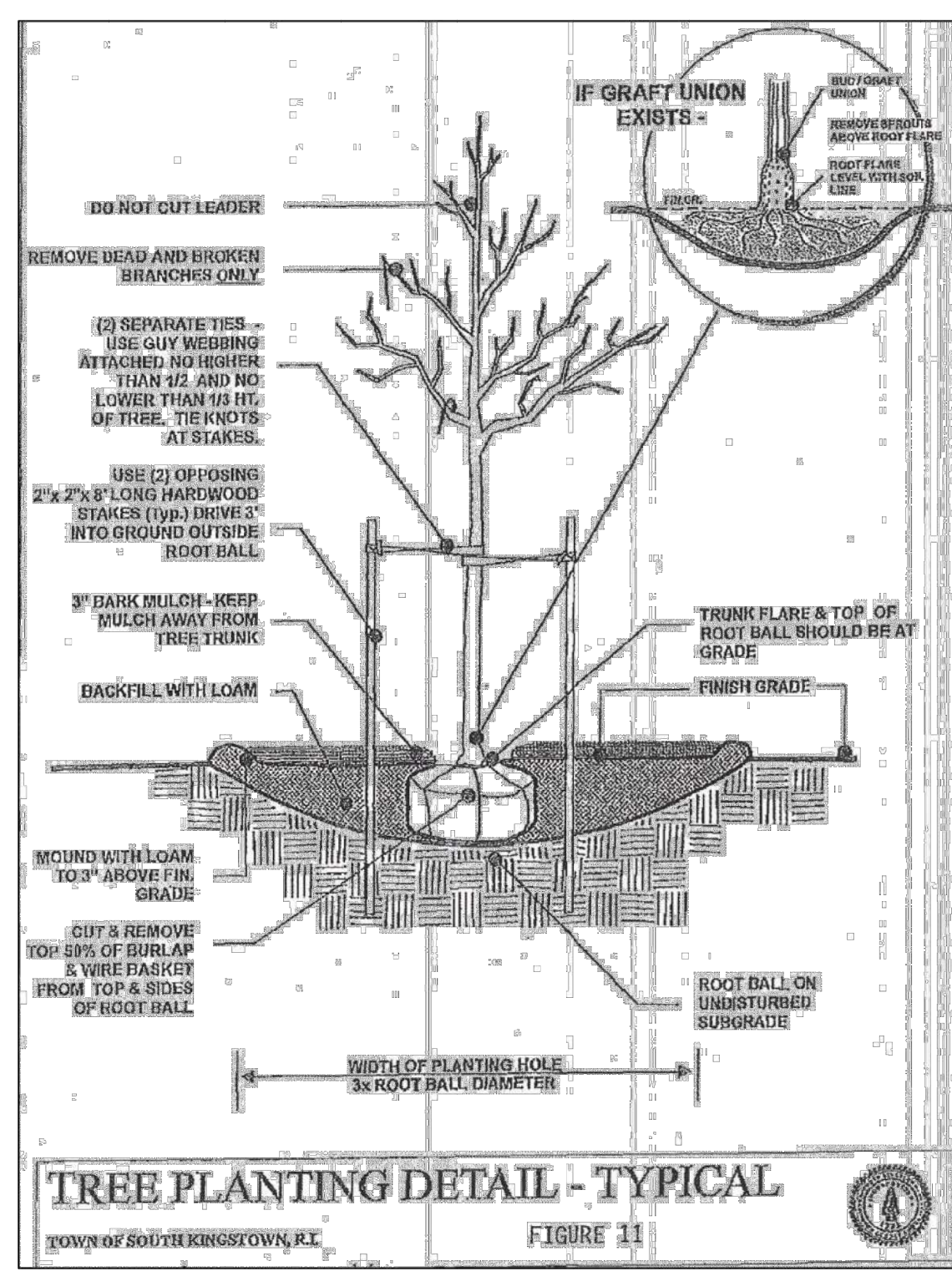


SOUTH KINGSTOWN LANDSCAPE PLANNING DATA
ARTICLE XIII Design and Public Improvement Standards
Subdivision and Land Development Regulations - ARTICLE IV
Special Requirements

ZONING CRITERIA	REQUIRED	PROPOSED	REGULATION ID
STREET TREE LOCATION	LOCATED WITHIN 10 FEET OF THE STREET RIGHT-OF-WAY LINE	NONE	ARTICLE XIII 1.3.a
SPACING OF STREET TREES	30 TO 50 FEET ON CENTER	NO TREES PROPOSED	ARTICLE XIII 1.3.a
TREE SIZE	1 1/2" TO 2" CALIPER AND 6 TO 8 FEET TALL	3" CALIPER AND 6 TO 8 FEET TALL	ARTICLE XIII 1.3.c
SMALL SHRUB SIZE	4 FEET MINIMUM	NONE PROPOSED	ARTICLE IV G.1.c
SMALL EVERGREEN TREE AND LARGE SHRUB SIZE	6 TO 8 FEET MINIMUM	NONE PROPOSED	ARTICLE IV G.1.b
PARKING LOT PERIMETER LANDSCAPING ALONG STREET FRONTAGE	10 FOOT STRIP OF LAND BETWEEN R.O.W. AND PARKING OR 4 FOOT STRIP OF LAND WITH 3 FOOT HIGH WALL AND PLANTED AS PARTIAL LANDSCAPE SCREEN	NONE PROPOSED	ARTICLE IV G.2.c/d
PERIMETER LANDSCAPING-PARKING LOTS AND LOADING FACILITIES	WIDTH OF PERIMETER LANDSCAPE STRIP: 10 FEET WHEN PARKING LOT EXCEEDS 2,500 SQUARE FEET OF PAVED AREA	NO PERIMETER LANDSCAPE STRIP PROVIDED	ARTICLE IV G.3
INTERIOR LANDSCAPING	PARKING AREAS OVER 50,000 SQUARE FEET REQUIRE 10% INTERIOR LANDSCAPING	63,000* SF X 10%=6,300 SF REQ'D 1,925 SF PROVIDED *APPROXIMATE	ARTICLE IV G.4
INTERIOR LANDSCAPING	VARIOUS ISLAND CONFIGURATIONS REQUIRE SPECIFIC PLANTING LAYOUTS	SEE PLAN	ARTICLE IV G.4.(b)-(d)(e)
BUILDING LANDSCAPING	3 FOOT WIDE LANDSCAPE STRIP BETWEEN BUILDING AND PARKING AND BUILDING WALL FACING ADJACENT STREET SHALL BE LANDSCAPED	NO LANDSCAPE STRIP PROVIDED	ARTICLE IV G.5

CONCEPT PLANT SCHEDULE

- STREET TREES - 3" CALIPER 13
- Maple
- Oak
- Linden
- Zelkova



TREE PLANTING DETAIL
NO SCALE

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REVISIONS:

NO.	DATE	DESCRIPTION

DESIGNED BY: DCS
 DRAWN BY: DCS
 CHECKED BY: DCS
 DATE: OCTOBER 2020
 PROJECT NO: 20-34b

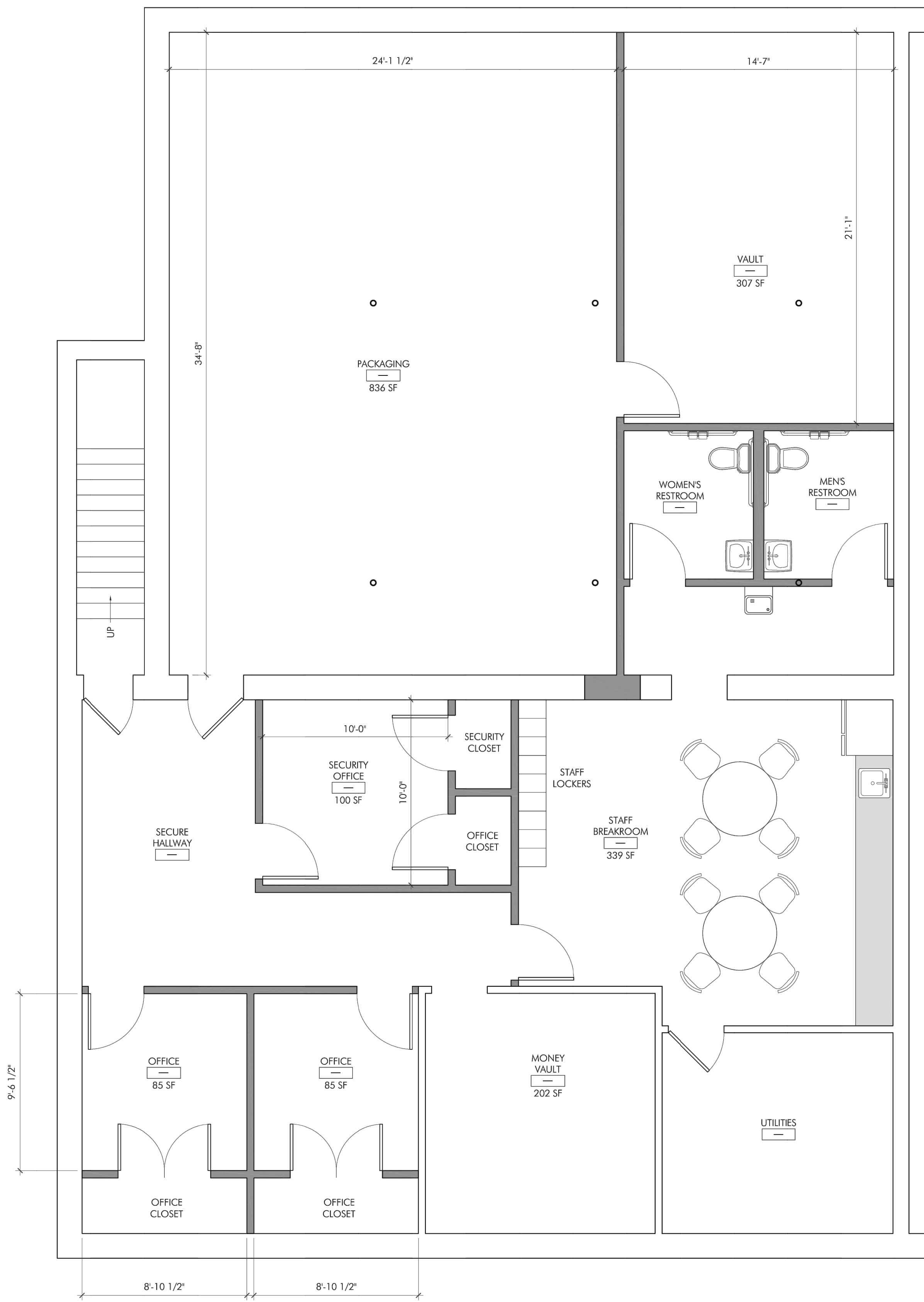
PRELIMINARY, NOT FOR CONSTRUCTION

LANDSCAPE PLAN

SHEET L1.0

D:\ALL MASTER FILES\DRAWINGS\JCE\Winding Rhode Compassion Center\Landscaping Plan-10-01-20\Wind_Rhode_C_Center.dwg Oct. 01, 2020 2:31pm

Diane C. Soule & Associates, ASLA
 Landscape Architects
 422 Falmouth Pike
 Smithfield, Rhode Island 02917
 www.dcsouleandassociates.com
 401.291.8778
 dcs@dcasoule.com



PROPOSED BASEMENT PLAN
SCALE: 1/4" = 1'-0"



PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'-0"

EXISTING WALL TO REMAIN

NEW WALL

EXISTING DOOR TO REMAIN

NEW DOOR

NOT IN SCOPE

FLOOR PLAN LEGEND

PROJECT:
THE WINDING RHODE
COMPASSION CENTER
682 KINGSTOWN ROAD
WAKEFIELD, RI 02879

PROJECT NUMBER: 20186

DENNIS COLWELL ARCHITECTS
132 CENTRAL STREET, SUITE 203, FOXBOROUGH, MA 02035
P. 508-241-2122 F. 508-455-4466 WWW.DC-ARCHITECT.COM

STAMP:

ISSUE:	DATE:
PRELIMINARY	09.25.2020

DRAWING SCALE: 1/4" = 1'-0"

DRAWN BY: C/JG CHECKED BY: D/MC

DRAWING TITLE:
PRELIMINARY FLOOR PLANS

DRAWING NUMBER:

A1.0

PROJECT:

THE WINDING RHODE

COMPASSION CENTER

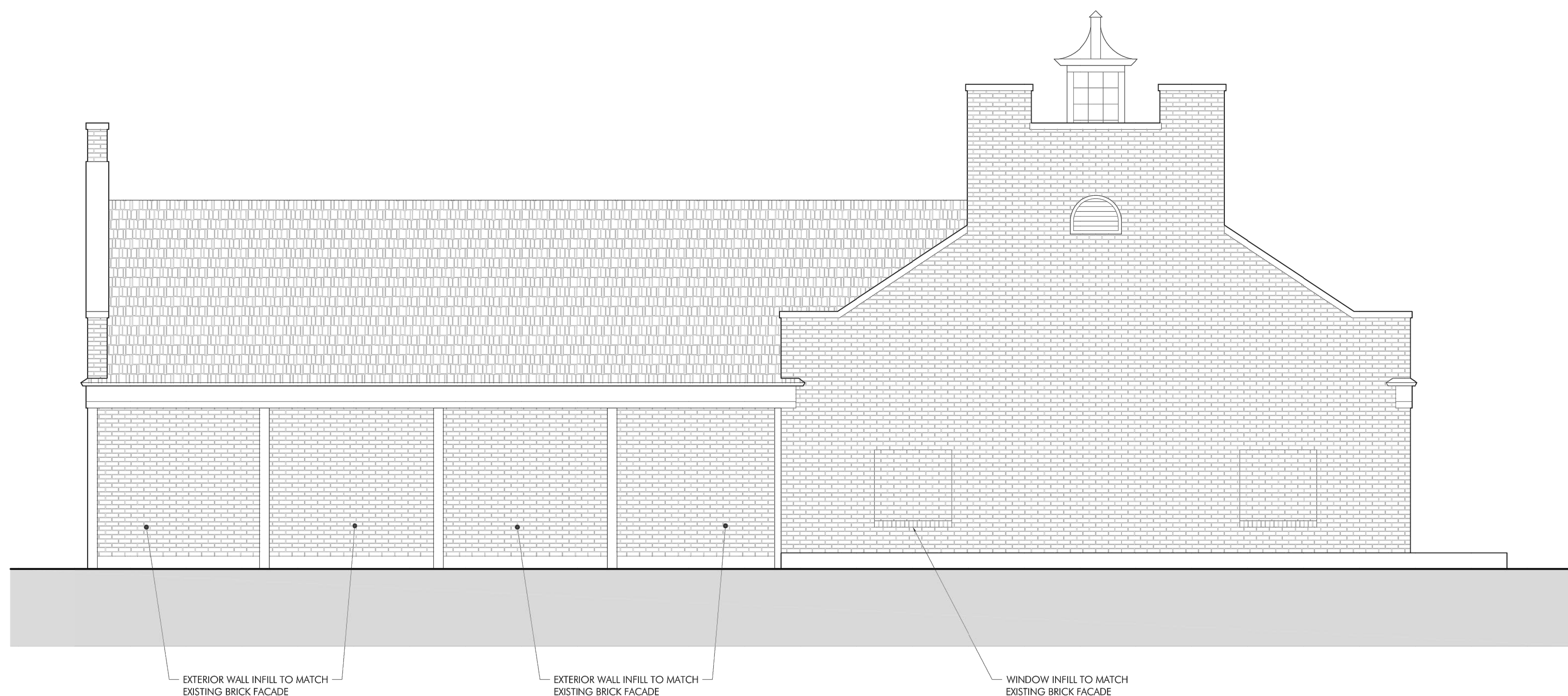
682 KINGSTOWN ROAD

WAKEFIELD, RI 02879

PROJECT NUMBER: 20186



1 FRONT EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



2 SIDE EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

STAMP:

ISSUE:	DATE:
PRELIMINARY	09.24.2020

DRAWING SCALE: 1/4" = 1'-0"

DRAWN BY: C.J.G. CHECKED BY: D.M.C.

DRAWING TITLE:
BUILDING ELEVATIONS

DRAWING NUMBER:

A2.0