

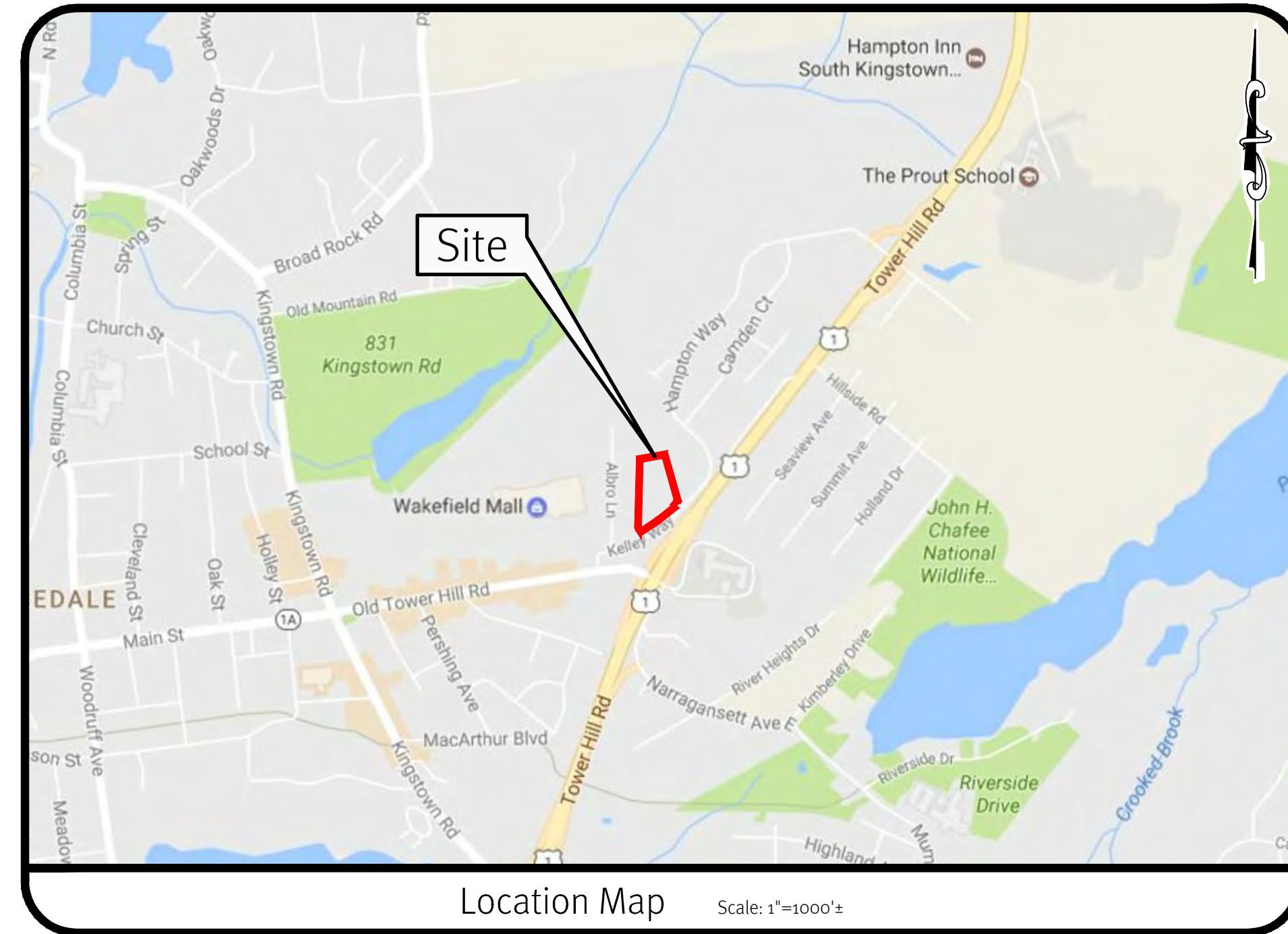
Master Plan Submission

Hillside Commons

Kelley Way

South Kingstown, Rhode Island

Assessor's Plat 57-2 Lot 59

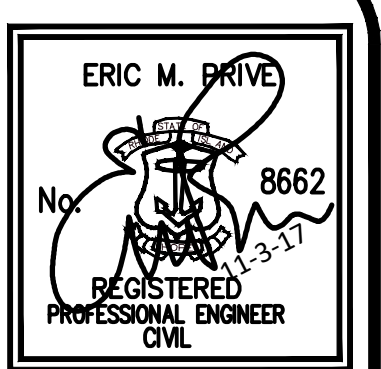


Sheet Index

1. Cover Sheet
2. Aerial 1/2 Mile Radius and USGS Map
3. Existing Conditions Plan
4. Site Plan

Landscape Plans

1. Landscape Plan
2. Entrance Detail & Typical Planting Plan
3. Planting Notes & Details



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 The contractor is responsible for all of the means, methods, safety precautions and requirements, and OSHA compliance in the implementation of this plan and design.

Rev.	Date	Description	By	Design By: E.M.P.
2	11/2/2017	Master Plan Resubmission	M.S.C.	
1	10/2/2017	Master Plan Submission	S.E.H.	
0	3/30/2017	Pre-Submittal Submission	J.A.R.	
1/0				

Drawn By: J.A.R.

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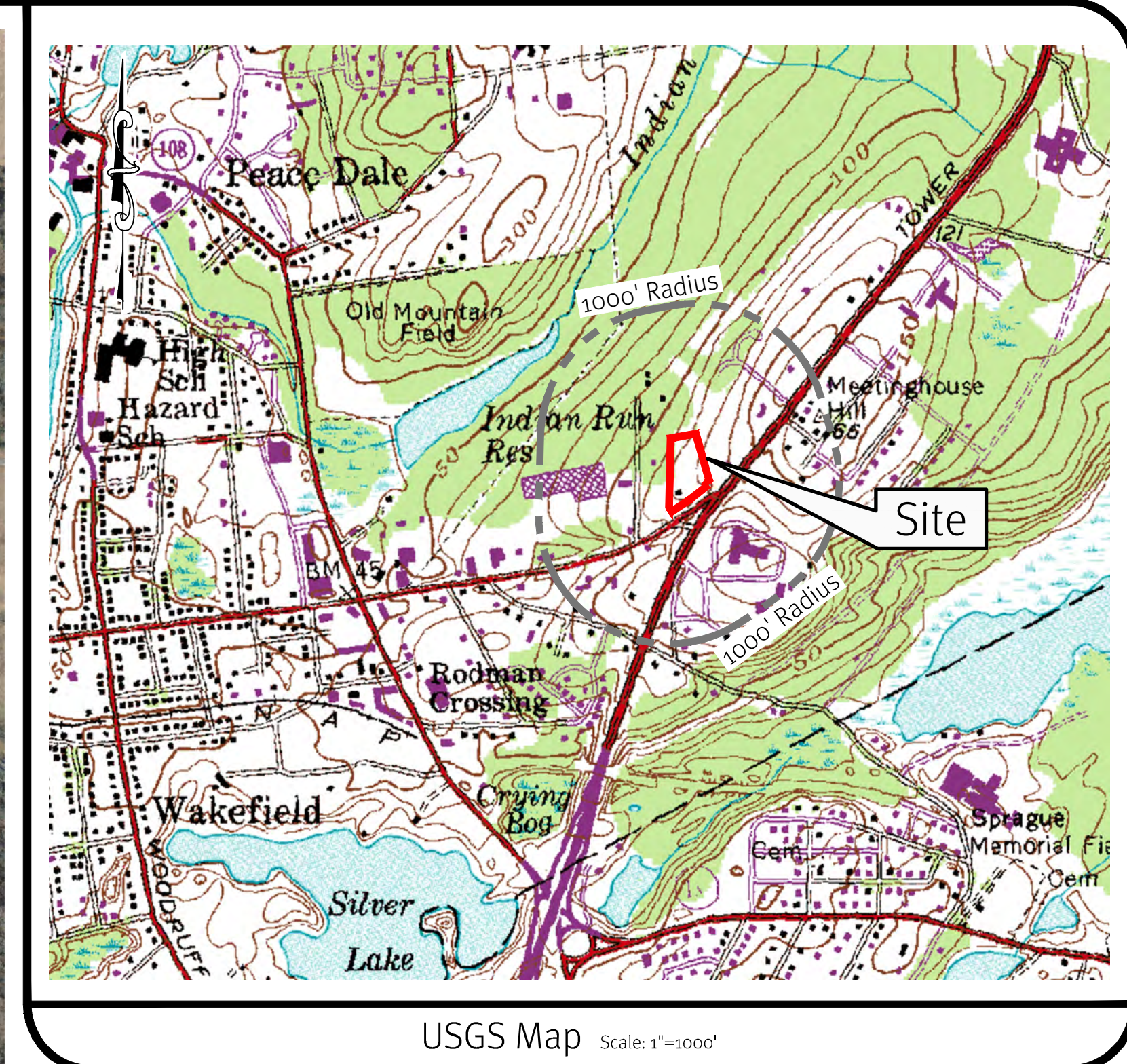
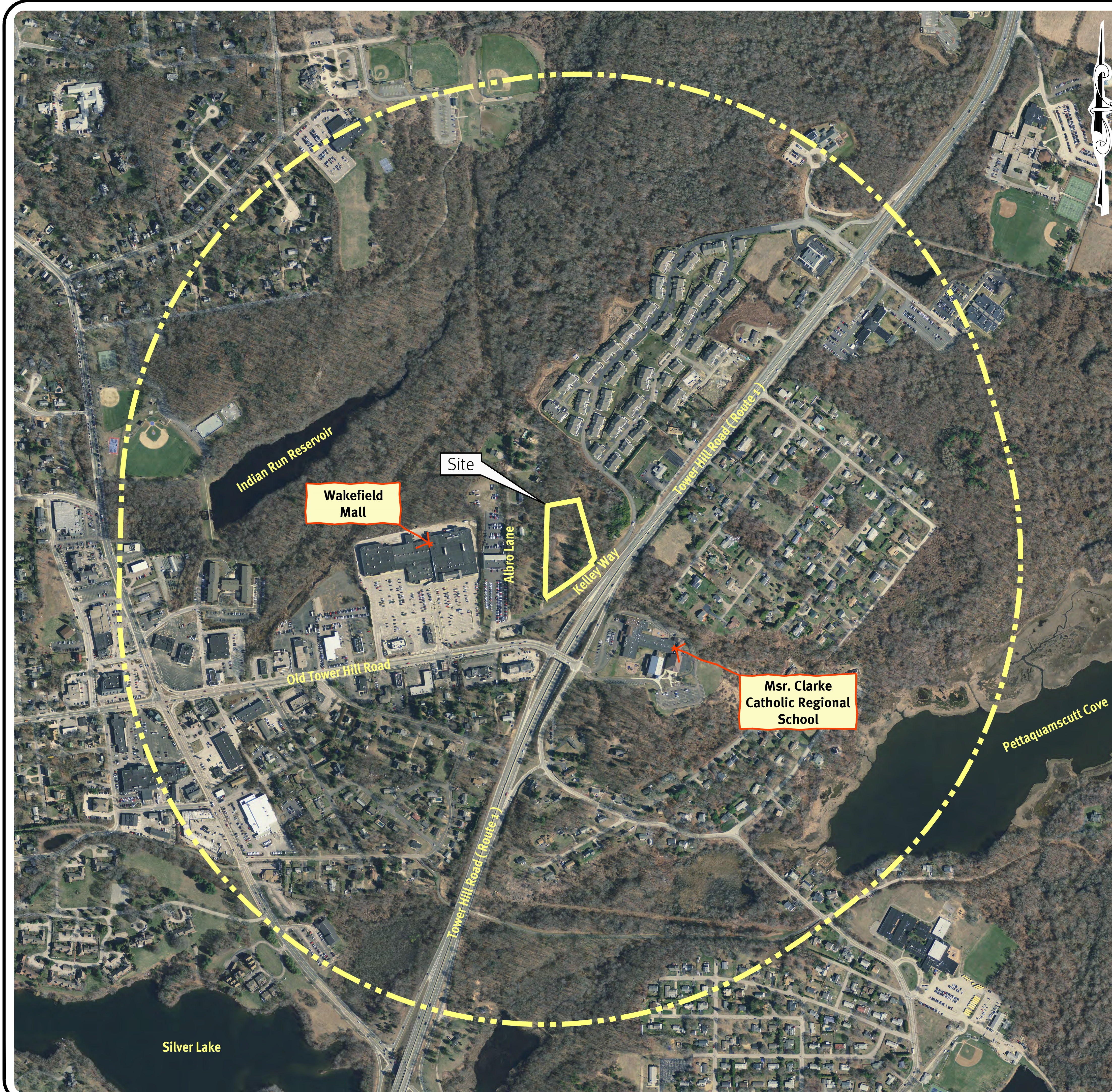
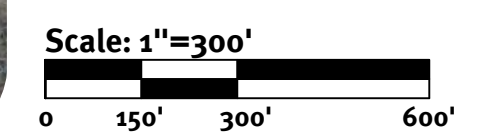


Photo obtained from the RI-GIS.

- Legend:**
- PROPERTY LINE
 - HALF MILE RADIUS LINE
 - 1000' USGS RADIUS LINE



DiPrete Engineering
 Two Stafford Court Cranston, RI 02920
 tel 401-943-1000 fax 401-641-6006 www.diprete-eng.com

Boston • Providence • Newport

ERIC M. PRIVE
 No. 8662
 REGISTERED PROFESSIONAL ENGINEER CIVIL

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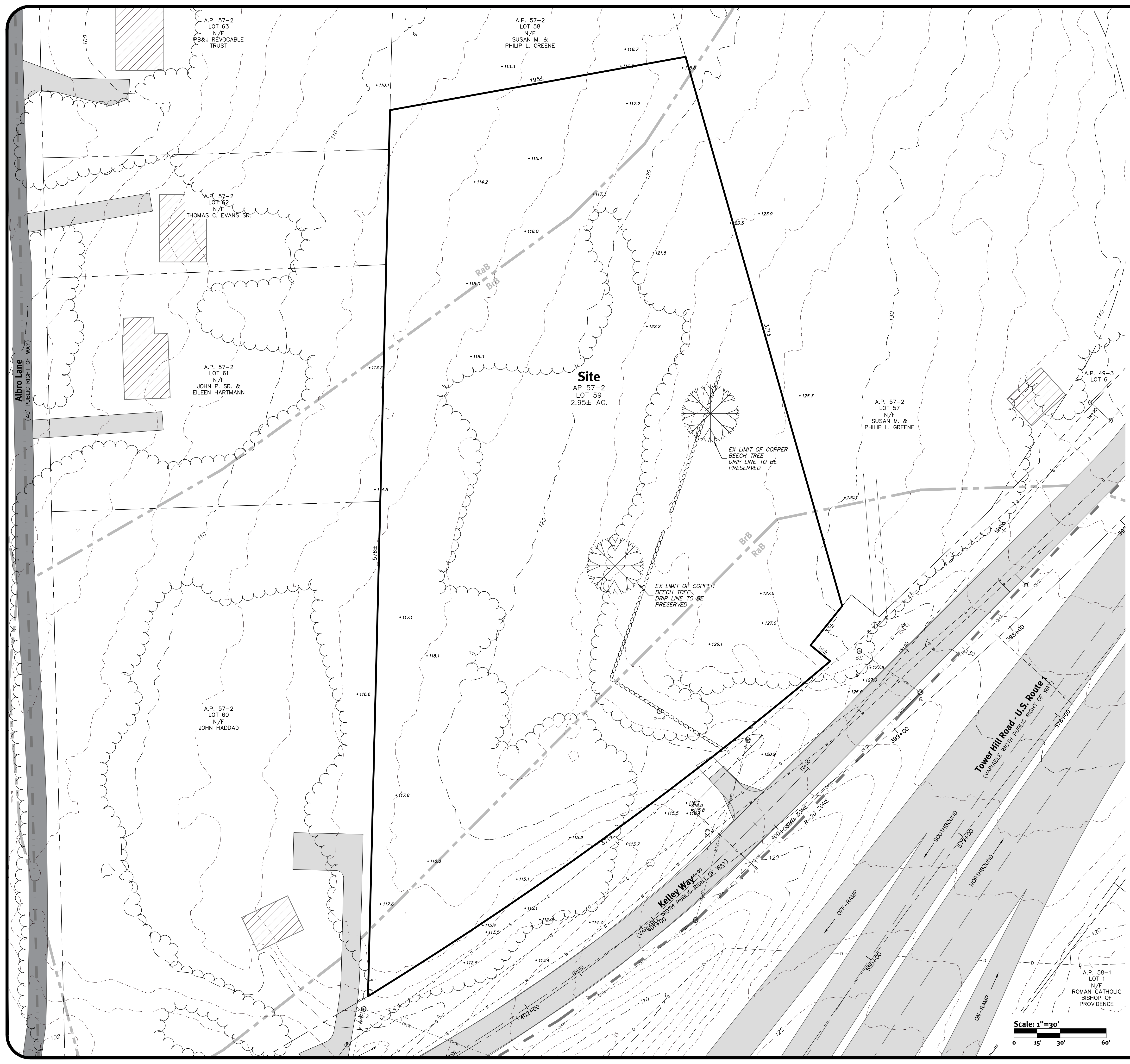
Rev.	Date	Description	By	Design By: E.M.P.
2	11/2/2017	Master Plan Resubmission	M.S.C.	
1	10/2/2017	Master Plan Submission	S.E.H.	
0	3/30/2017	Pre-Submittal Submission	J.A.R.	

Drawn By: J.A.R.

Aerial 1/2 Mile Radius and USGS Map
Hillside Commons
 Assessors Plat 57-3 Lot 59
 South Kingstown, Rhode Island
 Applicant
Scot V. Hallberg
 57 Edgewood Farm Road
 Wakefield, RI 02879

DE Job No: 1864-003-801 Copyright 2017 by DiPrete Engineering Associates, Inc.

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General Notes:

- THE SITE IS LOCATED ON THE TOWN OF SOUTH KINGSTOWN, RHODE ISLAND ASSESSOR'S PLAT 57-2 LOT 59.
- THE SITE IS APPROXIMATELY 2.95± ACRES AND IS ZONED SMD.
- THE OWNER OF AP 57-2 LOT 59 IS: SCOT V HALLBERG
235 MAIN ST
WAKEFIELD, RI 02879
- THIS SITE IS LOCATED IN FEMA FLOOD ZONES X AREA OF MINIMAL FLOOD HAZARD. REFERENCE FEMA FLOOD INSURANCE RATE MAP 44009C0203J, MAP REVISED OCTOBER 16, 2013.
- SOIL MAPPING OBTAINED FROM SOIL SURVEY OF RHODE ISLAND, PREPARED BY U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE.
- THE SITE IS NOT WITHIN A:
GROUNDWATER PROTECTION AREA (RIDEM)
NATURAL HERITAGE AREAS (RIDEM)
NARROW RIVER SPECIAL AREA MANAGEMENT PLAN (GRMC)
SALT PONDS SPECIAL AREA MANAGEMENT PLAN (CRMC)
GROUNDWATER PROTECTION OVERLAY DISTRICT (TOWN)
- THE SITE IS SERVED BY MUNICIPAL WATER, SEWER, NATURAL GAS AND OVERHEAD UTILITIES.

Datum Note:

ELEVATIONS SHOWN HEREON, IN U.S. SURVEY FEET, ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), AS DETERMINED BY DIPRETE ENGINEERING USING REAL TIME KINEMATIC G.P.S. OBSERVATIONS.

Dimensional Regulations:

CURRENT ZONING: SMD
ROUTE 1 SPECIAL
MANAGEMENT DISTRICT (Sec. 605)
USE: FDRP
(FLEXIBLE DESIGN RESIDENTIAL PROJECT)
MINIMUM LOT AREA: 20,000 SF

AS PER THE FDRP AND INCLUSIONARY REGULATION, THIS LAYOUT HAS BEEN DESIGNED WITH FLEXIBLE DIMENSIONAL REGULATIONS IN ORDER TO MAXIMIZE SUITABLE OPEN SPACE AREAS AND INCLUDE AFFORDABLE UNITS INTO THE DESIGN.

Abbreviations:

EXISTING EX
PROPOSED PR
ASSESSOR'S PLAT AP
NOW OR FORMERLY N/F

Existing Conditions Legend:

- EX MAJOR FOOT CONTOUR ——— 160 ———
- EX MINOR FOOT CONTOUR ——— 158 ———
- ZONING BOUNDARY ——— ZONE X ———
- FEMA BOUNDARY ——— FEMA ZONE X ———
- SOIL LINE AND DESIGNATION ——— HkC ———
- PROPERTY LINE ——— CaD ———
- ASSESSOR LINE ———
- SETBACK ———
- STREAM ———
- WETLAND EDGE ———
- 50' PERIMETER WETLAND ——— 50' PERIMETER WETLAND ———
- WETLAND FLAG ▲ 4.5
- EDGE OF PAVEMENT ———
- ASPHALT PAVEMENT ———
- STONE WALL ———
- BUILDING ———
- TREELINE ———
- OVERHEAD WIRES ——— OHW ———
- GAS LINE ——— G ———
- WATER LINE ——— W ———
- SEWER LINE ——— S ———
- DRAIN LINE ——— D ———
- SEWER MANHOLE ⊙
- SEWER CLEANOUT ⊙
- DRAINAGE CATCH BASIN ⊙
- UTILITY POLE ⊙
- SOIL EVALUATION ⊙
- NAIL FOUND/SET ▲/△
- DRILL HOLE FOUND/SET ⊙/⊙
- IRON ROD/PIPE FOUND/SET ⊙/⊙
- BOUND FOUND/SET ■/□

Soil Information:

(REFERENCE: SOIL SURVEY OF RHODE ISLAND, U.S.D.A. SOIL CONSERVATION SERVICE)
SOIL NAME DESCRIPTION

- BrB BROADBROOK SILT LOAM, 3 TO 8 PERCENT SLOPES
- RoB RAINBOW SILT LOAM, 3 TO 8 PERCENT SLOPES

Diprete Engineering
Two Stafford Court Cranston, RI 02920
tel 401-943-1000 fax 401-641-6006 www.diprete-eng.com

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ERIC M. PRIVE
No. 8662
REGISTERED PROFESSIONAL ENGINEER CIVIL

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NO.	DATE	DESCRIPTION	BY
2	11-2-2017	Master Plan Resubmission	JAR
1	10-2-2017	Master Plan Submission	JAR
0	3-20-2017	Pre-Submittal Submission	JAR

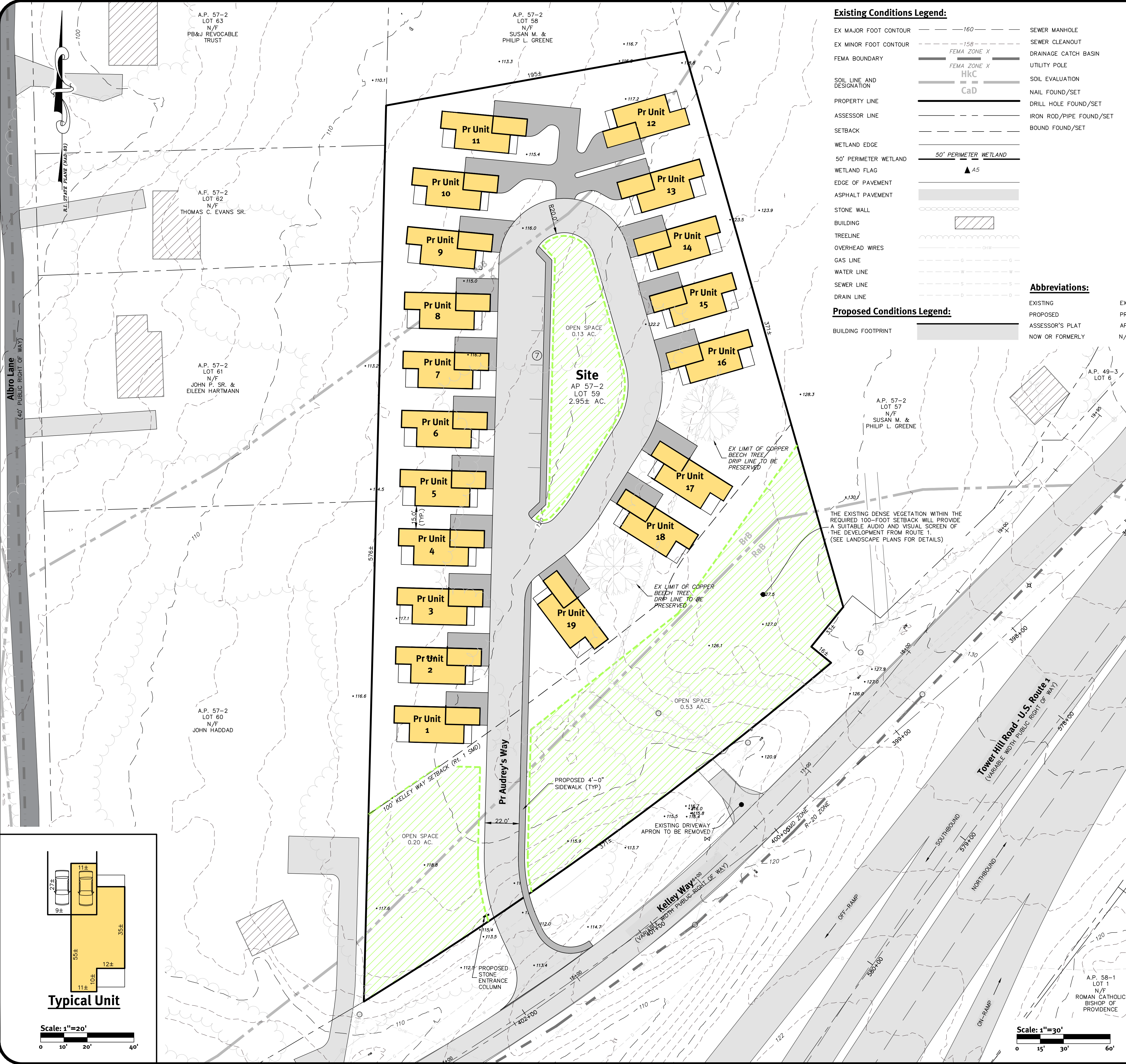
Drawn By: J.A.R. Design By: E.M.P.

Existing Conditions Plan
Hillside Commons
Assessor's Plat 57-2 Lot 59
South Kingstown, Rhode Island

Scot V. Hallberg
57 Edgewood Farm Road
Wakefield, RI 02879

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- Existing Conditions Legend:**
- EX MAJOR FOOT CONTOUR ——— 160 ———
 - EX MINOR FOOT CONTOUR ——— 158 ———
 - FEMA BOUNDARY ——— FEMA ZONE X ———
 - SOIL LINE AND DESIGNATION ——— FEMA ZONE X HkC ———
 - PROPERTY LINE ——— CaD ———
 - ASSESSOR LINE ———
 - SETBACK ———
 - WETLAND EDGE ———
 - 50' PERIMETER WETLAND ——— 50' PERIMETER WETLAND ———
 - WETLAND FLAG ——— ▲ 45 ———
 - EDGE OF PAVEMENT ———
 - ASPHALT PAVEMENT ———
 - STONE WALL ———
 - BUILDING ———
 - TREELINE ———
 - OVERHEAD WIRES ———
 - GAS LINE ———
 - WATER LINE ———
 - SEWER LINE ———
 - DRAIN LINE ———
 - SEWER MANHOLE ———
 - SEWER CLEANOUT ———
 - DRAINAGE CATCH BASIN ———
 - UTILITY POLE ———
 - SOIL EVALUATION ———
 - NAIL FOUND/SET ———
 - DRILL HOLE FOUND/SET ———
 - IRON ROD/PIPE FOUND/SET ———
 - BOUND FOUND/SET ———
- Proposed Conditions Legend:**
- BUILDING FOOTPRINT ———
- Abbreviations:**
- | | |
|-----------------|-----|
| EXISTING | EX |
| PROPOSED | PR |
| ASSESSOR'S PLAT | AP |
| NOW OR FORMERLY | N/F |

- General Notes:**
- THE SITE IS LOCATED ON THE TOWN OF SOUTH KINGSTOWN, RHODE ISLAND ASSESSOR'S PLAT 57-2 LOT 59.
 - THE SITE IS APPROXIMATELY 2.95± ACRES AND IS ZONED SMD.
 - THE OWNER OF AP 57-2 LOT 59 IS: SCOT V HALLBERG, 235 MAIN ST, WAKEFIELD, RI 02879.
 - THIS SITE IS LOCATED IN FEMA FLOOD ZONES X AREA OF MINIMAL FLOOD HAZARD. REFERENCE FEMA FLOOD INSURANCE RATE MAP #40090203J, MAP REVISED OCTOBER 16, 2013.
 - SOIL MAPPING OBTAINED FROM SOIL SURVEY OF RHODE ISLAND, PREPARED BY U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE.
 - THE SITE IS NOT WITHIN A: GROUNDWATER PROTECTION AREA (RIDEM), NATURAL HERITAGE AREAS (RIDEM), NARROW RIVER SPECIAL AREA MANAGEMENT PLAN (CRMC), SALT PONDS SPECIAL AREA MANAGEMENT PLAN (CRMC), GROUNDWATER PROTECTION OVERLAY DISTRICT (TOWN).
 - THE SITE IS PROPOSED TO BE SERVICED BY MUNICIPAL WATER, SEWER, NATURAL GAS AND UNDERGROUND UTILITIES.
 - THE DRAINAGE SYSTEM WILL BE DESIGNED TO THE TOWN OF SOUTH KINGSTOWN SUBDIVISION AND LAND DEVELOPMENT REGULATIONS WITH THE USE OF LID'S/BMP'S AND UNDERGROUND INFILTRATION. THE STORMWATER MANAGEMENT SYSTEM WILL MEET THE RIDEM BEST MANAGEMENT PRACTICES.
 - THE PROJECT IS PROPOSED TO BE CONSTRUCTED IN 1 PHASE. CONSTRUCTION IS ANTICIPATED TO BEGIN IN FALL 2018.
 - NO COMMON REFUSE STORAGE, COLLECTION OR RECYCLING AREAS ARE PROPOSED. INDIVIDUAL UNITS ARE PROPOSED TO UTILIZE CURBSIDE ROLL OUT BINS.

Dimensional Regulations:

CURRENT ZONING:	SMD
USE:	ROUTE 1 SPECIAL MANAGEMENT DISTRICT (Sec. 605)
MINIMUM LOT AREA:	FDRP (FLEXIBLE DESIGN RESIDENTIAL PROJECT) 20,000 SF

AS PER THE FDRP AND INCLUSIONARY REGULATION, THIS LAYOUT HAS BEEN DESIGNED WITH FLEXIBLE DIMENSIONAL REGULATIONS IN ORDER TO MAXIMIZE SUITABLE OPEN SPACE AREAS AND INCLUDE AFFORDABLE UNITS INTO THE DESIGN.

Development Data:

RESIDENTIAL DENSITY CALCULATION:	5.0 UNITS / DEVELOPABLE ACRE
YIELD:	1.1 BONUS FOR FDRP (55 AND OLDER)
	1.2 BONUS FOR INCLUSIONARY ZONING
CALCULATION:	$((2.95 * 5) * 1.1) * 1.2 = 19.47$ UNITS
	= 19 UNITS (4 UNITS INCLUSIONARY)
TOTAL SITE AREA:	2.95± ACRES
TOTAL NUMBER OF UNITS:	19
LENGTH OF ROAD:	800'±
PAVEMENT WIDTH:	22'
OPEN SPACE CALCULATION:	
REQUIRED:	SMD: ROUTE 1 - 2.95 (0.15) = 0.44 AC.
PROVIDED:	0.2 + 0.53 + 0.13 = 0.86 AC.

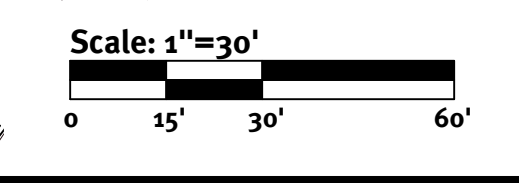
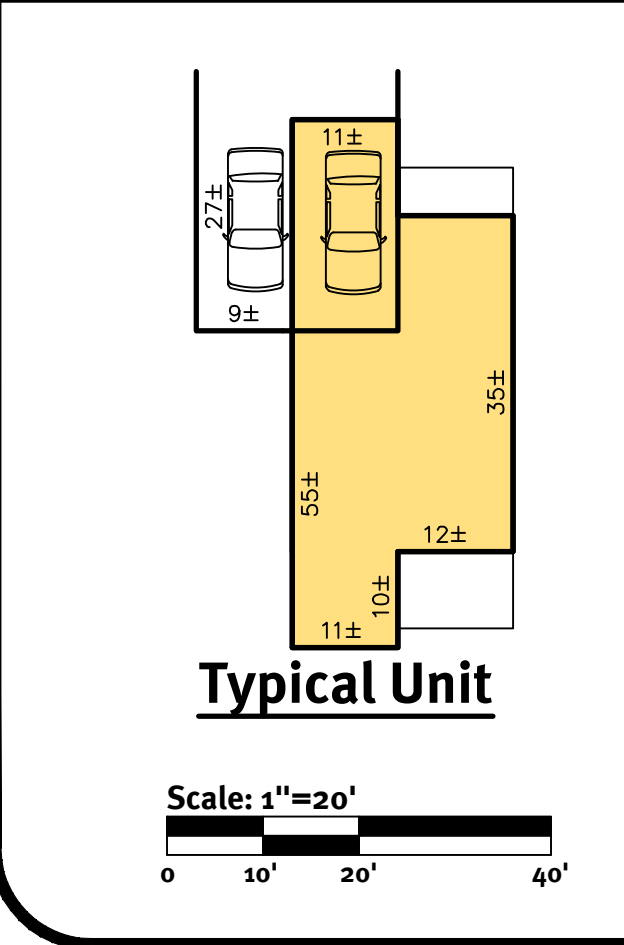
Parking Regulations:

PARKING USE:	RESIDENTIAL
PARKING REQUIREMENT:	2 SPACE PER UNIT
UNITS PROPOSED:	19 UNITS
PARKING CALCULATION:	19 * 2 = 38 SPACES
REQUIRED PARKING SPACES:	38 SPACES
PARKING SPACES PROVIDED:	45 SPACES

Certification Note:

THE EXISTING DATA COMPILED ON THIS CONCEPT/STUDY PLAN IS FROM EXISTING MAPS AND RECORDED DATA. DUE TO METHODS OF COMPILATION AND ACCURACY OF SOME MAPS USED TO COMPLETE THIS PLAN, THERE MAY BE SOME DEVIATIONS FROM SAID MAPS AND/OR DATA AND THIS PLAN. THERE ARE MANY FACTORS WHICH LEAD TO THIS, INCLUDING THE ACCURACY OF SAID MAPS AND DATA, AND KNOWN SITE FEATURES SUCH AS STONE WALLS, ROADWAYS, AND BUILDINGS. THESE DEVIATIONS ARE COMMON WHEN COMPILING MAPS AND DATA FROM VARIOUS SOURCES AND CANNOT BE AVOIDED WITHOUT AN ACTUAL FIELD SURVEY AND DEED RESEARCH. THIS PLAN IS TO BE UTILIZED FOR DISCUSSION PURPOSES ONLY.

THIS PLAN IS SUBSTANTIALLY CORRECT IN ACCORDANCE WITH A CLASS IV STANDARD AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS. THIS PLAN IS NOT TO BE CONSTRUED AS AN ACCURATE BOUNDARY SURVEY AND MAY BE SUBJECT TO SUCH CHANGES AS AN ACCURATE BOUNDARY SURVEY MAY DISCLOSE.



DiPrete Engineering
 Two Stafford Court Cranston, RI 02920
 Tel: 401-943-1000 Fax: 401-641-6006 www.diprete-eng.com

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No.	Date	By	Description
2	11-22-2017	M.A.C.	Master Plan Resubmission
1	10-22-2017	S.L.H.	Master Plan Submission
0	3-20-2017	J.A.R.	Pre-Application Submission

Drawn By: J.A.R. Design By: E.M.P.

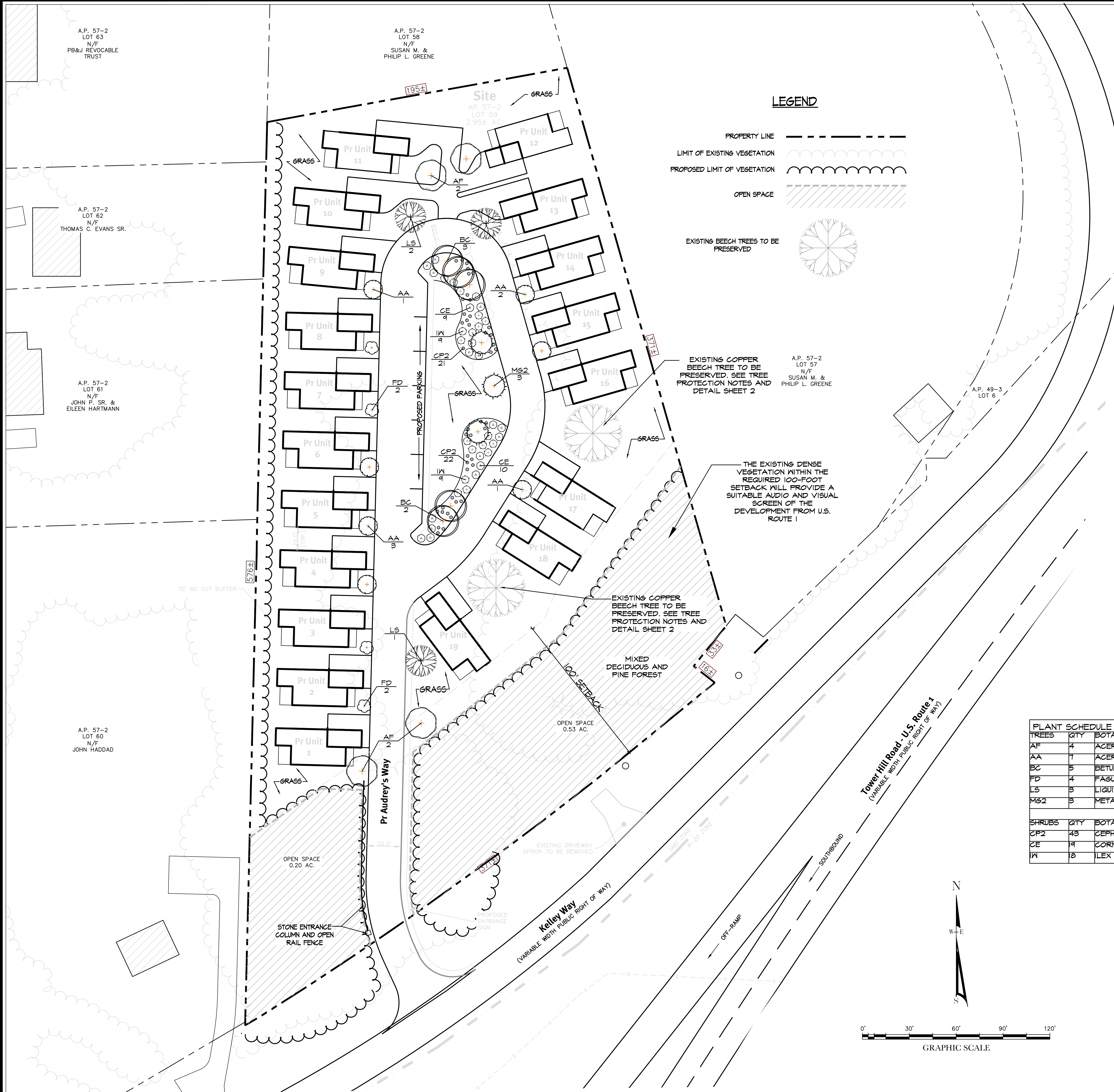
Site Plan
Hillside Commons
 Assessors Plat 57-2 Lot 59
 South Kingstown, Rhode Island

Scot V. Hallberg
 57 Edgewood Farm Road
 Wakefield, RI 02879

DE Job No. 1864-003-801. Copyright 2017 by DiPrete Engineering Associates, Inc.

SHEET **4** OF 4

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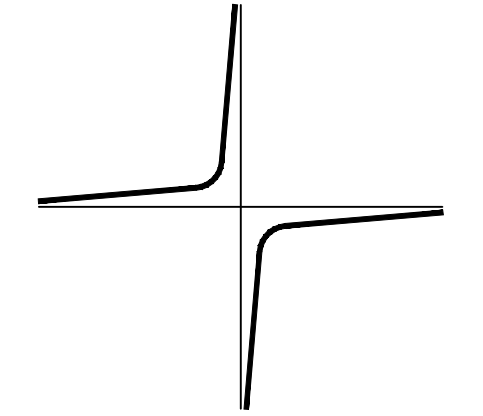
LEGEND

- PROPERTY LINE
- LIMIT OF EXISTING VEGETATION
- PROPOSED LIMIT OF VEGETATION
- OPEN SPACE
- EXISTING BEECH TREES TO BE PRESERVED

NOTES:

GENERAL:

1. THE EXISTING SITE INFORMATION WAS TAKEN FROM A PLAN PREPARED BY DIPRETE ENGINEERING, TITLED SITE PLAN, AT A SCALE OF 1" = 30', DATED MARCH 30, 2011 AND SITE OBSERVATIONS BY JOHN C. CARTER & COMPANY, INC.
2. ANY PROPERTY LINES DEPICTED ON THIS PLAN ARE PICTORIAL ONLY. THIS PLAN IS TO BE USED FOR THE SELECTION, LOCATION AND INSTALLATION OF PLANT MATERIALS ONLY AND IS NOT TO BE USED FOR ANY OTHER PURPOSE. ALL FOUNDATIONS, RETAINING WALLS AND DRAINAGE COMPONENTS SHALL BE STAKED OUT BY THE ENGINEER OR SURVEYOR.
3. WRITTEN DIMENSIONS AND SPECIFICATIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
4. THE LOCATION OF THE UTILITIES IF SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE LOCATION OF ALL UTILITIES BEFORE ANY EXCAVATION. DIG-SAFE SHALL BE CONTACTED AT LEAST 12 HOURS BEFORE EXCAVATION. DIG-SAFE CAN BE REACHED AT 1-800-344-7233.



JOHN C. CARTER & CO., INC.
 960 BOSTON NECK RD. NARRAGANSETT, RI
 (401) 783-3500
 LANDSCAPE ARCHITECTURE
 DESIGN & BUILD

LANDSCAPE PLAN
HILLSIDE COMMONS
 LOCATED AT:
 A.P. 57-2, LOT 59
 SOUTH KINGSTOWN, RHODE ISLAND

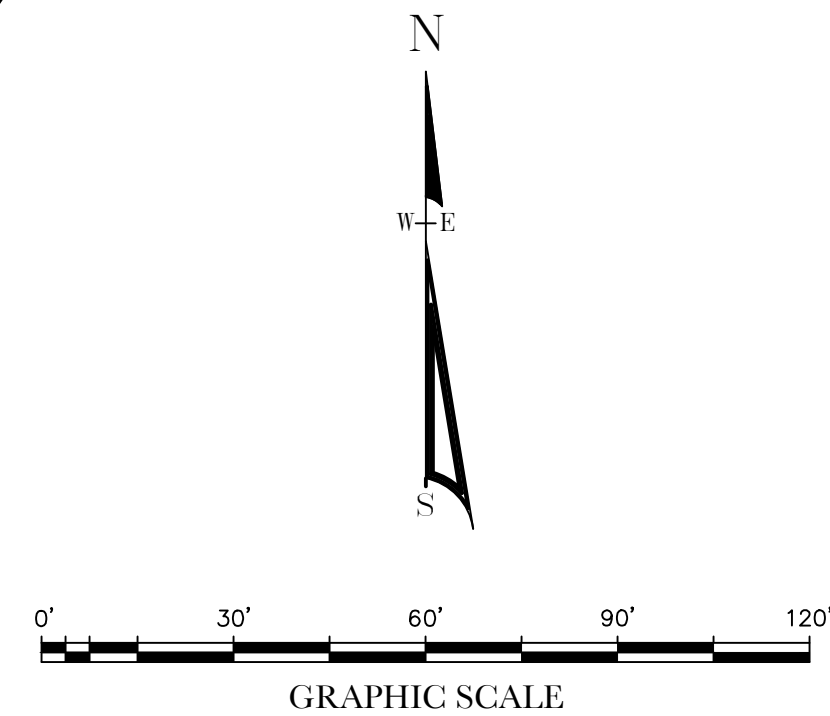
EXISTING COPPER BEECH TREE TO BE PRESERVED. SEE TREE PROTECTION NOTES AND DETAIL SHEET 2

THE EXISTING DENSE VEGETATION WITHIN THE REQUIRED 100-FOOT SETBACK WILL PROVIDE A SUITABLE AUDIO AND VISUAL SCREEN OF THE DEVELOPMENT FROM U.S. ROUTE 1

EXISTING COPPER BEECH TREE TO BE PRESERVED. SEE TREE PROTECTION NOTES AND DETAIL SHEET 2

MIXED DECIDUOUS AND PINE FOREST

PLANT SCHEDULE PLANTING				
TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE
AF	4	ACER RUBRUM 'FRANKSRED'™	RED SUNSET MAPLE	1.5-2" CAL.
AA	7	ACER X FREEMANII 'ARMSTRONG'	ARMSTRONG FREEMAN MAPLE	1.5-2" CAL.
BC	5	BETULA NIGRA 'CULLY'™	HERITAGE BIRCH	1.5-2" CAL.
FD	4	FAGUS SYLVATICA 'DANYGK PURPLE'	EUROPEAN BEECH	8-10' HT.
LS	3	LIQUIDAMBAR STYRACIFLUA	AMERICAN SWEET GUM	1.5-2" CAL.
M&2	3	METASEQUOIA GLYPTOSTROBILDES	DAWN REDWOOD	10-12' HT.
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE
CP2	43	CEPHALOTAXUS HARRINGTONIA PROSTRATA	PROSTRATE PLUM YEW	5 GAL
CE	1	CORNUS ALBA 'ELEGANTISSIMA'	SILVEREDGE DOGWOOD	24-36" HT.
W	3	ILEX VERTICILLATA 'WINTER RED'	WINTER RED HOLLY	24-36" HT.



REVISIONS

SCALE: 1" = 30'
 DATE: August 28, 2017

ISSUED FOR PERMITTING
 NOT FOR CONSTRUCTION

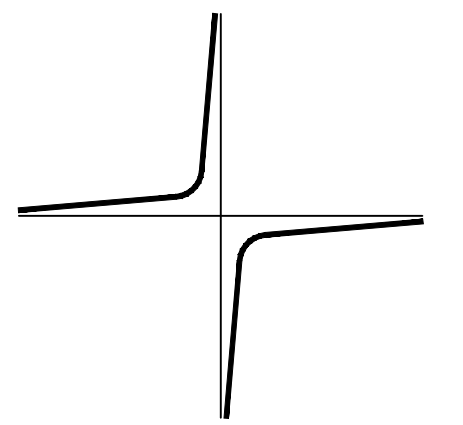
SHEET NUMBER

1 OF 3

NOTES:

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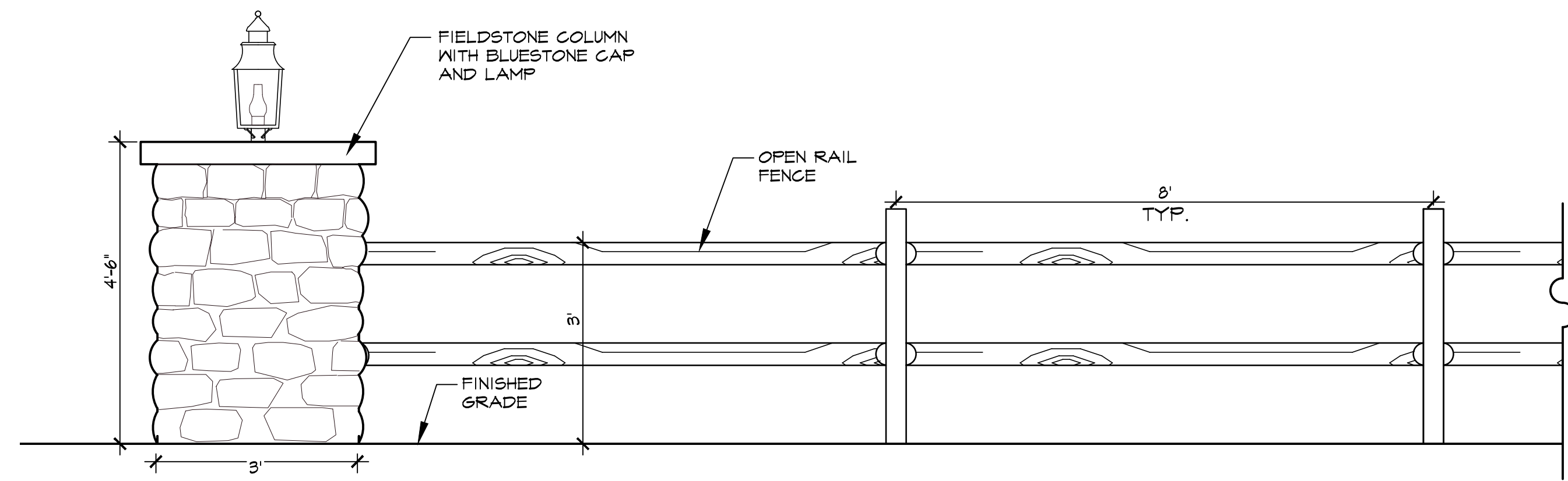


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(401) 783-3500

LANDSCAPE ARCHITECTURE
DESIGN & BUILD

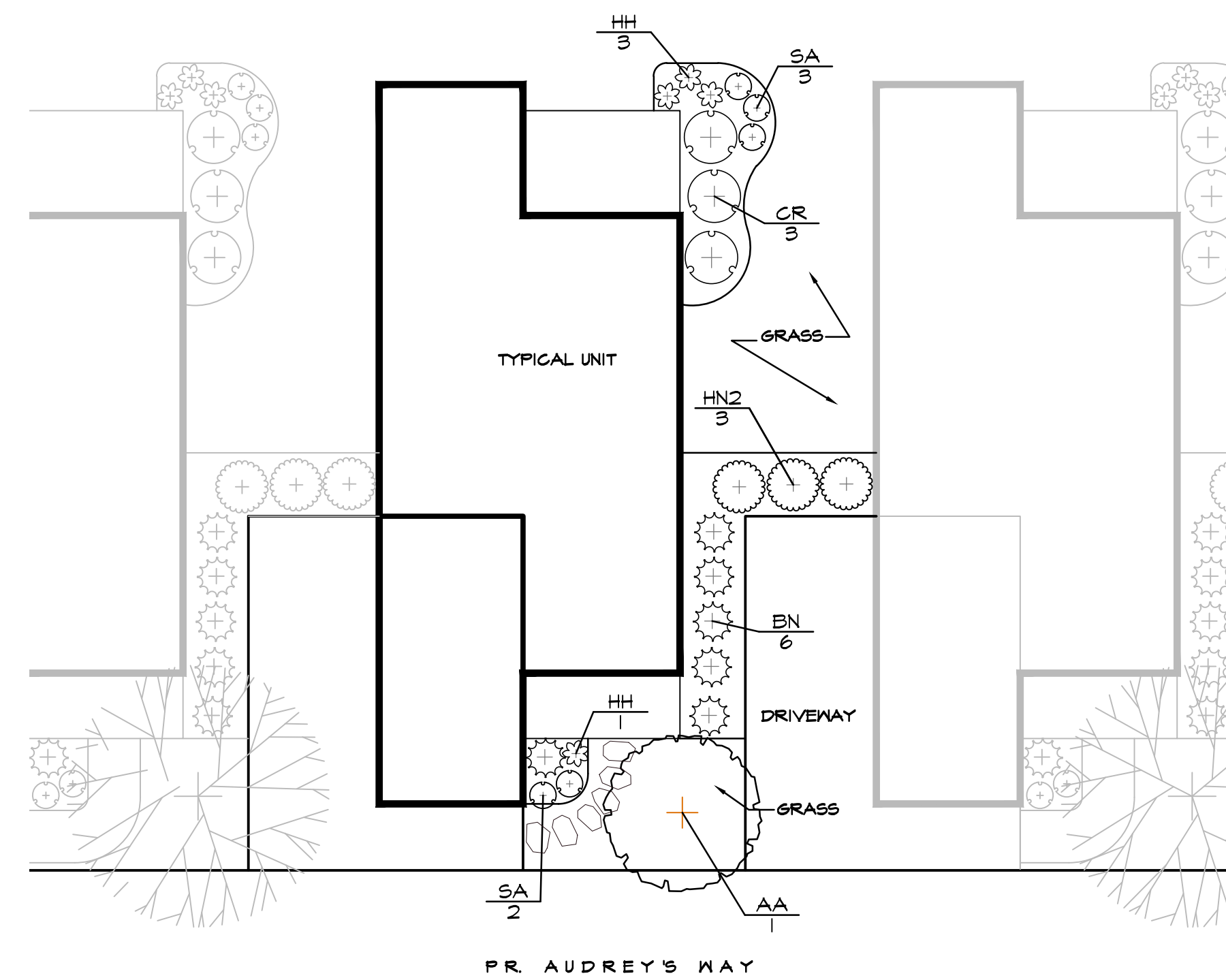
ENTRANCE DETAIL & TYPICAL PLANTING PLAN

HILLSIDE COMMONS
LOCATED AT:
A.P. 57-2, LOT 59
SOUTH KINGSTOWN, RHODE ISLAND



ENTRANCE COLUMN & OPEN RAIL FENCE
SCALE: 1" = 20'

PLANT SCHEDULE - TYPICAL UNIT				
TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE
AA	1	ACER X FREEMANII 'ARMSTRONG'	ARMSTRONG FREEMAN MAPLE	1.5-2' CAL.
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE
BN	6	BUXUS SEMPERVIRENS 'NEWPORT BLUE'	NEWPORT BLUE BOXWOOD	24-30" HT.
CR	3	CLETHRA ALNIFOLIA 'RUBY SPICE'	RUBY SPICE CLETHRA	24-36" HT.
HN2	3	HYDRANGEA MACROPHYLLA 'NANTUCKET BLUE'	NANTUCKET BLUE HYDRANGEA	24-36" HT.
ANNUALS/PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	SIZE
HH	4	HEMEROCALLIS X EVERBLOOMING MIX	HAPPY RETURNS & RUBY STELLA DAYLILY MIX	5 GAL
SA	5	SEDUM X 'AUTUMN JOY'	AUTUMN JOY SEDUM	1 GAL



TYPICAL UNIT PLANTING
SCALE: 1" = 10'

REVISIONS

SCALE: AS NOTED
DATE: August 28, 2017

ISSUED FOR PERMITTING
NOT FOR CONSTRUCTION

SHEET NUMBER

2 OF 3

NOTES:

GENERAL:

1. THE EXISTING SITE INFORMATION WAS TAKEN FROM A PLAN PREPARED BY DIPRETE ENGINEERING, TITLED SITE PLAN, AT A SCALE OF 1" = 30', DATED MARCH 30, 2011 AND SITE OBSERVATIONS BY JOHN C. CARTER & COMPANY, INC.
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PLANTING:

1. PROVIDE QUALITY PLANTS IN THE GENUS, SPECIES AND VARIETY INDICATED IN THE PLANT SCHEDULE, COMPLYING WITH APPLICABLE REQUIREMENTS OF "ANSI Z601. AMERICAN STANDARD FOR NURSERY STOCK."
2. PROVIDE PLANTS IN THE SIZE AND NUMBER INDICATED IN THE PLANT SCHEDULE. PLANTS SHALL BE GROWN IN NURSERIES LOCATED IN THE NORTHEASTERN U.S.
3. DELIVER FRESH DUG TREES WHICH ARE BALLED AND BURLAPPED, AND SHRUBS WHICH ARE BALLED AND BURLAPPED OR IN NURSERY CONTAINERS. ALL PLANTS ARE TO BE HEALTHY, VIGOROUS AND FREE OF INSECTS AND DISEASE.
4. PLANTS ARE TO BE INSTALLED AS SPECIFIED IN THE PLANTING DETAILS WITH ADEQUATE WATER PROVIDED DURING PLANTING TO ALLOW COMPACTION OF THE PLANTING SOIL TO PREVENT ANY AIR POCKETS OR SETTLEMENT AFTER PLANTING.
5. ALL PLANTING BEDS ARE TO BE COVERED WITH 2" SHREDDDED BARK MULCH.
6. ALL DECIDUOUS AND EVERGREEN TREES OVER 5' TALL ARE TO BE STAKED AS SHOWN IN THE PLANTING DETAILS. TREES ARE TO REMAIN PLUMB AND SHALL BE ADJUSTED AS NEEDED. ALL STAKES AND ARBOR TIES ARE TO BE MAINTAINED AND REMOVED WHEN NO LONGER NEEDED.
7. RECOMMENDED PLANTING DATES ARE MARCH 15 TO JUNE 15 AND SEPTEMBER 15 TO NOVEMBER 15.
8. PLANT SUBSTITUTIONS SHALL BE ALLOWED BASED ON AVAILABILITY. SUBSTITUTIONS MAY BE MADE ONLY WITH DIRECT APPROVAL FROM THE LANDSCAPE ARCHITECT AND ADMINISTRATIVE OFFICER.

MAINTENANCE & WARRANTY:

1. THE CONTRACTOR SHALL WARRANT ALL PLANTS FOR A PERIOD OF TWO YEARS AFTER THE DATE OF SUBSTANTIAL COMPLETION AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH.
2. AFTER PLANTING IS COMPLETED, THE OWNER SHALL BE RESPONSIBLE TO PROVIDE ADEQUATE WATER TO ENSURE HEALTHY AND VIGOROUS GROWTH.
3. ANY PLANT WHICH IS NOT HEALTHY AND GROWING VIGOROUSLY AFTER TWO YEARS SHALL BE REPLACED BY THE CONTRACTOR IN CONFORMANCE WITH THE PLANTING SPECIFICATIONS.
4. IF NECESSARY, THE CONTRACTOR SHALL OVERSEED OR SOD ANY AREAS WHICH ARE NOT SUBSTANTIALLY COVERED BY ADEQUATE GRASS GROWTH FOR ONE YEAR AFTER THE INITIAL SEED APPLICATION.

LOAMING & SEEDING/SODDING:

1. AREAS ON THE PLAN WHICH ARE LABELED AS "SOD" ARE TO HAVE SOD APPLIED. AREAS ON THE PLAN LABELED 'GRASS' SHALL BE SEEDED.
2. AFTER ROUGH GRADING IS COMPLETED, ALL DISTURBED AREAS WHICH ARE LABELED AS "SOD" OR "GRASS" ARE TO BE BROUGHT TO AN ELEVATION OF 6" BELOW THE PROPOSED FINISHED GRADE. THE SUB-GRADE IS TO BE SCARIFIED TO A DEPTH OF 12" WITH THE TEETH OF A BACKHOE OR A POWER RAKE TO RESULT IN AN UNCOMPACTED SUBSOIL. 6" OF GOOD QUALITY TOPSOIL IS THEN TO BE APPLIED AND RAKED TO FINISHED GRADE.
3. THE TOPSOIL IS TO BE GOOD QUALITY LOAM, FERTILE AND FREE OF NEEDS, STICKS AND STONES OVER 3/4" IN SIZE AND OTHERWISE COMPLYING WITH SECTION M.18.01 OF THE RI DOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
4. PRIOR TO SEEDING OR SODDING, FERTILIZE WITH 10-10-10 OR EQUIVALENT ANALYSIS. AT LEAST 40% OF THE FERTILIZER NITROGEN SHALL BE IN SLOW RELEASE FORM. INCORPORATE THE FERTILIZER INTO THE TOP 1-2" OF THE PLANTING SOIL. APPLY AT A RATE OF 8 LBS. PER 1000 SQUARE FEET.
5. LIME IS TO BE APPLIED AT A RATE OF ONE TON PER ACRE AND UNIFORMLY INCORPORATED INTO THE TOP 1-2" OF TOPSOIL.

SEEDING

AFTER THE SEED BED IS PREPARED, SEED IS TO BE BROADCAST EVENLY OVER THE SURFACE AND WORKED INTO THE TOP 1" OF SOIL. SEED SHALL BE ENDOPHYTE ENHANCED (AVAILABLE FROM ALLEN'S SEED STORE, SOUTH COUNTY TRAIL, EXETER, RI; PHONE: 800-521-3818 OR 401-244-2122) OR APPROVED EQUAL. APPLY AT A RATE OF 4-5 LBS. PER 1000 SQUARE FEET.

ENDOPHYTE ENHANCED:	% BY WEIGHT
CHEWING FESCUE	30%
IMPROVED PERENNIAL RYEGRASS	30%
TURF TYPE FALL FESCUE	30%
KENTUCKY BLUEGRASS	10%

RECOMMENDED SEEDING DATES ARE MARCH 15 TO JUNE 15 AND SEPTEMBER 15 TO NOVEMBER 15.

RATHER THAN SEEDING AS DESCRIBED ABOVE, THE CONTRACTOR MAY HYDROSEED USING AN APPROVED EQUIVALENT SEED MIX.

SEED MIXES

- PROVIDE QUALITY SEED DERIVED FROM THE VARIETY INDICATED UNDER 'SEEDING'.
- ALL SEED IS TO BE VIABLE, HEALTHY AND FREE OF INSECTS AND DISEASE.
- SEED IS TO BE INSTALLED AS SPECIFIED IN THE SEEDING NOTES WITH ADEQUATE WATER PROVIDED TO ESTABLISH A HEALTHY GRASS CATCH.
- RECOMMENDED SEEDING DATES ARE APRIL 15 TO JUNE 15 AND SEPTEMBER 15 TO NOVEMBER 15. LATE FALL AND WINTER DORMANT SEEDINGS REQUIRE AN INCREASE IN THE SEEDING RATE.
- SEED SUBSTITUTIONS SHALL BE ALLOWED BASED ON AVAILABILITY ONLY WITH DIRECT APPROVAL FROM THE LANDSCAPE ARCHITECT OR OWNER.

SODDING:

SOD SHALL BE LIVE, FRESH, AND OF SUITABLE CHARACTER FOR THE PURPOSE INTENDED AND FOR THE SOIL ON WHICH IT WILL BE PLACED. SODS SHALL BE AT LEAST 2-SQUARE FEET IN AREA AND SHALL BE THICK ENOUGH TO CONTAIN ALL NATURAL ROOTS WITHOUT MITIGATION. IN NO CASE WILL SODS BE PERMITTED TO BE UNDER 3/4" THICK OR OVER 1" THICK, UNLESS EXPRESS WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT IS PROCURED. SOD STORED LONGER THAN 36 HOURS WILL NOT BE ALLOWED UNDER ANY CIRCUMSTANCES.

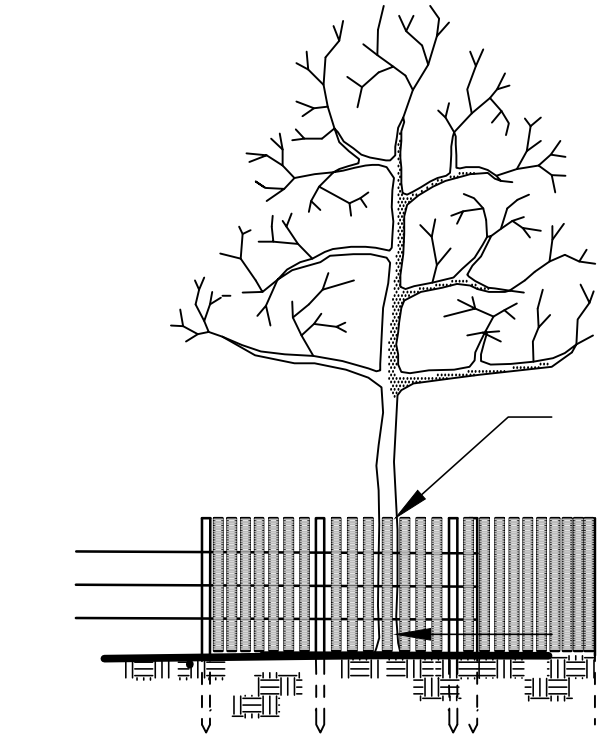
RECOMMENDED SODDING DATES ARE APRIL 1 TO JUNE 30 AND AUGUST 15 TO NOVEMBER 15.

SOD INSTALLATION: THE SOD BED SHALL BE MOIST AND BE WATERED CONTINUOUSLY DURING THE SODDING OPERATION. SOD SHALL BE LAID IN THE LONGEST DIMENSION PARALLEL TO THE CONTOURS. THE FIRST ROW OF SOD SHALL BE LAID A STRAIGHT LINE WITH THE SUBSEQUENT ROWS PLACED PARALLEL TO AND TIGHTLY AGAINST EACH OTHER. LATERAL/VERTICAL JOINTS SHALL BE STAGGERED BY A MINIMUM OF 12" TO PROMOTE UNIFORM GROWTH AND STRENGTH. SOD SHALL NOT BE STRETCHED OR OVERLAPPED AND ALL JOINTS SHALL BE BUTTED TIGHT.

AFTER THE SOD IS PLACED, IT SHALL BE PRESSED FIRMLY INTO CONTACT WITH THE SOD BED BY TAMPING OR HAND ROLLING. THIS PROCEDURE SHALL NOT DEFORM THE SOD. THE CONTRACTOR SHALL CUT THE SOD TO LINE AS INDICATED ON THE PLAN OR AS DIRECTED BY THE LANDSCAPE ARCHITECT.

COPPER BEECH (2 TOTAL) TREE PROTECTION NOTES

1. AN ON SITE COORDINATION MEETING SHALL TAKE PLACE BEFORE ANY EXCAVATION OCCURS TO DISCUSS TREE PROTECTION. PRESENT AT THE MEETING SHALL BE THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, EXCAVATING CONTRACTOR AND OWNER OR OWNER'S REPRESENTATIVE.
2. TREES ARE TO BE EVALUATED BY A LICENSED PRACTICING ARBORIST FOR STRUCTURAL INTEGRITY. DEAD DISEASED OR BROKEN LIMBS ARE TO BE REMOVED USING ACCEPTED ARBORICULTURAL PRACTICES. HAZARDOUS TREES OR LIMBS ARE TO BE REMOVED.
3. BEFORE ANY EXCAVATION OR CONSTRUCTION COMMENCES, A WOODEN OR PLASTIC 'SNOW FENCING' OR A SIMILAR BARRIER SHALL BE INSTALLED AROUND THE PERIMETER AT DRIP LINE OF ALL TREES DESIGNATED TO REMAIN.
4. THERE SHALL BE NO EXCAVATION, TRENCHING, EQUIPMENT OR MATERIAL STORAGE, OR STOCKPILING OF SOIL UNDER THE DRIP LINE OF ANY TREE TO BE PRESERVED. NO EXISTING SOIL, STONE OR VEGETATION SHALL BE REMOVED AND NO VEHICLES OR EQUIPMENT ARE TO BE DRIVEN WITHIN THE DRIP LINE OF A TREE TO BE PRESERVED.



TREE PROTECTION DETAIL
NOT TO SCALE

WOODEN OR PLASTIC 'SNOW' FENCE AT LEAST 3' IN HEIGHT IS TO BE INSTALLED AS CLOSE TO THE DRILINE OF THE TREE (EDGE OF CROWN SPREAD) AS IS PRACTICAL.

THERE SHALL BE NO DISTURBANCE WITHIN THE DRIP LINE OF TREES TO BE PRESERVED. THE EXISTING SOIL, VEGETATION, & STONES WITHIN THE TREE'S DRIP LINE IS TO REMAIN UNTOUCHED.

ALL FENCING IS TO BE REMOVED AFTER CONSTRUCTION IS COMPLETE.

TOWN OF SOUTH KINGSTOWN

**CODE OF ORDINANCES
APPENDIX 'A' ZONING ORDINANCE
ARTICLE 6 OVERLAY ZONES, SPECIAL ZONES & SPECIAL MANAGEMENT DISTRICTS
SEC. 605. ROUTE 1 SPECIAL MANAGEMENT DISTRICT.**

605.7. HIGHWAY ACCESS AND BUFFERING

THE AREA WITHIN THE REQUIRED 100-FOOT SETBACK SHALL BE DEVOTED TO A LANDSCAPED OR NATURAL BUFFER ZONE, THE PURPOSE OF WHICH IS TO PROVIDE AN AUDIO AND VISUAL SCREEN OF DEVELOPMENT WITHIN THE DISTRICT FROM US ROUTE 1.

A 100' WIDE VEGETATED BUFFER IS PROPOSED WHERE THE PROPERTY ABUTS KELLEY WAY. THE EXISTING VEGETATION SHALL REMAIN AND BE SUPPLEMENTED, AS NEEDED, TO PROVIDE AN AUDIO AND VISUAL SCREEN OF THE DEVELOPMENT FROM US ROUTE 1.

605.14. PARKING STANDARDS.

B. LANDSCAPING, PARKING LOT LANDSCAPING FOR ALL USES WITHIN THE DISTRICT SHALL BE AS PROVIDED IN SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.

SEE BELOW.

606.15. OPEN SPACE. AT LEAST 15% OF THE LAND SUITABLE FOR DEVELOPMENT IN THE DISTRICT SHALL BE DESIGNATED AS OPEN SPACE.

LOT SIZE = 2.95 ACRES 15% = 19,275 SQ. FT. REQUIRED FOR OPEN SPACE.

OPEN SPACE REQUIRED	OPEN SPACE PROVIDED
19,275 SQ. FT.	91,000 SQ. FT. +

**TOWN OF SOUTH KINGSTOWN
SUBDIVISION & LAND DEVELOPMENT REGULATIONS**

ARTICLE IV. SPECIAL REQUIREMENTS
6. LANDSCAPING - GENERAL STANDARDS & SPECIFICATIONS

1. PLANT MATERIALS - STANDARDS

ALL PLANTS HAVE BEEN SELECTED FROM THE PUBLICATION ENTITLED 'SUSTAINABLE TREES AND SHRUBS FOR SOUTHERN NEW ENGLAND' WHEREVER SUCH LANDSCAPING OR BUFFERING IS REQUIRED BY THE ZONING ORDINANCE OR THESE REGULATIONS. ALSO, SEE PLANTING NOTES, DETAILS AND PLANT SCHEDULE.

2. STREET LANDSCAPING

SEE 605.7 ABOVE - ROUTE 1 SPECIAL MANAGEMENT DISTRICT - HIGHWAY ACCESS AND BUFFERING.

3. PERIMETER LANDSCAPING - PARKING LOTS AND LOADING FACILITIES

THE PERIMETER OF THE PARKING LOT AND LOADING FACILITY SHALL BE SURROUNDED BY A LANDSCAPED STRIP. NO LESS THAN TEN (10) FEET IN WIDTH WHERE THE PARKING AREA CONTAINS FIVE SPACES OR MORE OR WHICH EXCEEDS 2500 SQ. FT. OF PAVED AREA, NO LESS THAN FIVE FEET IN WIDTH WHERE THE PARKING AREA CONTAINS LESS THAN FIVE SPACES OR WHICH HAS LESS THAN 2500 SQ. FT. OF PAVED PARKING.

THERE IS ONE PARKING AREA WHICH HAS SEVEN (7) SPACES. A PERIMETER LANDSCAPING STRIP AT LEAST TEN (10) FOOT WIDE IS PROPOSED.

LANDSCAPING OF THE PERIMETER OF A PARKING LOT SHALL INCLUDE AT LEAST ONE TREE PLUS THREE LOW SHRUBS OR GROUNDCOVER PLANTS FOR EVERY THIRTY-FIVE LINEAR FEET OF PERIMETER.

THERE ARE 170 LINEAR FEET OF PARKING LOT PERIMETER. 4.86 TREES AND 14.57 SHRUBS OR GROUNDCOVER PLANTS ARE REQUIRED. FIVE TREES AND 15 SHRUBS ARE PROPOSED.

TREES REQUIRED	TREES PROPOSED
4.86	5
SHRUBS OR GROUNDCOVER PLANTS REQUIRED	SHRUBS OR GROUNDCOVER PLANTS PROPOSED
14.57	30

4. INTERIOR LANDSCAPING - THE INTERIOR AREAS OF PARKING LOTS (EXCLUSIVE OF LOADING AREAS) SHALL ALSO BE LANDSCAPED. THE MINIMUM AMOUNT OF INTERIOR PARKING LOT LANDSCAPING SHALL BE PROVIDED IN ACCORDANCE WITH THE FOLLOWING TABLE?

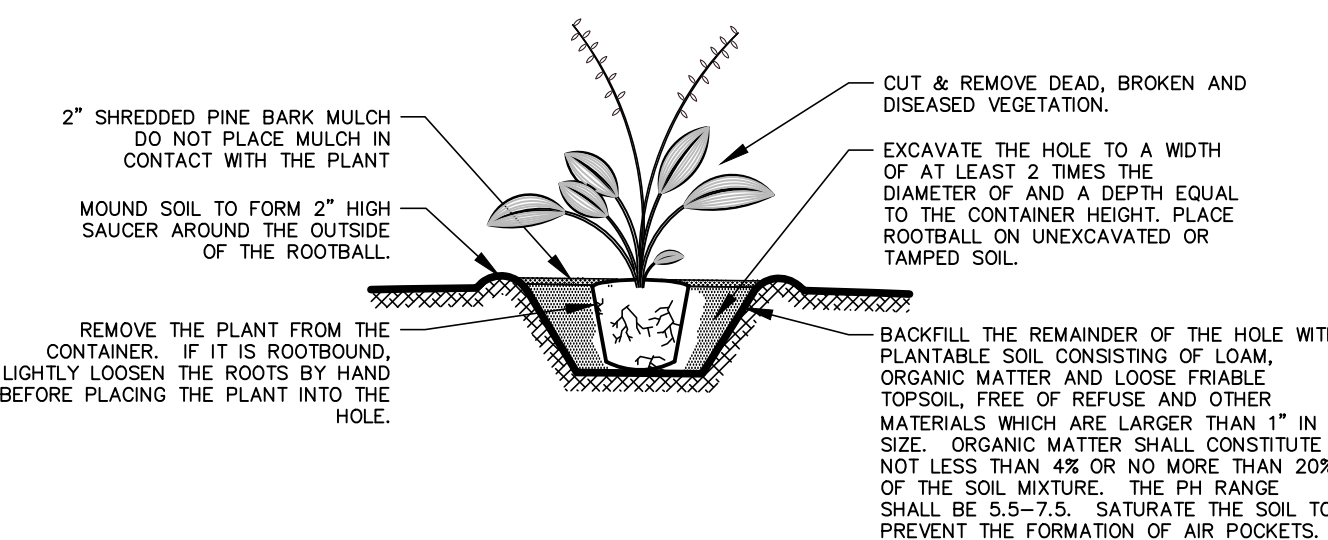
TOTAL AREA OF PARKING LOT	MINIMUM PERCENT OF THE TOTAL PARKING LOT AREA THAT MUST BE AN INTERIOR LANDSCAPING AREA
< 2500 SQ. FT.	NO REQUIREMENT

THE PROPOSED PARKING AREAS CONSISTS OF LESS THAN 2500 SQ. FT. NO INTERIOR LANDSCAPING AREA IS REQUIRED.

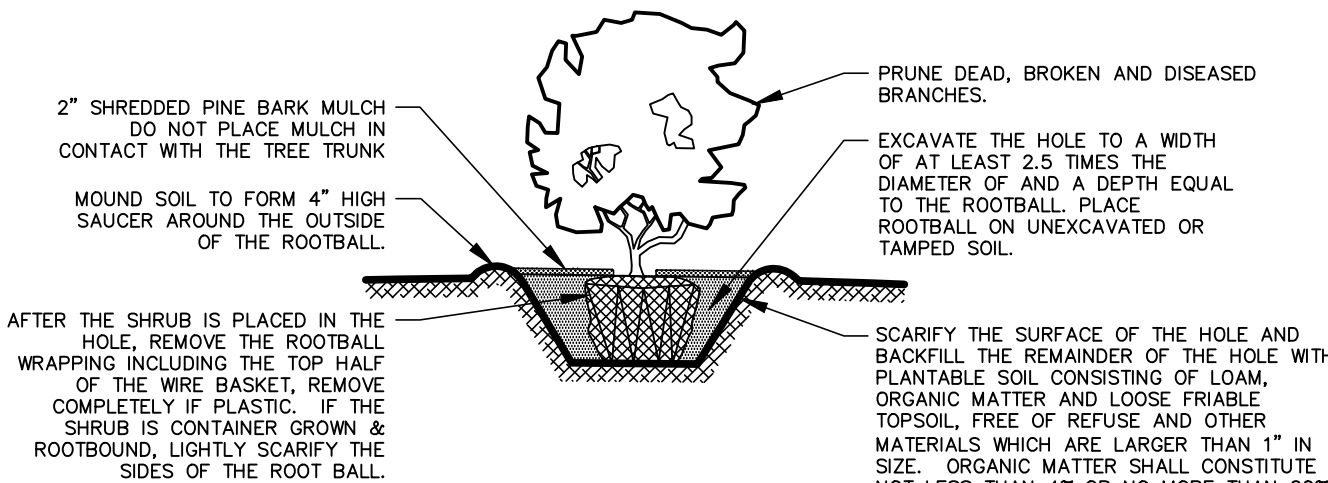
ARTICLE XIII DESIGN AND PUBLIC IMPROVEMENT STANDARDS
B. STREET DESIGN STANDARDS

13. STREET TREES

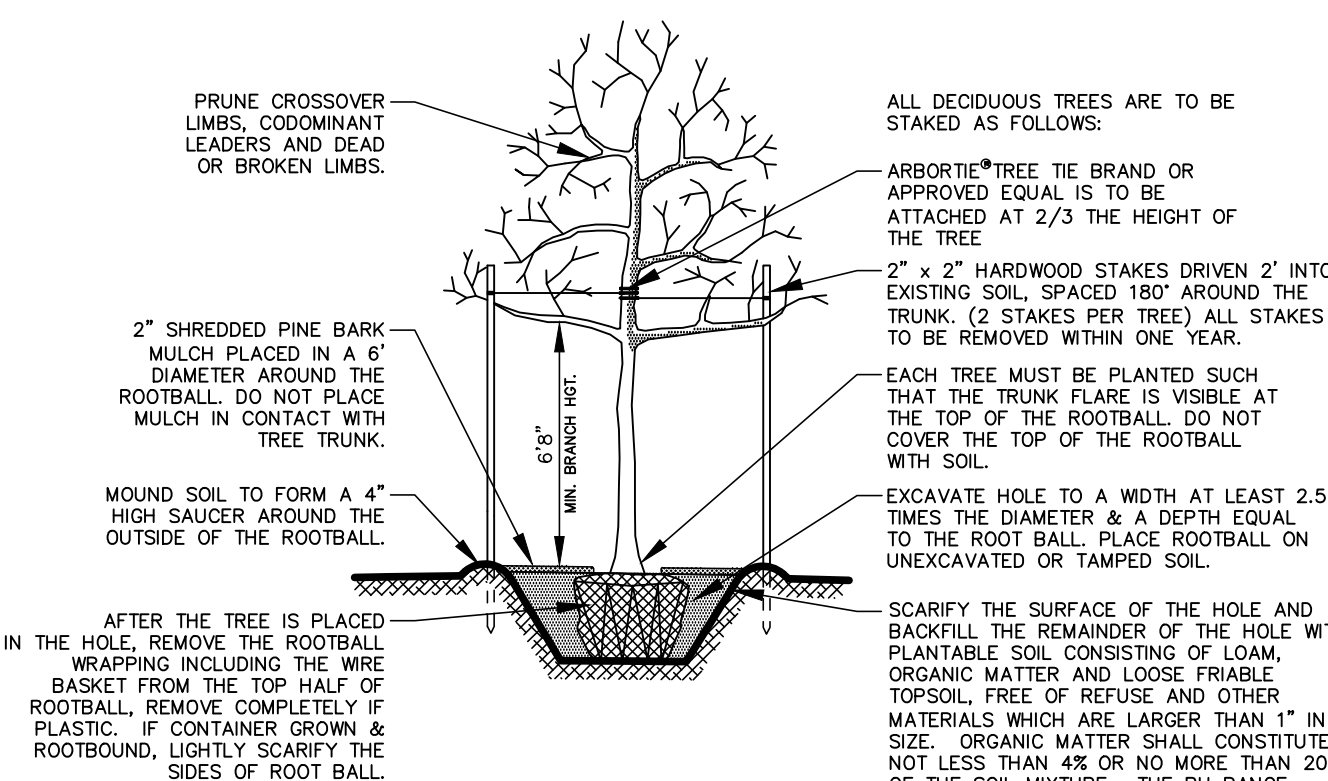
STREET TREES ARE PROPOSED TO BE LOCATED WITHIN 10 FEET OF THE STREET RIGHT-OF-WAY AND SHALL BE SPACED BETWEEN 30 AND 50 FEET ON CENTER. THE SPECIES SELECTED HAVE BEEN SELECTED FOR SUITABILITY FOR THE LOCATION AND FOR ZONE 6 HARDINESS. ALL STREET TREES HAVE BEEN SELECTED FROM THE PUBLICATION 'SUSTAINABLE TREES AND SHRUBS FOR SOUTHERN NEW ENGLAND' AND ARE PROPOSED AT 1-1/2" - 2" CALIPER AND 6 TO 8 FEET OF HEIGHT AT TIME OF PLANTING.



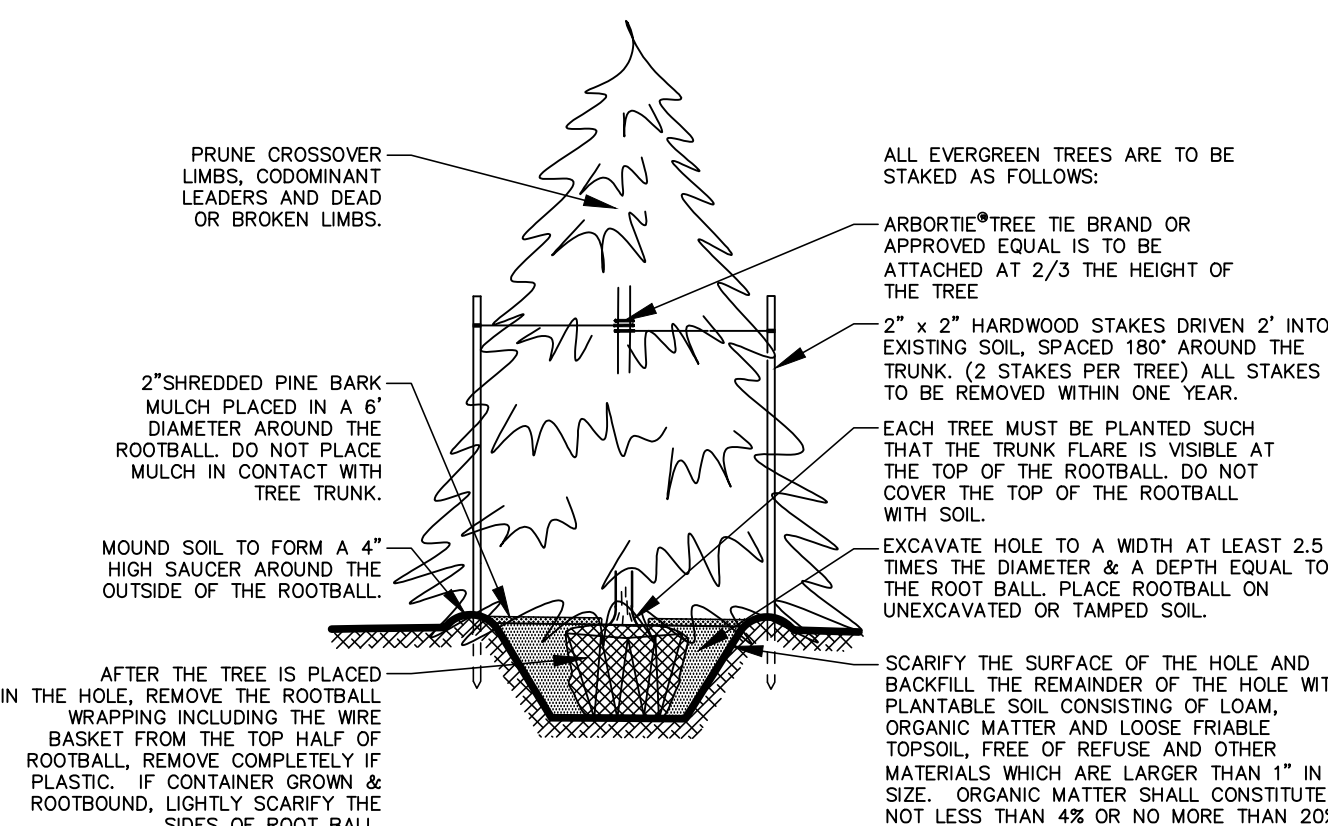
PERENNIAL PLANTING DETAIL
NOT TO SCALE
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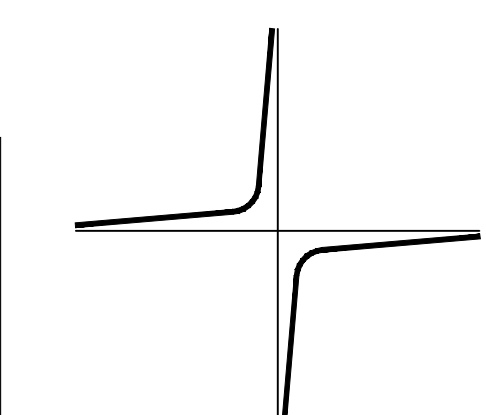
SHRUB PLANTING DETAIL
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TREE PLANTING DETAIL
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EVERGREEN TREE PLANTING DETAIL
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JOHN C. CARTER & CO., INC.
960 BOSTON NECK RD. NARRAGANSETT, RI
(401) 783-3500
LANDSCAPE ARCHITECTURE
DESIGN & BUILD

PLANTING NOTES & DETAILS
HILLSIDE COMMONS
 LOCATED AT:
A.P. 57-2, LOT 59
SOUTH KINGSTOWN, RHODE ISLAND

REVISIONS

SCALE: NTS
DATE: August 28, 2017

ISSUED FOR PERMITTING
NOT FOR CONSTRUCTION

SHEET NUMBER

3 OF 3