

PLANNING BOARD FILING

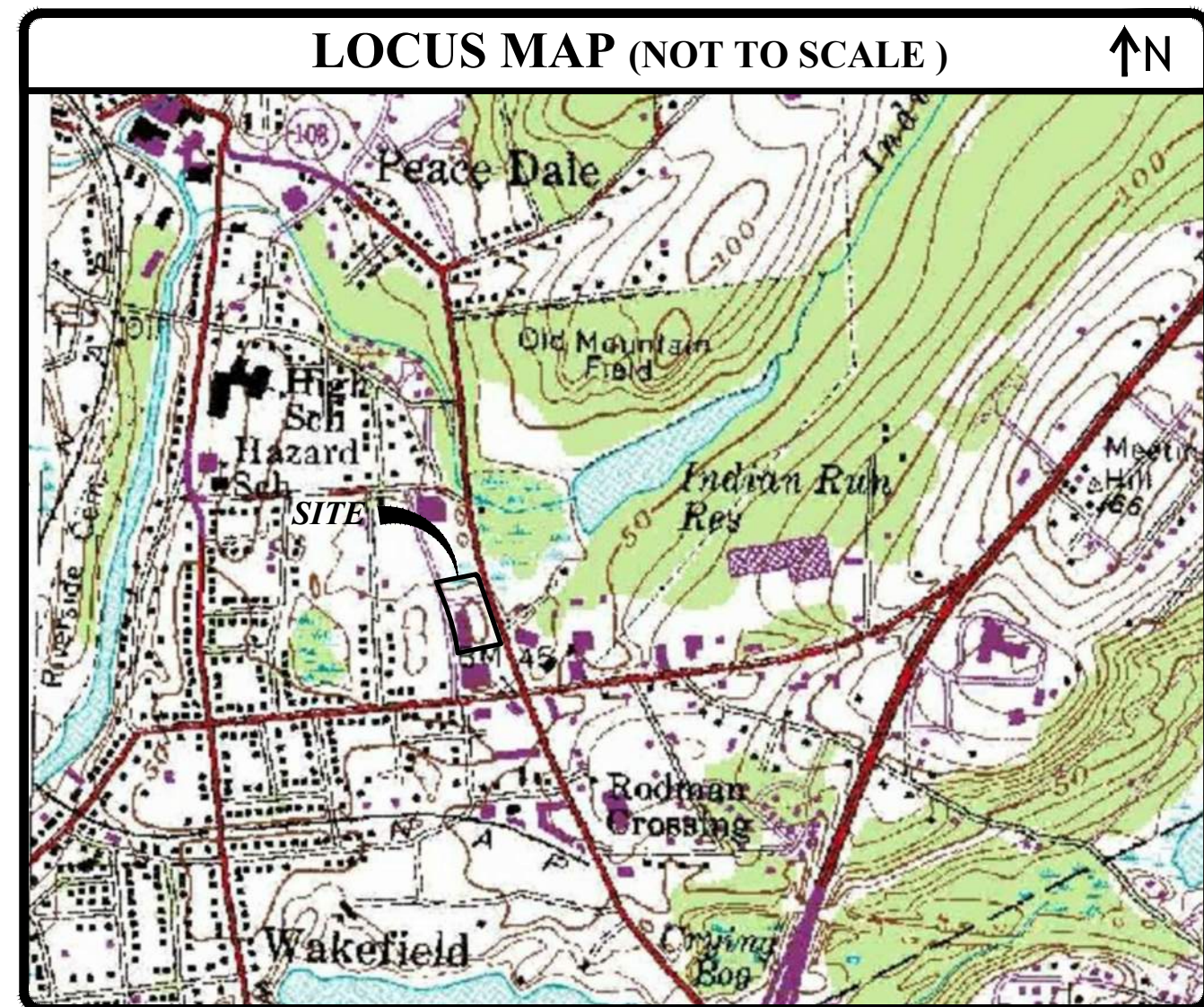
THE WINDING RHODE COMPASSION CENTER

682 KINGSTOWN ROAD, UNIT #1

SOUTH KINGSTOWN, RHODE ISLAND

AP 57-1, LOT 96-0

ZONING DISTRICT: COMMERCIAL-HIGHWAY (CH)



| OWNER | APPLICANT | CIVIL ENGINEER |
|---|---|--|
| SCOT V. HALLBERG 17 ARNOLD ST., SUITE 100 WAKEFIELD, RI 02879 | WINDING RHODE COMPASSION CENTER, INC. MR. PATRICK CASEY, III - DIRECTOR 72 PINE STREET, 1ST FLOOR PROVIDENCE, RI 02903 | JOE CASALI ENGINEERING, INC. 300 POST ROAD WARWICK, RI 02888 PHONE: 401-944-1300 FAX: 401-944-1313 |

GENERAL NOTES:

- THIS PLAN IS BASED ON TOWN OF SOUTH KINGSTOWN GEOGRAPHIC INFORMATION SYSTEM (GIS) DATABASE DATA AND RHODE ISLAND GIS DATABASE DATA. A CLASS I PROPERTY LINE SURVEY AND CLASS III TOPOGRAPHIC SURVEY MAY BE REQUIRED FOR FUTURE STAGES OF DESIGN.
- THE PROJECT SITE LIES WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN), AS SHOWN ON THE FEMA FIRM MAP FOR THE TOWN OF SOUTH KINGSTOWN, RI, COMMUNITY PANEL NO. 44009C0203K, EFFECTIVE DATE APRIL 3, 2020.
- THE LOCATION AND DEPTH OF EXISTING UTILITIES ARE APPROXIMATE AND HAVE BEEN PLOTTED FROM THE LATEST AVAILABLE INFORMATION. THE UTILITY LOCATIONS ARE APPROXIMATE AND MAY NOT BE ALL INCLUSIVE. THE CONTRACTOR SHALL CHECK AND VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, BOTH OVERHEAD AND UNDERGROUND, AND "DIG-SAFE" MUST BE NOTIFIED PRIOR TO COMMENCING ANY CONSTRUCTION OPERATIONS. RESTORATION AND REPAIR OF DAMAGE TO EXISTING UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR WITH NO ADDITIONAL COST TO THE OWNER. NO EXCAVATION SHALL COMMENCE UNTIL ALL INVOLVED UTILITY COMPANIES AND/OR CITY WHOSE FACILITIES MIGHT BE AFFECTED BY ANY WORK TO BE PERFORMED BY THE CONTRACTOR ARE NOTIFIED AT LEAST 72 HOURS IN ADVANCE.
- SOILS ON THE SITE CONSIST ENTIRELY OF URBAN LAND (UR). THERE ARE NO PRIME AGRICULTURAL SOILS OR FARMLAND SOILS OF STATEWIDE IMPORTANCE.
- THE PROJECT SITE IS LOCATED WITHIN THE SAUGATUCKET RIVER WATERSHED AREA. STORMWATER RUNOFF FROM THE SITE IS ULTIMATELY CONVEYED TO THE INDIAN RUN BROOK (WBIID#RI010045R-02), WHICH HAS A TMDL FOR FECAL COLIFORM (7/31/2003) AND FOR COPPER AND ZINC (6/2/2008). THERE ARE NO KNOWN WETLANDS OR COASTAL FEATURES ON OR IMMEDIATELY ADJACENT TO THE SITE.
- PER RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT (RIDEM) ENVIRONMENTAL RESOURCE MAPPING (ERM) DATABASE, THE PROJECT SITE IS NOT LOCATED WITHIN A KNOWN NATURAL HERITAGE AREA, IS NOT LOCATED WITHIN AN OWTS CRITICAL RESOURCE AREA, AND IS NOT LOCATED WITHIN A DRINKING WATER SUPPLY WATERSHED, AS DEFINED BY RIDEM.
- THE PROJECT SITE IS NOT UNDER THE JURISDICTION OF THE NARROW RIVER SPECIAL AREA MANAGEMENT PLAN, OR THE SALT PONDS REGION SPECIAL AREA MANAGEMENT PLAN, AS DEFINED BY THE RICRMC.
- BASED ON THE SOUTH KINGSTOWN GEOGRAPHIC INFORMATION SYSTEM DATABASE, THE PROJECT SITE IS NOT LOCATED WITHIN THE TOWN OF SOUTH KINGSTOWN GROUNDWATER PROTECTION OVERLAY DISTRICT.
- THE PROJECT SITE IS NOT LISTED ON THE NATIONAL REGISTER OF HISTORIC PLACES. THERE ARE NO HISTORIC CEMETERIES OR HISTORIC FEATURES ON OR IMMEDIATELY ADJACENT TO THE DEVELOPMENT PARCEL.
- BASED ON THE DECLARATION OF CONDOMINIUM OF OLD COLONY CONDOMINIUM, RECORDED JULY 19, 1985, THE OVERALL PROPERTY IS SUBJECT TO A TEMPORARY CONSTRUCTION EASEMENT GRANTED TO THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION DIVISION OF PUBLIC WORKS (WHICH HAS PRESUMABLY EXPIRED). THE PROPERTY IS ALSO SUBJECT TO AN AERIAL EASEMENT AS SHOWN ON THE RHODE ISLAND HIGHWAY PLAT #2007 AND A SEWER EASEMENT OVER THE EASTERLY PORTION OF SAID PARCEL.
- TELEPHONE, ELECTRIC, SEWER, GAS, AND WATER SERVICES ARE ALL AVAILABLE FROM KINGSTOWN ROAD.

INDEX OF DRAWINGS

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|-------|---|
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| L1.0 | CONCEPTUAL LANDSCAPE PLAN, prepared by DIANE SOULE & ASSOCIATES, INC. |
| A1.0 | PRELIMINARY FLOOR PLANS, prepared by DENNIS COLWELL ARCHITECTS, INC. |
| A2.0 | BUILDING ELEVATIONS, prepared by DENNIS COLWELL ARCHITECTS, INC. |

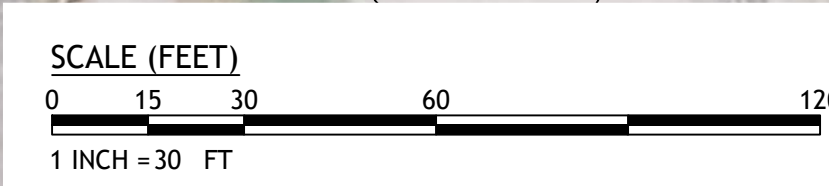
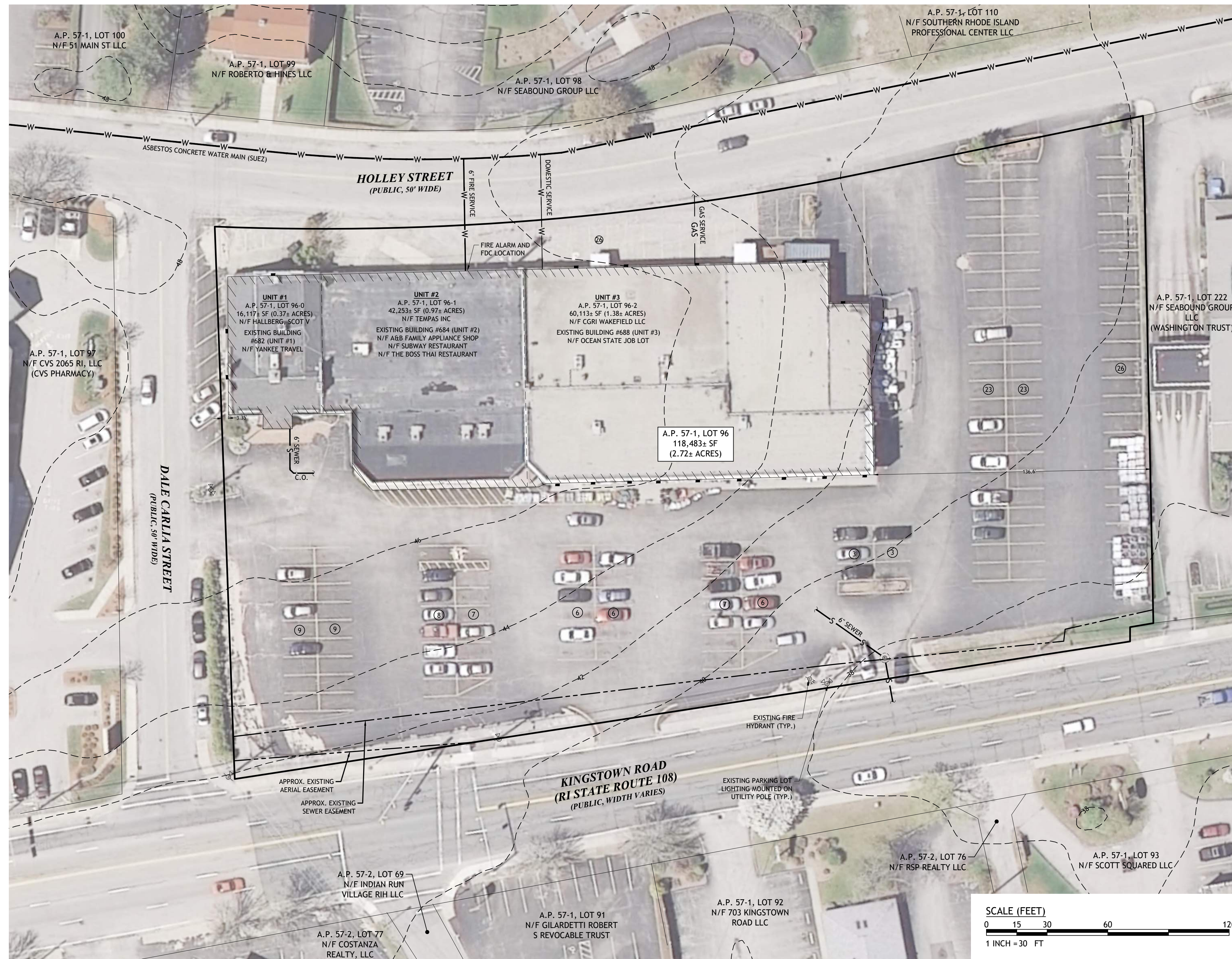
LEGEND:

| | | | |
|-----|---------------------------|-----|-----------------------------|
| --- | EXISTING PROPERTY LINE | --- | EXISTING TELECOM DUCTBANK |
| --- | ABUTTING PROPERTY LINE | --- | EXISTING ELECTRIC DUCTBANK |
| --- | BUILDING SETBACK LINE | --- | RELOCATED ELECTRIC DUCTBANK |
| --- | EXISTING SPOT ELEVATION | --- | EXISTING GAS LINE |
| --- | 100 | --- | PROPOSED GAS LINE |
| --- | EXISTING CONTOUR | --- | EXISTING WATER LINE |
| --- | PROPOSED CONTOUR | --- | PROPOSED WATER LINE |
| --- | EXISTING STONE WALL | --- | EXISTING SEWER LINE |
| --- | EXISTING CURB | --- | PROPOSED SEWER LINE |
| --- | PROPOSED CURB | --- | EXISTING SEWER MANHOLE |
| --- | EXISTING FENCE | --- | PROPOSED SEWER MANHOLE |
| --- | PROPOSED FENCE | --- | N/F |
| --- | EXISTING DRAIN LINE | --- | NOW OR FORMERLY |
| --- | PROPOSED DRAIN LINE | --- | TREELINE |
| --- | EXISTING DRAINAGE MANHOLE | --- | SILT FENCE |
| --- | PROPOSED DRAINAGE MANHOLE | --- | LOD |
| --- | EXISTING CATCH BASIN | --- | LIMIT OF DISTURBANCE |
| --- | PROPOSED CATCH BASIN | --- | TEST HOLE |
| --- | EXISTING UTILITY POLE | --- | HYDRANT |
| --- | PROPOSED UTILITY POLE | --- | PROPOSED HANDICAP |

ZONING CRITERIA

| ZONING DISTRICT | REQUIRED | EXISTING |
|----------------------------|-----------|------------|
| CH | CH | CH |
| MINIMUM LOT SIZE | 20,000 SF | 118,483 SF |
| MINIMUM LOT WIDTH | 100 FT | 345 FT |
| MINIMUM LOT FRONTAGE | 100 FT | 273.2 FT |
| MINIMUM FRONT YARD SETBACK | 40 FT | 3.35 FT* |
| MINIMUM SIDE YARD SETBACK | 30 FT | 136.6 FT |
| MINIMUM REAR YARD SETBACK | 40 FT | N/A |
| MAXIMUM BUILDING HEIGHT | 35 FT | <35 FT |
| MAXIMUM BUILDING COVERAGE | 30% | 26.3% |

*PRE-EXISTING NON-CONFORMING CONDITION



JCE
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JOSEPH A. CASALI
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REGISTERED PROFESSIONAL ENGINEER
CIVIL

THE WINDING RHODE COMPASSION CENTER
682 KINGSTOWN ROAD, UNIT #1
SOUTH KINGSTOWN, RHODE ISLAND
AP 57-1, LOT 96-0

REVISIONS:

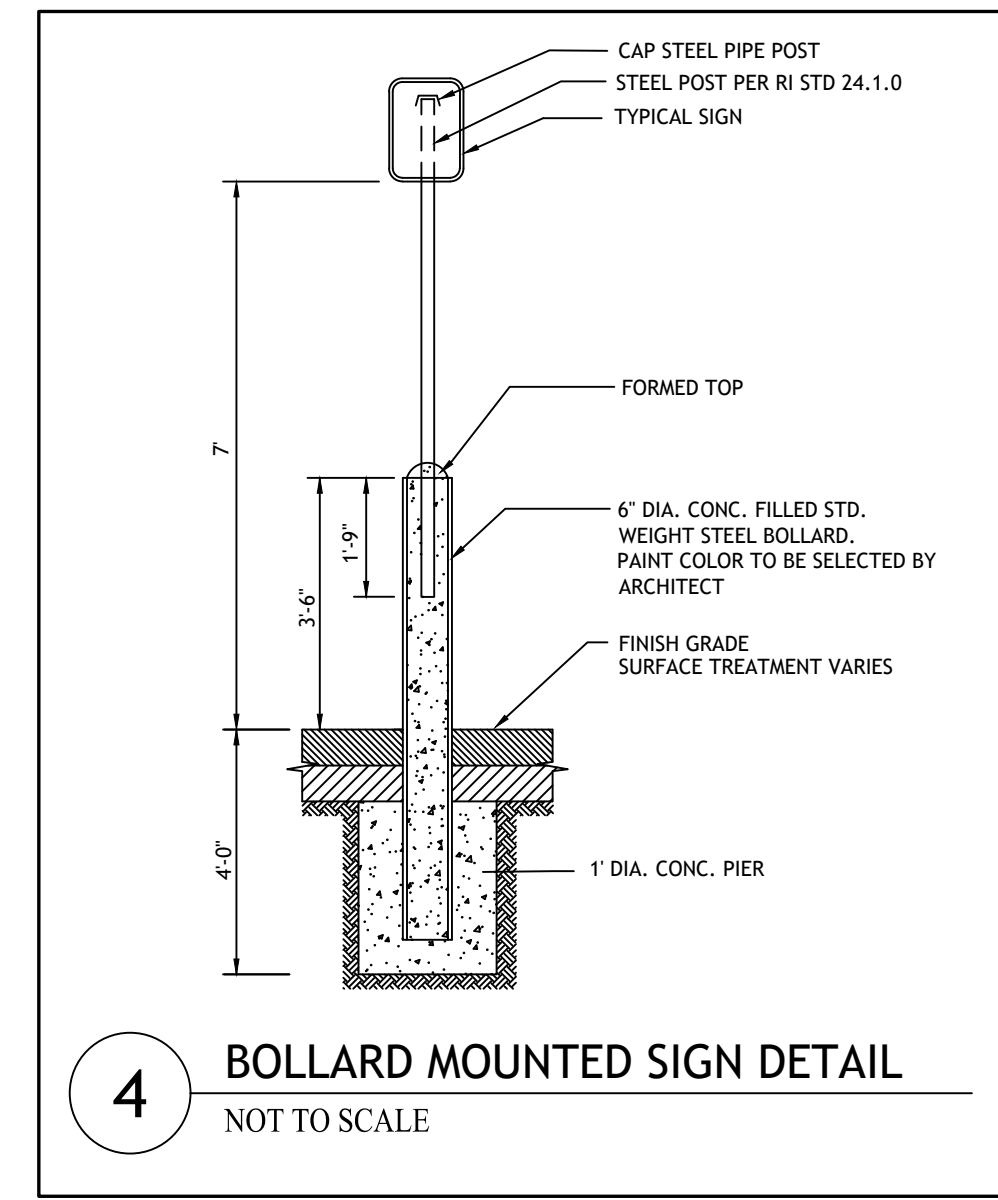
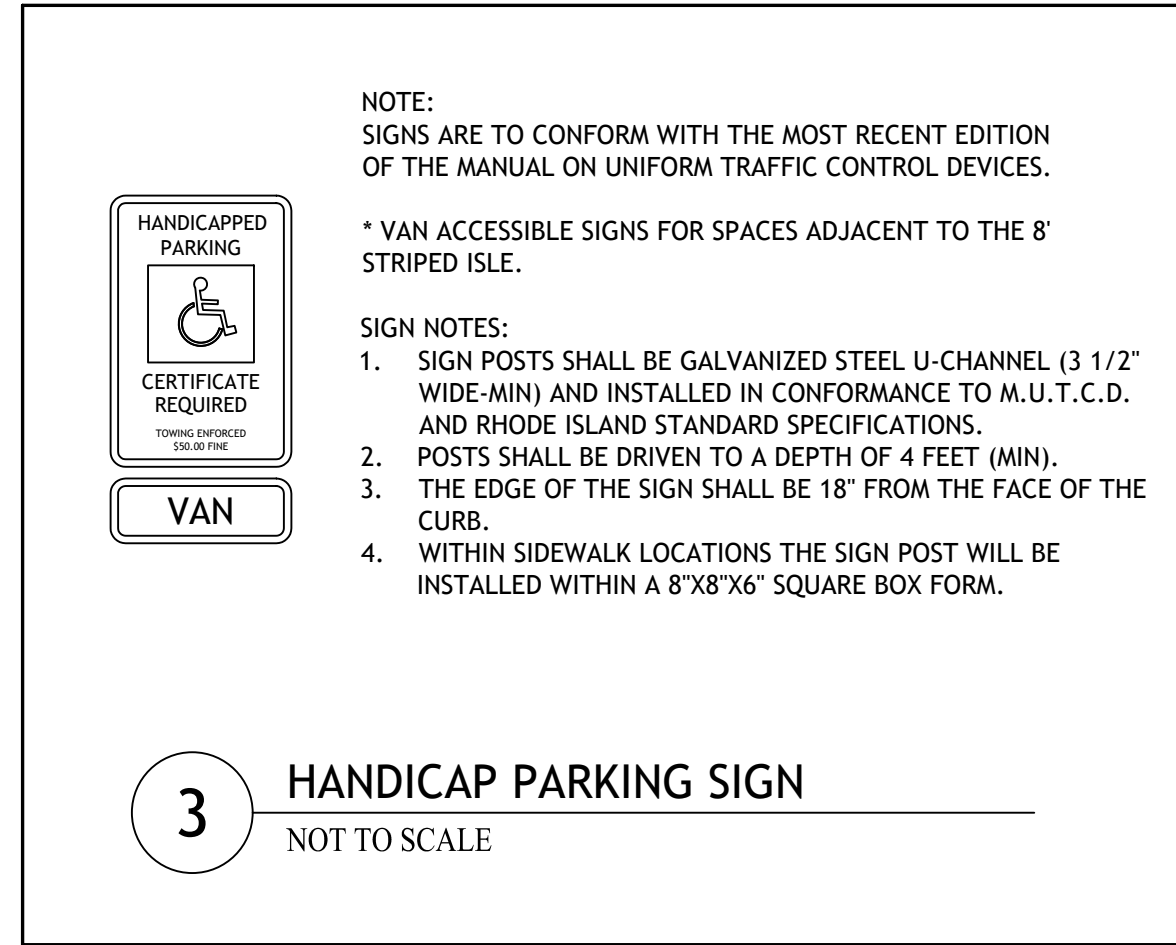
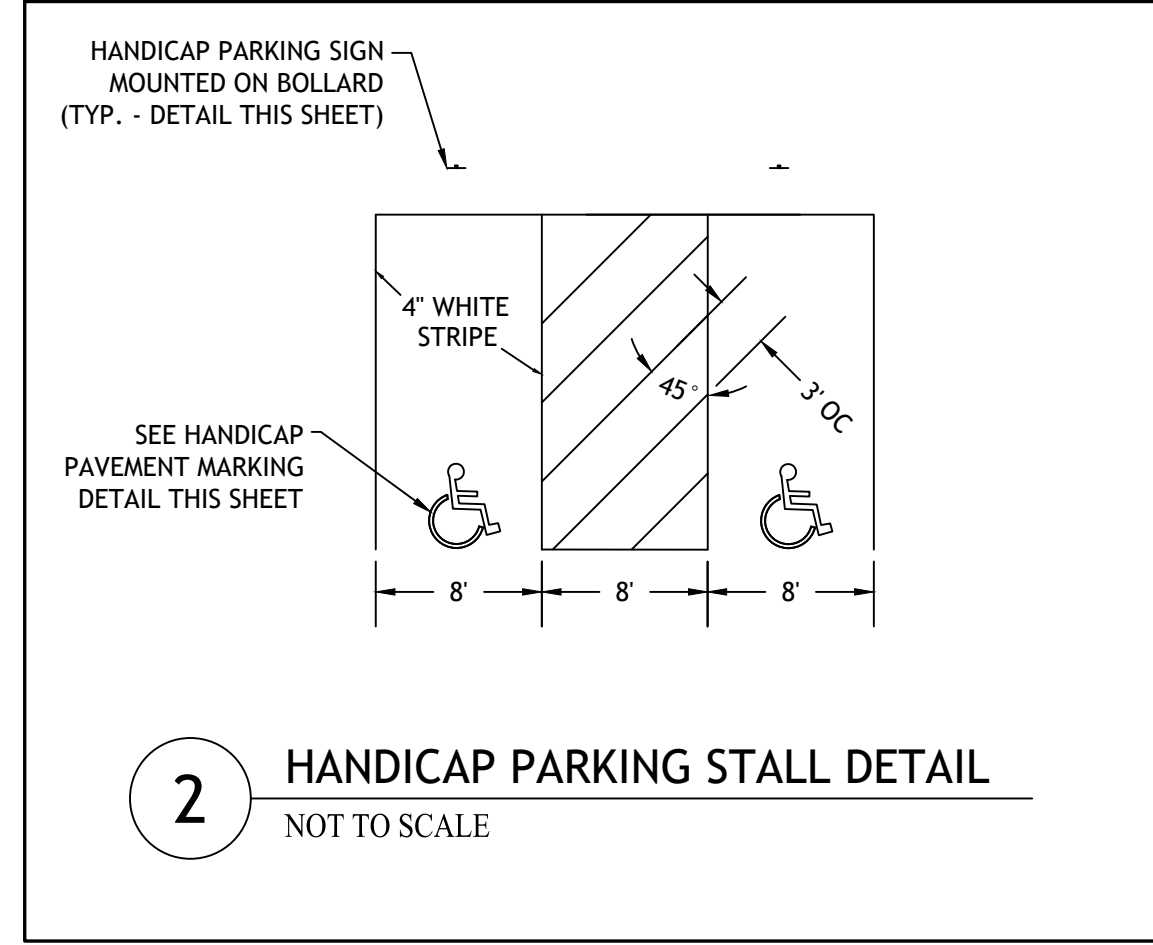
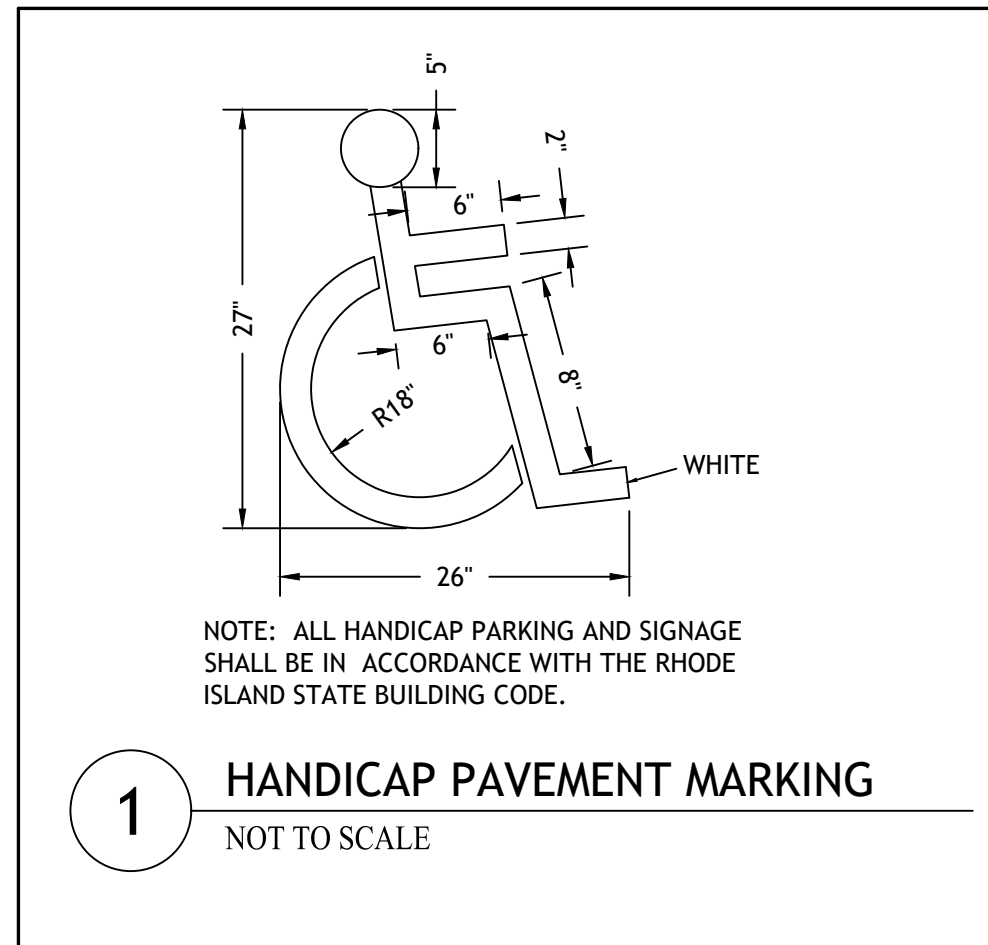
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| 1 | 1/8/21 | PB REVISIONS |

DESIGNED BY: DRD
DRAWN BY: SEP
CHECKED BY: JAC
DATE: NOV. 2020
PROJECT NO: 20-346

PRELIMINARY, NOT FOR CONSTRUCTION

EXISTING CONDITIONS AND AERIAL PLAN

SHEET C1.0



| ZONING CRITERIA | REQUIRED | EXISTING | PROPOSED |
|----------------------------|-----------|------------|------------|
| ZONING DISTRICT | CH | CH | CH |
| MINIMUM LOT SIZE | 20,000 SF | 118,483 SF | 118,483 SF |
| MINIMUM LOT WIDTH | 100 FT | 345 FT | 345 FT |
| MINIMUM LOT FRONTAGE | 100 FT | 273.2 FT | 273.2 FT |
| MINIMUM FRONT YARD SETBACK | 40 FT | 3.35 FT* | 3.35 FT* |
| MINIMUM SIDE YARD SETBACK | 30 FT | 136.6 FT | 136.6 FT |
| MINIMUM REAR YARD SETBACK | 40 FT | N/A | N/A |
| MAXIMUM BUILDING HEIGHT | 35 FT | <35 FT | <35 FT |
| MAXIMUM BUILDING COVERAGE | 30% | 26.3% | 26.3% |

*PRE-EXISTING NON-CONFORMING CONDITION

SPECIAL USE PERMIT REQUESTED:

PER SECTION 301 OF THE ZONING ORDINANCE: A MEDICAL MARIJUANA DISPENSARY ("COMPASSION CENTER") IS PERMITTED, AS A MARIJUANA RETAIL FACILITY, VIA A SPECIAL USE PERMIT WITHIN THE COMMERCIAL HIGHWAY (CH) ZONE.

OFF-STREET PARKING SPACE REQUIREMENTS:

TOWN OF SOUTH KINGSTOWN ZONING ORDINANCE SEC. 711.1:

- B. RETAIL STORES, SHOPPING CENTERS AND OTHER TYPES OF PERMITTED BUSINESS OR COMMERCIAL USES: 1 SPACE FOR EACH 350 SF OF GROSS LEASABLE FLOOR AREA (GLFA) (MINIMUM OF 3 SPACES)
- B. FAST FOOD ESTABLISHMENTS: 1 SPACE FOR EACH 90 SQ. FT. FLOOR AREA, OR A MINIMUM OF 10 SPACES, WHICHEVER IS GREATER
- B. LUNCHROOMS, RESTAURANTS, TAVERNS, ETC.: 1 SPACE FOR EACH 3 PERSONS OF TOTAL CAPACITY EXCEPT COMMERCIAL HIGHWAY (CH), WHERE IT SHALL BE 1 SPACE FOR EACH 4 PERSONS OF TOTAL CAPACITY

UNIT 1 (PROPOSED COMPASSION CENTER); RETAIL STORE:
PROPOSED GLFA: 6,095 SF
6,095 SF / 350 SF = 17.4 OR **18 SPACES**

UNIT 2 (TEMPAS):
TENANT: SUBWAY RESTAURANT; FAST FOOD
EXISTING FLOOR AREA: 900 SF (EST.)
900 SF / 90 SF = **10 SPACES**

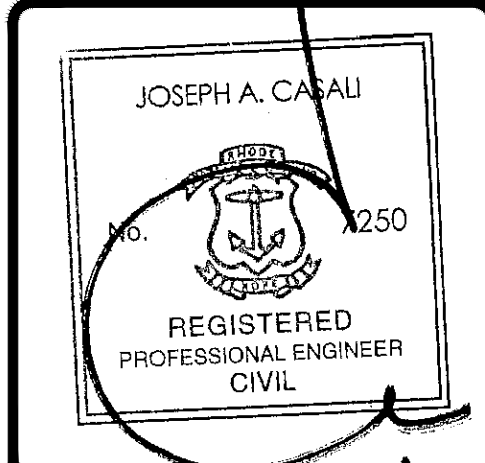
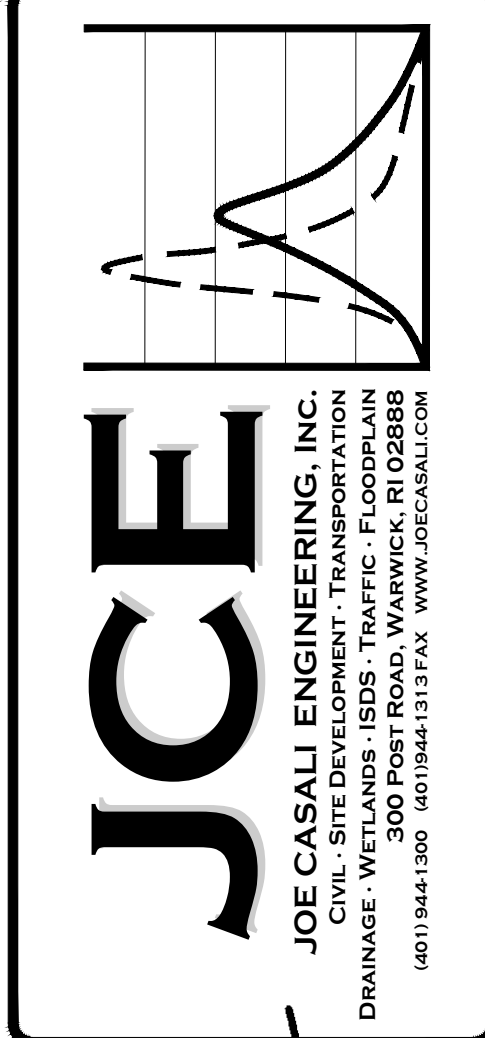
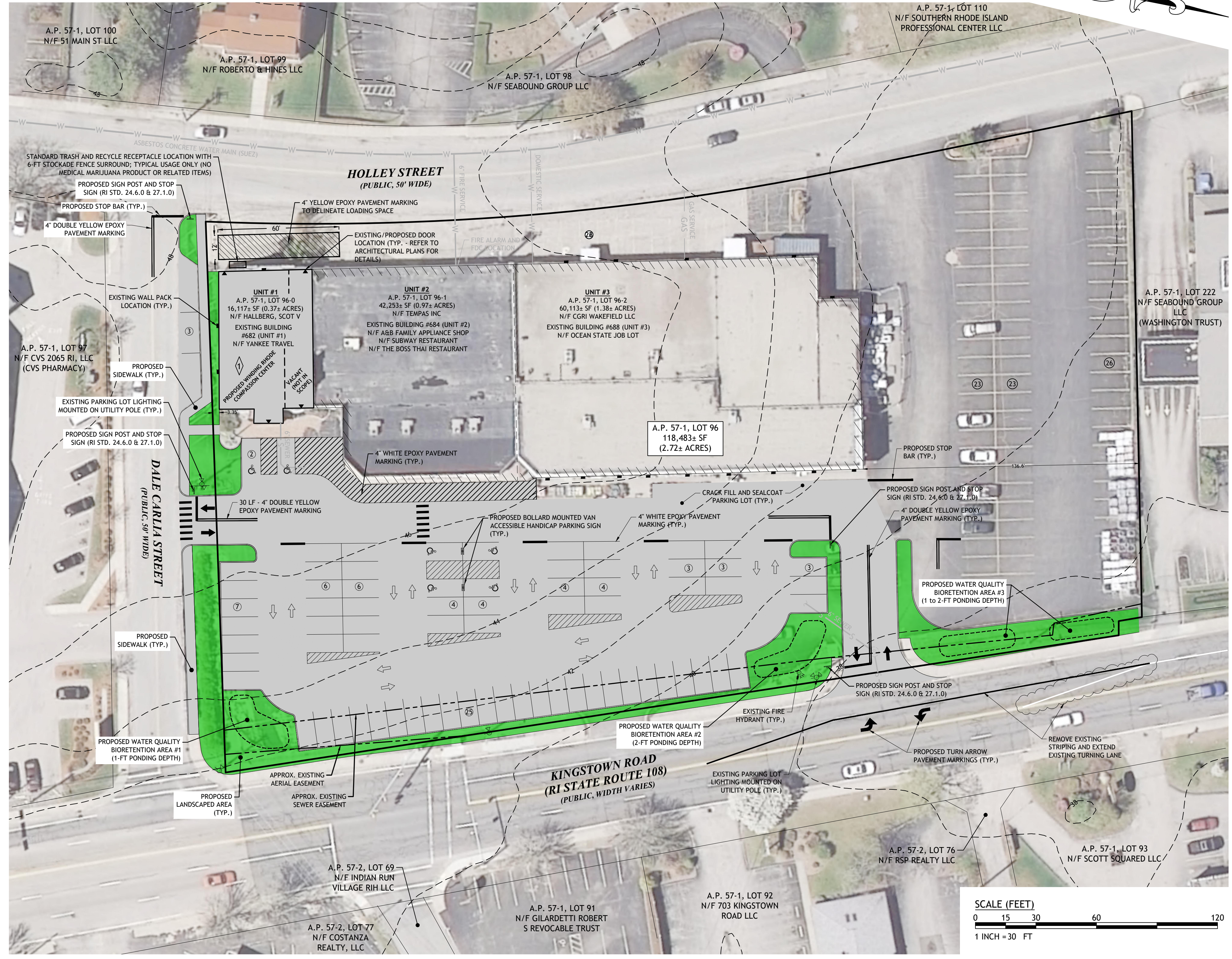
TENANT: BOSS RESTAURANT; RESTAURANT
EXISTING CAPACITY: 50 (EST.)
50 CUSTOMERS / 4 PER SPACE = 12.5 OR **13 SPACES**

TENANT: A&B FAMILY APPLIANCES
EXISTING GLFA: 9,215 SF (EST.)
9,215 SF / 350 SF = 26.3 OR **26 SPACES**

UNIT 3 (OCEAN STATE JOB LOT):
EXISTING GLFA: 27,632 SF
27,632 SF / 350 SF = 78.9 OR **79 SPACES**

REQUIRED: 146 SPACES (5 ADA)
OVERALL EXISTING: 162 SPACES (2 ADA)
OVERALL PROPOSED: 165 SPACES (6 ADA)

NOTE: PARKING CALCULATION EXCLUDES PARKING ON DALE CARLIA STREET



**THE WINDING RHODE
COMPASSION CENTER
682 KINGSTOWN ROAD, UNIT #1
SOUTH KINGSTOWN, RHODE ISLAND
AP 57-1, LOT 96-0**

REVISIONS:

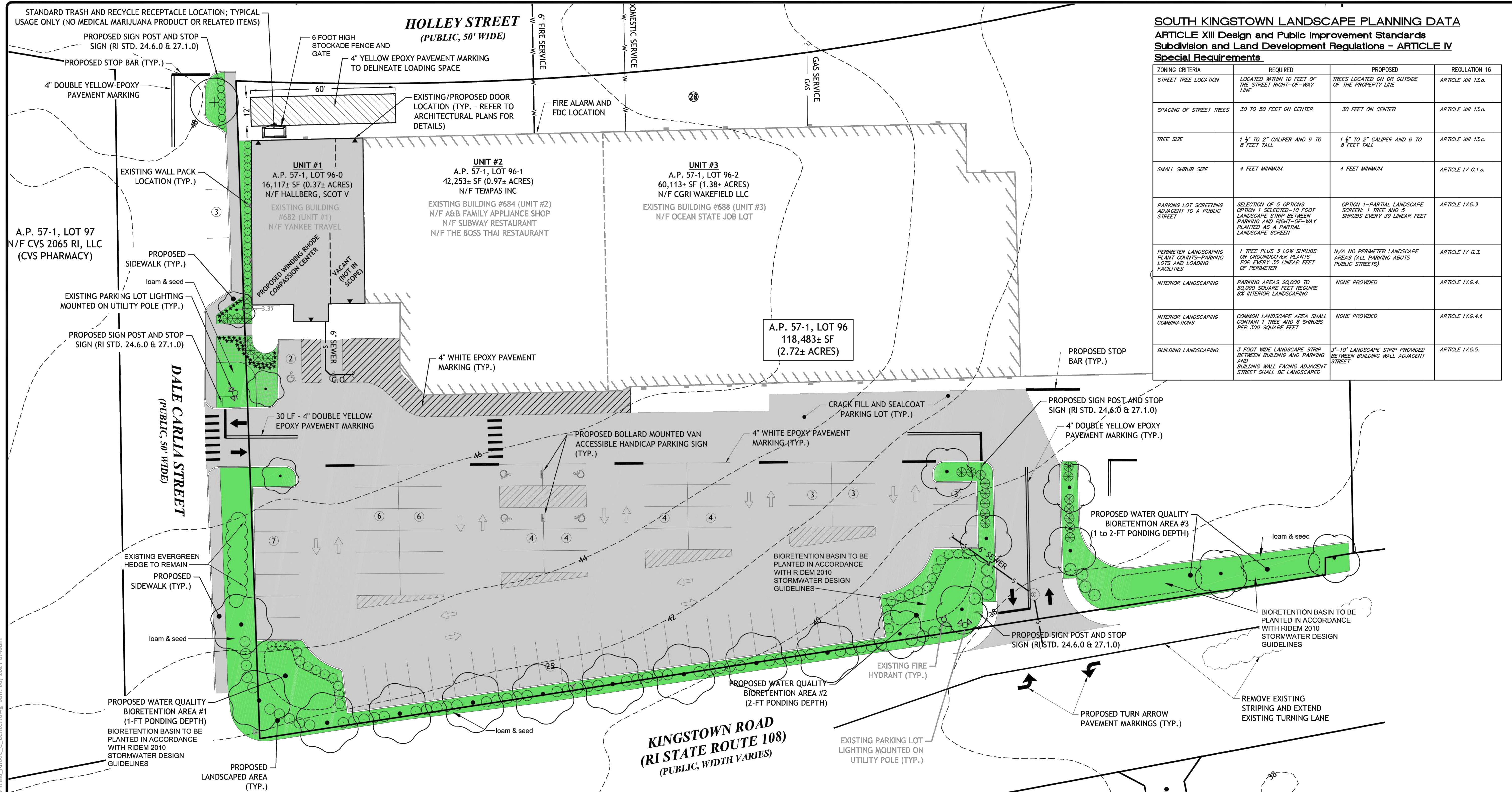
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DESIGNED BY: DRD
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CHECKED BY: JAC
DATE: NOV. 2020
PROJECT NO: 20-346

PRELIMINARY, NOT FOR CONSTRUCTION

SITE PLAN

SHEET C2.0



SOUTH KINGSTOWN LANDSCAPE PLANNING DATA
ARTICLE XIII Design and Public Improvement Standards
Subdivision and Land Development Regulations - ARTICLE IV
Special Requirements

| ZONING CRITERIA | REQUIRED | PROPOSED | REGULATION 16 |
|--|--|---|--------------------|
| STREET TREE LOCATION | LOCATED WITHIN 10 FEET OF THE STREET RIGHT-OF-WAY LINE | TREES LOCATED ON OR OUTSIDE OF THE PROPERTY LINE | ARTICLE XIII 1.3.a |
| SPACING OF STREET TREES | 30 TO 50 FEET ON CENTER | 30 FEET ON CENTER | ARTICLE XIII 1.3.a |
| TREE SIZE | 1 1/2" TO 2" CALIPER AND 6 TO 8 FEET TALL | 1 1/2" TO 2" CALIPER AND 6 TO 8 FEET TALL | ARTICLE XIII 1.3.c |
| SMALL SHRUB SIZE | 4 FEET MINIMUM | 4 FEET MINIMUM | ARTICLE IV G.1.c |
| PARKING LOT SCREENING ADJACENT TO A PUBLIC STREET | SELECTION OF 5 OPTIONS: OPTION 1 SELECTED-10 FOOT LANDSCAPE STRIP BETWEEN PARKING AND RIGHT-OF-WAY PLANTED AS A PARTIAL LANDSCAPE SCREEN | OPTION 1-PARTIAL LANDSCAPE SCREEN- 1 TREE AND 5 SHRUBS EVERY 30 LINEAR FEET | ARTICLE IV.G.3 |
| PERIMETER LANDSCAPING PLANT COUNTS-PARKING LOTS AND LOADING FACILITIES | 1 TREE PLUS 3 LOW SHRUBS OR GROUNDCOVER PLANTS FOR EVERY 35 LINEAR FEET OF PERIMETER | N/A NO PERIMETER LANDSCAPE AREAS (ALL PARKING ADJUTS PUBLIC STREETS) | ARTICLE IV G.3 |
| INTERIOR LANDSCAPING | PARKING AREAS 20,000 TO 50,000 SQUARE FEET REQUIRE 8% INTERIOR LANDSCAPING | NONE PROVIDED | ARTICLE IV.G.4 |
| INTERIOR LANDSCAPING COMBINATIONS | COMMON LANDSCAPE AREA SHALL CONTAIN 1 TREE AND 6 SHRUBS PER 300 SQUARE FEET | NONE PROVIDED | ARTICLE IV.G.4.1 |
| BUILDING LANDSCAPING | 3 FOOT WIDE LANDSCAPE STRIP BETWEEN BUILDING AND PARKING AND BUILDING WALL FACING ADJACENT STREET SHALL BE LANDSCAPED | 3'-10" LANDSCAPE STRIP PROVIDED BETWEEN BUILDING WALL ADJACENT STREET | ARTICLE IV.G.5 |

CONCEPTUAL LANDSCAPE PLAN
 1"=30'

PLANT SCHEDULE

| DECIDUOUS TREES | CODE | QTY | BOTANICAL / COMMON NAME | B&B | CALIPER |
|-----------------|------|--|-------------------------|----------|----------|
| AA | 8 | Acer rubrum 'Armstrong' / Armstrong Red Maple | 6'-8" STD. | B & B | 2"Cal |
| GB | 1 | Ginkgo biloba 'Princeton Sentry' / Princeton Sentry Ginkgo Male trees only; 6'-8" STD. | | B & B | 2.5"Cal |
| GSM | 10 | Gleditsia triacanthos 'Shademaster' TM / Shademaster Locust | 6'-8" STD. | B & B | 2"Cal |
| FLOWERING TREES | CODE | QTY | BOTANICAL / COMMON NAME | B&B | CALIPER |
| SI | 3 | Syringa reticulata 'Ivory Silk' / Ivory Silk Japanese Tree Lilac | | B & B | 2"Cal |
| SHRUBS | CODE | QTY | BOTANICAL / COMMON NAME | CONT/B&B | SIZE |
| BMWG | 28 | Buxus microphylla 'Winter Gem' / Winter Gem Boxwood | | | 5 gal |
| FG2 | 26 | Fothergilla gardenii / Dwarf Fothergilla | | | 2 gal |
| HM2 | 24 | Hydrangea macrophylla 'Nikko Blue' / Nikko Blue Hydrangea | | | 3 gal |
| IGD2 | 50 | Ilex glabra 'Densa' / Inkberry Holly | | | 3 gal |
| PERENNIALS | CODE | QTY | BOTANICAL / COMMON NAME | CONT/B&B | SIZE |
| HO4 | 38 | Hemerocallis x 'Stella de Oro' / Stella de Oro Daylily | | | 1 gal |
| GROUND COVERS | CODE | QTY | BOTANICAL / COMMON NAME | CONT | SPACING |
| VC2 | 139 | Vinca minor / Common Periwinkle | | 1 gal | 18" o.c. |

NOTE: PROVIDE ROOT BARRIER APPARATUS FOR TREES ADJACENT TO SIDEWALKS

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 CIVIL, SITE DEVELOPMENT, TRANSPORTATION
 1505 W. MAIN STREET, SUITE 100
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 (401) 844-1300 (401) 919-1113 FAX WWW.JCEONLINE.COM



THE WINDING RHODE
COMPASSION CENTER
682 KINGSTOWN ROAD, UNIT #1
SOUTH KINGSTOWN, RHODE ISLAND
AP 57-1, LOT 96-0

REVISIONS:

| NO. | DATE | DESCRIPTION |
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DESIGNED BY: DCS
 DRAWN BY: DCS
 CHECKED BY: DCS
 DATE: OCTOBER 2020
 PROJECT NO: 20-34b

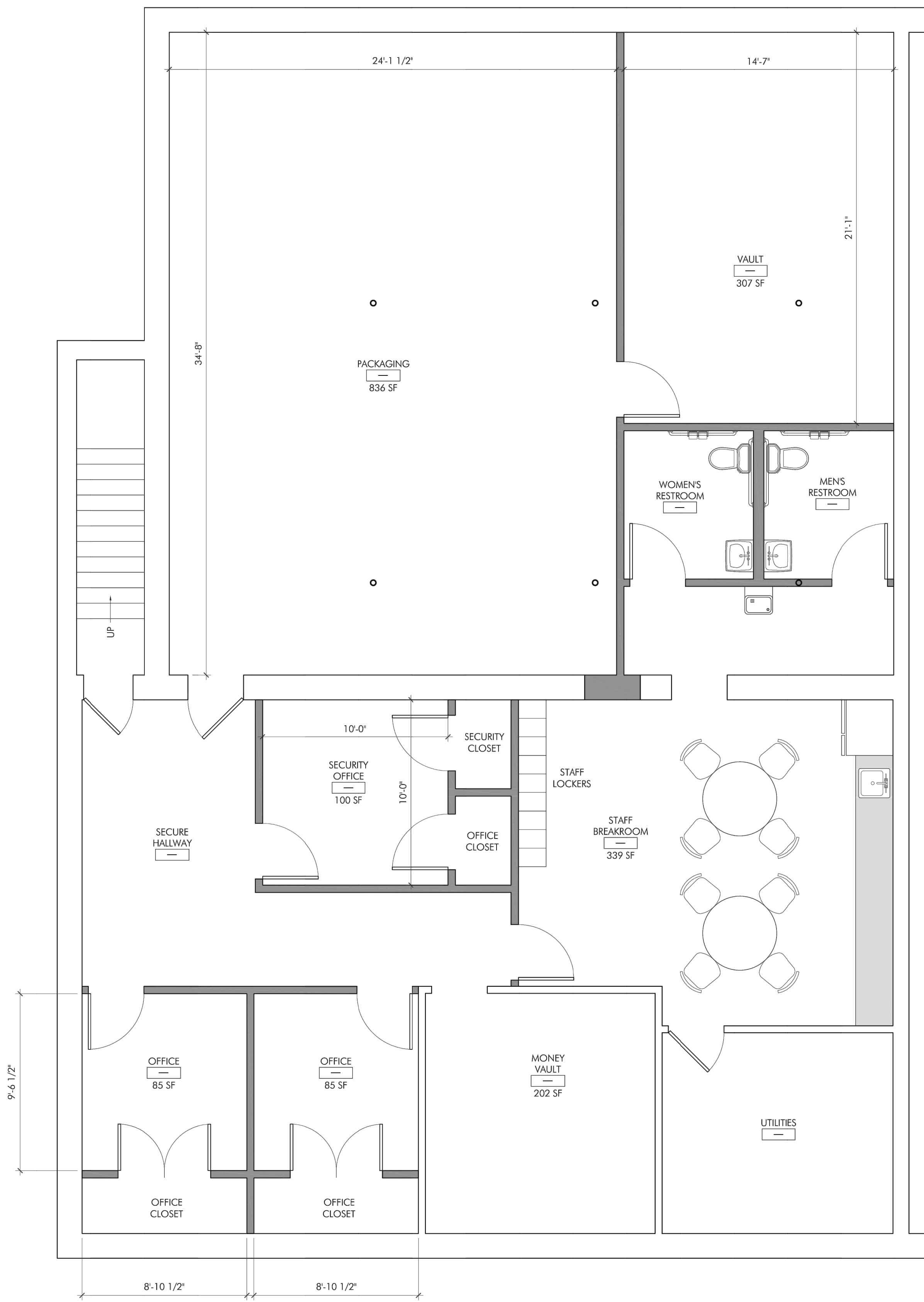
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LANDSCAPE PLAN

SHEET L1.0

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 Landscape Architecture
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 Smithfield, Rhode Island 02917
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 401.231.0736
 email: diane@dcsa.us

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PROPOSED BASEMENT PLAN
SCALE: 1/4" = 1'-0"



PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN LEGEND

- EXISTING WALL TO REMAIN
- NEW WALL
- EXISTING DOOR TO REMAIN
- NEW DOOR
- NOT IN SCOPE

PROJECT:
THE WINDING RHODE
COMPASSION CENTER
682 KINGSTOWN ROAD
WAKEFIELD, RI 02879

PROJECT NUMBER: 20186

DENNIS COLWELL ARCHITECTS
 132 CENTRAL STREET, SUITE 203, FOXBOROUGH, MA 02035
 P. 508-241-2122 F. 508-455-4466 WWW.DC-ARCHITECT.COM

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| ISSUE: | DATE: |
| PRELIMINARY | 09.25.2020 |

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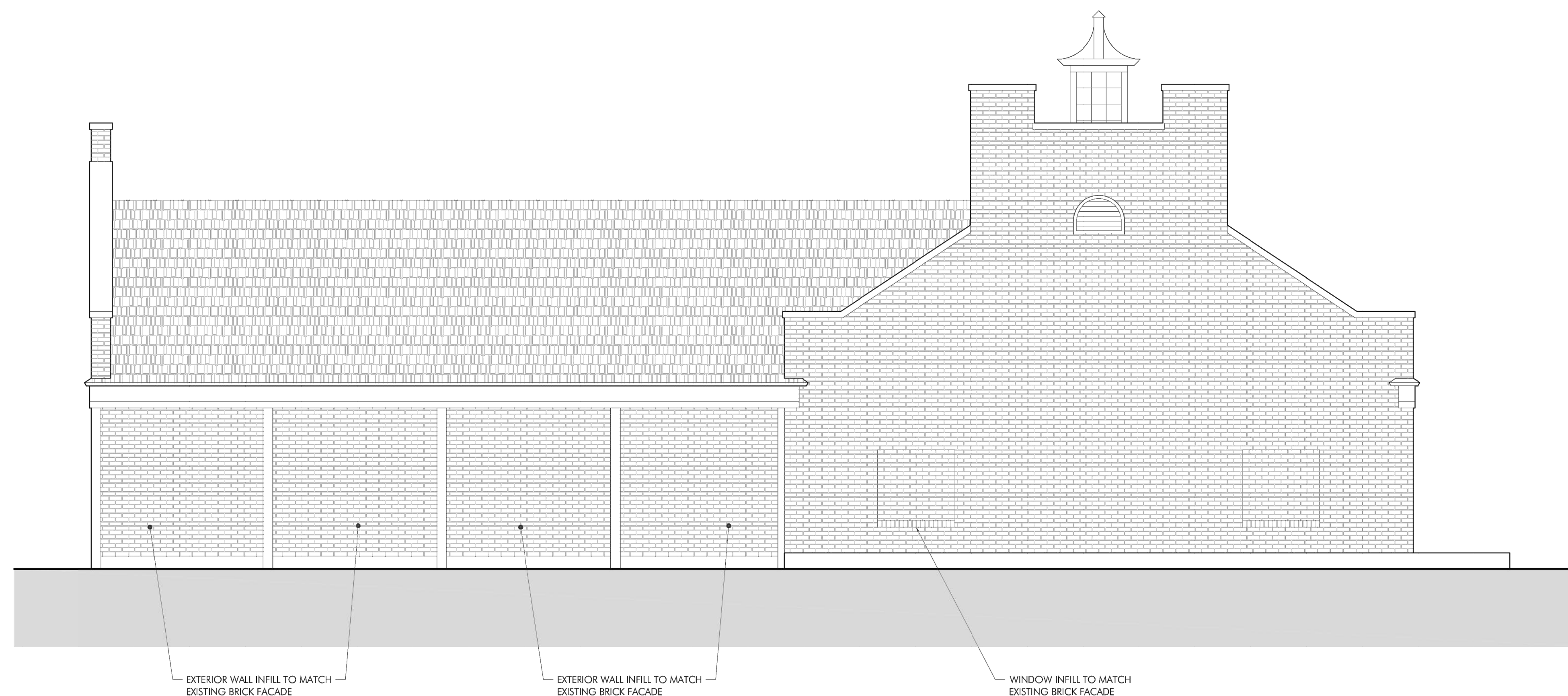
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PROJECT:
 THE WINDING RHODE
 COMPASSION CENTER
 682 KINGSTOWN ROAD
 WAKEFIELD, RI 02879

PROJECT NUMBER: 20186



1 FRONT EXTERIOR ELEVATION
 SCALE: 1/4" = 1'-0"



2 SIDE EXTERIOR ELEVATION
 SCALE: 1/4" = 1'-0"

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| PRELIMINARY | 09.24.2020 |

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DRAWN BY: C.J.G. CHECKED BY: D.M.C.

DRAWING TITLE:
 BUILDING ELEVATIONS

DRAWING NUMBER:

A2.0