

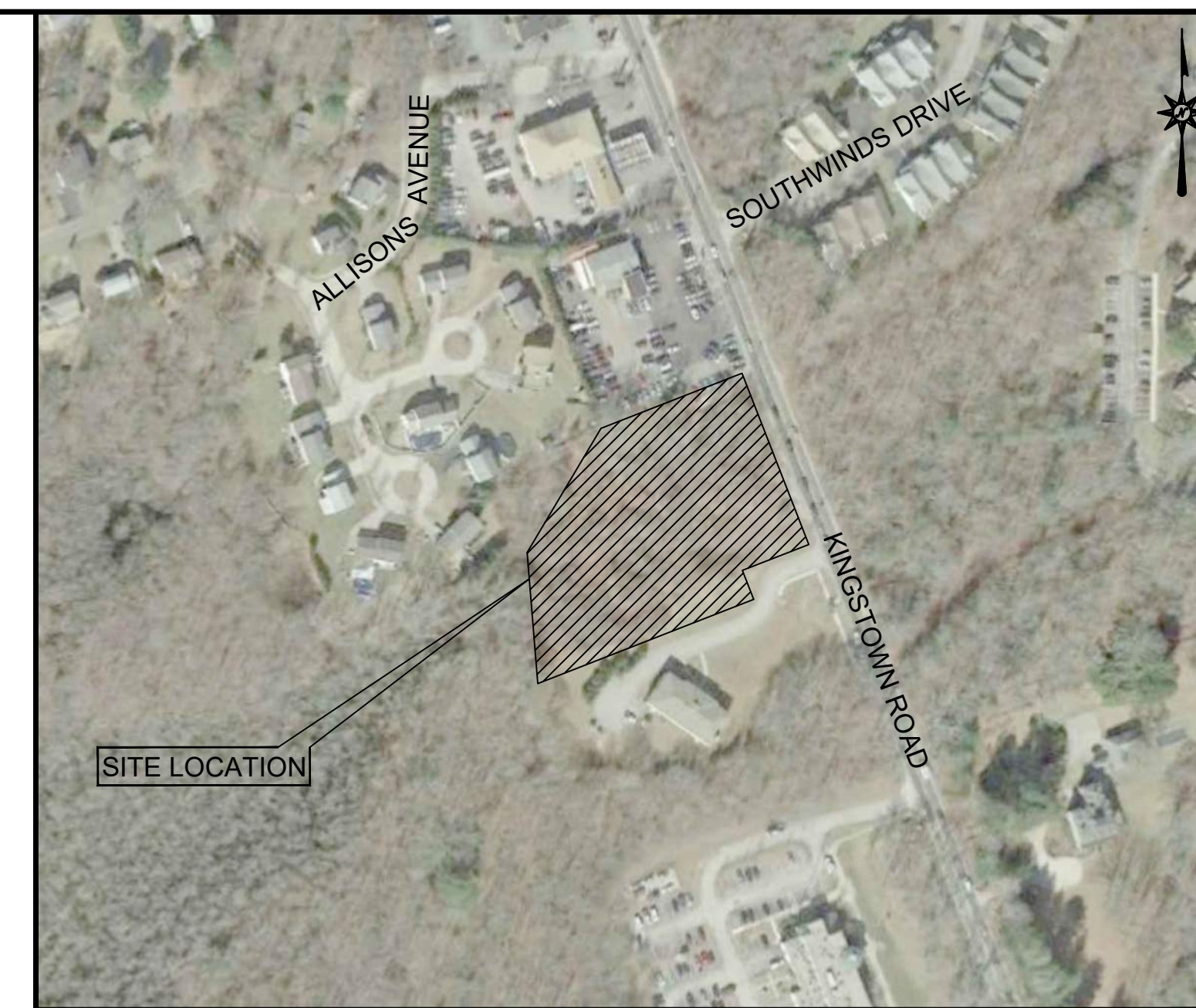
LOCATION MAP

N.T.S.

LAND DEVELOPMENT PLANS ISSUED FOR PERMITTING

PROPOSED RETAIL DEVELOPMENT 1860 KINGSTOWN ROAD (RI ROUTE 108) SOUTH KINGSTOWN, RHODE ISLAND

PREPARED FOR:
GARRETT HOMES, LLC
59 FIELD STREET
TORRINGTON, CT 06790



VICINITY MAP

SCALE: 1"=200'

CONTENTS

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	CONCEPTUAL ELEVATIONS (BY OTHERS)

PREPARED BY:



100 CONSTITUTION PLAZA, 10TH FLOOR
HARTFORD, CONNECTICUT 06103
(860) 249-2200
(860) 249-2400 Fax

NOT FOR CONSTRUCTION
FOR PERMITTING PURPOSES ONLY

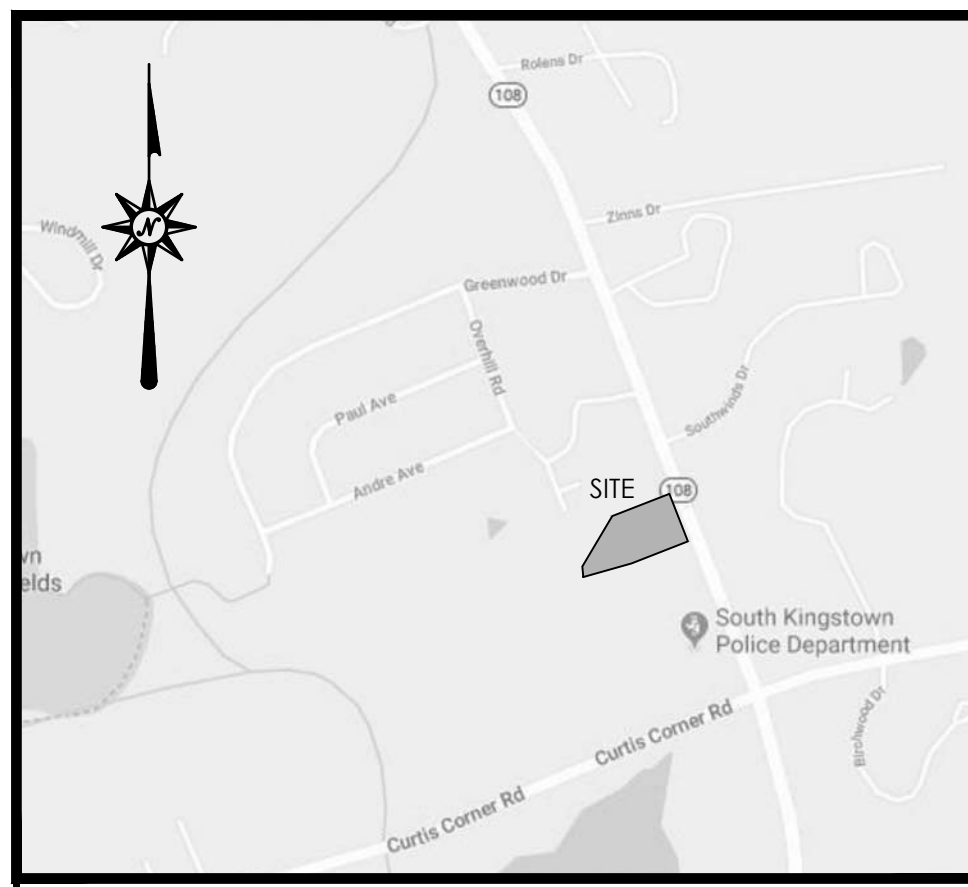
SUBCONSULTANTS:

DEVELOPER: GARRETT HOMES, LLC 59 FIELD STREET TORRINGTON, CT	OWNER 1 (PARCEL 40-1/125): SOUTH SHORE MENTAL HEALTH CENTER, INC 765 ALLENS AVE, STE 100 PROVIDENCE, RI 02905	OWNER 2 (PARCEL 40-1/126): ALTERNATIVE LIVING CONCEPTS C/O GATEWAY HEALTHCARE 249 ROOSEVELT AVE, STE 205 PAWTUCKET, RI 02860
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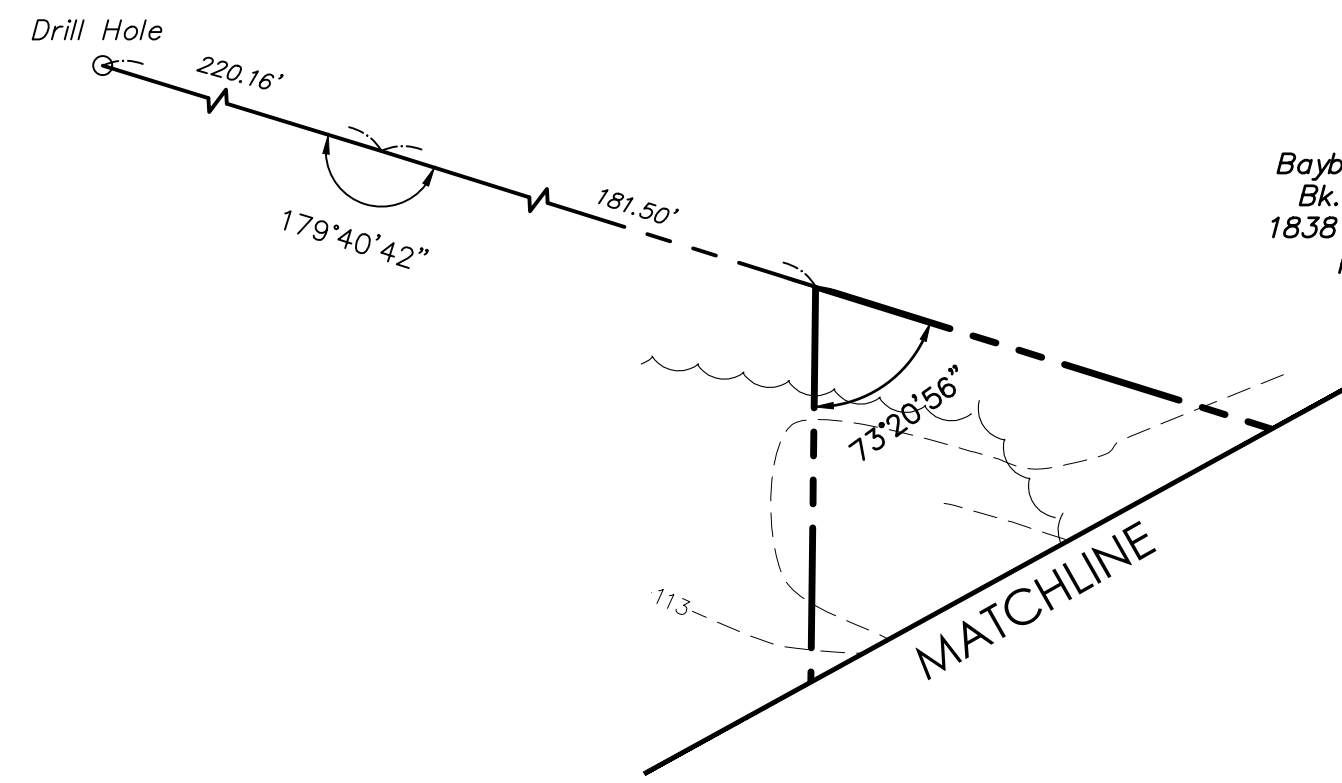
DATES

ISSUE DATE: JULY 30, 2020
REVISION:



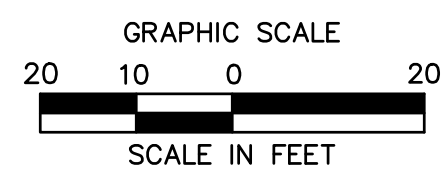


LOCATION MAP
NOT TO SCALE

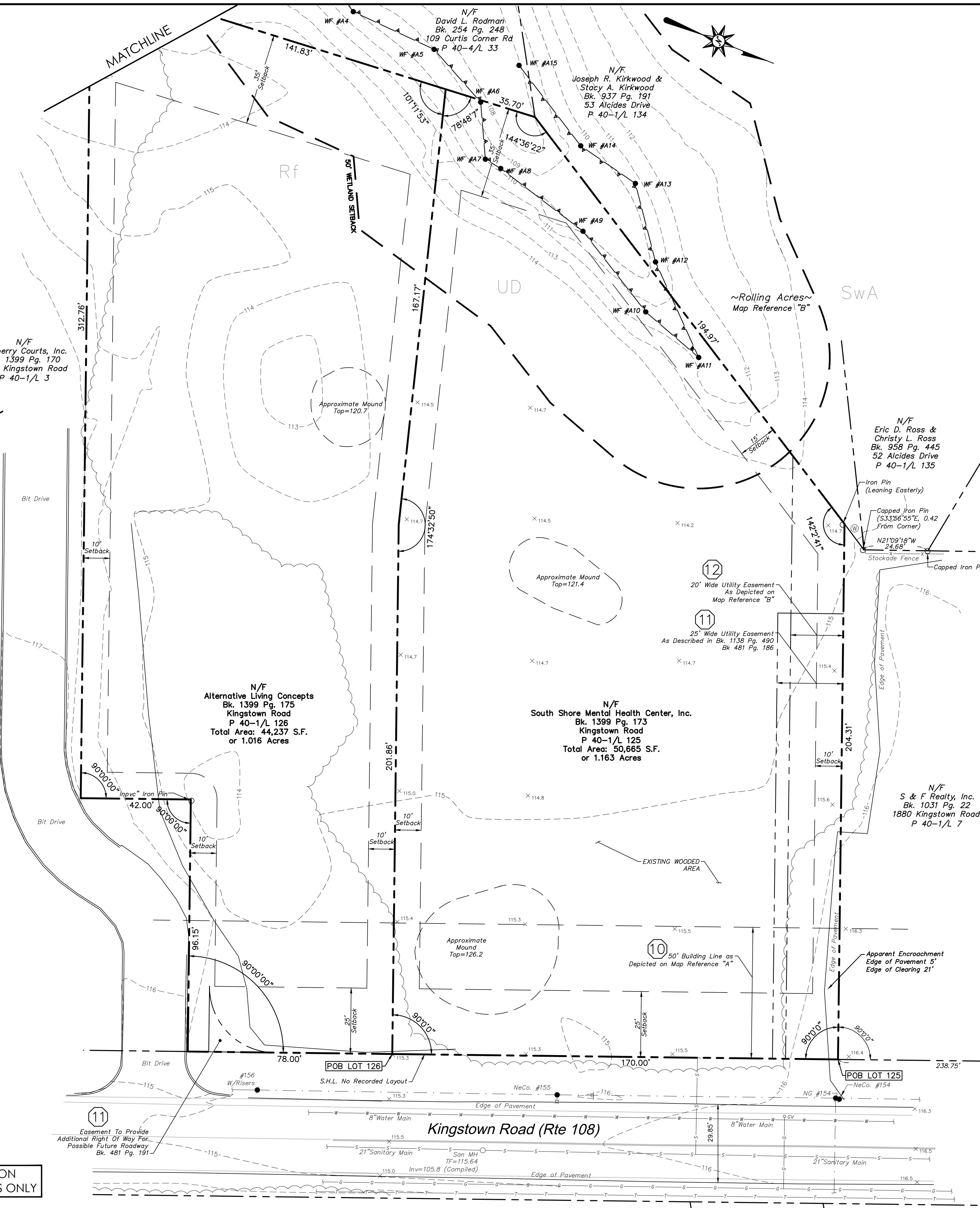


LEGEND

- Property Line
- Easement Line
- Setback Line
- Limit of Wetlands
- Wetlands/Marsh
- Wetland Setback
- Treeline
- Major Contour
- Minor Contour
- Soil Boundaries
- Soil Type
- Overhead Wires
- Gas Line
- Sanitary Sewer
- Storm Sewer
- Underground Telecommunications Line
- Handhole
- Utility Pole
- Utility Pole w/ Light
- Guy Wire
- Gas Valve
- Manhole
- Water Valve
- Sign
- Title Commitment Schedule B, Section 2 Items
- Soil Type
- Soil Type Boundary
- Wetland Limit
- Wetland Flag
- Monitoring Well



**NOT FOR CONSTRUCTION
FOR PERMITTING PURPOSES ONLY**



GENERAL NOTES

- NORTH ARROW AND BEARINGS REFER TO NAD 83 AND ARE BASED ON GPS OBSERVATIONS PERFORMED BY BL COMPANIES ON 7/18/2018.
- ELEVATIONS REFER TO PROJECT DATUM AND ARE BASED ON GPS OBSERVATIONS PERFORMED BY BL COMPANIES ON 7/18/2018. TO CONVERT TO NAVD 88, MINUS 1 FOOT FROM PROJECT DATUM ELEVATIONS.
- PARCEL IS LOCATED IN ZONE "X", (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS DEPICTED ON F.I.R.M. COMMUNITY PANEL NO. 445407 0184 J PANEL 184 OF 368 REVISED: OCTOBER 16, 2013.
- THE UNDERGROUND UTILITIES DEPICTED HAVE BEEN PLOTTED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES DEPICTED ARE IN THE EXACT LOCATION INDICATED THOUGH THEY ARE PLOTTED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY EXPOSED THE UNDERGROUND UTILITIES. THE CONTRACTOR SHALL CONFIRM THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF EXCAVATION.
- WETLAND DELINEATION AND LOCATIONS PROVIDED BY NATURAL RESOURCE SERVICES, INC.

PLAT REFERENCES

- PLAT OF LAND IN SOUTH KINGSTOWN, R.I. SURVEYED FOR ESTATE OF SAMUEL A. RODMAN, SCALE 1"=100', DATE FEBRUARY 1950 AND FILED AS PLAT BOOK 12 PAGE 872 OF THE SOUTH KINGSTOWN LAND RECORDS.
- "PROPOSED LOT PLAN, ADMINISTRATIVE SUBDIVISION FOR CERTAIN LAND OF SOUTH COUNTY SAND + GRAVEL CO. LOCATED ON KINGSTOWN ROAD AND CURTIS CORNER ROAD IN THE TOWN OF SOUTH KINGSTOWN, RI", SCALE 1"=40', DATE 2/1/1994, REVISED THRU 2/15/1994, PREPARED BY W & W LAND SURVEYORS INC, PEACE DALE, RI AND FILED AS PLAT BOOK 24 PAGE 11 OF THE SOUTH KINGSTOWN LAND RECORDS.
- "FINAL PLAN, DEFINITIVE PLAN FOR ROLLING ACRES SECTION 7 A.P. 40-1, LOT 2, SOUTH KINGSTOWN, RHODE ISLAND", SCALE 1"=40', DATE 7/12/1999, REVISED THRU 3/23/2000, SHEET NO. 2 OF 9, PREPARED BY ENVIRONMENTAL PLANNING & SURVEYING, INC. WEST KINGSTOWN, RHODE ISLAND AND FILED AS PLAT 2000-59 OF THE SOUTH KINGSTOWN LAND RECORDS.
- "ADMINISTRATIVE SUBDIVISION FOR A.P.-1 LOTS 3, 125 & 126, KINGSTOWN ROAD (ROUTE 108) IN SOUTH KINGSTOWN, RHODE ISLAND", SCALE 1"=30', DATE 9/16/2009, REVISED THRU 5/10/2010, PREPARED BY COMMONWEALTH ENGINEERS & CONSULTANTS, INC. PROVIDENCE, RHODE ISLAND AND FILED AS PLAT 2010-31 OF THE SOUTH KINGSTOWN LAND RECORDS.

SEE SHEET 2 OF 2 FOR LEGAL DESCRIPTIONS, TITLE COMMITMENT INFORMATION AND ZONING TABLE

SURVEY CERTIFICATION

TO SOUTH SHORE MENTAL HEALTH CENTER, INC., PROPOSED RETAIL, FIRST AMERICAN TITLE INSURANCE COMPANY, DG CAPITAL, LLC:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2018 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2,3,4,5,6,(a),8,9,11,13 AND 14 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON 7/18/2018.

DATED: _____ SIGNED: JENNIFER MARKS, LAND SURVEYOR #1960



100 Constitution Plaza
10th Floor
Hartford, CT 06103
(860) 249-2200
(860) 249-2400 Fax

APPLICANT:
Garrett Homes, LLC
59 Field Street
Torrington, CT 06790

OWNER 1 (PARCEL 40-1/125):
SOUTH SHORE MENTAL HEALTH CENTER, INC.
765 ALLENS AVE, STE 100
PROVIDENCE, RI 02905

OWNER 2 (PARCEL 40-1/126):
ALTERNATIVE LIVING CONCEPTS
C/O GATEWAY HEALTHCARE
249 ROOSEVELT AVE, STE 205
PAWTUCKET, RI 02860

PROPOSED RETAIL DEVELOPMENT
1860 KINGSTOWN ROAD (RI ROUTE 108)
SOUTH KINGSTOWN, RHODE ISLAND

REVISIONS	Date	Drawn	Checked
No.			

Designed	A.V./J.C.
Drawn	A.V.
Reviewed	J.M.
Scale	1"=20'
Project No.	18C6704
Date	7/30/2020
CAD File:	AL18C670401
Field Book:	520

Title
**ALTA/NSPS
LAND TITLE
SURVEY**

Sheet No. 1 of 2

AL-1

7/20/2020, CHELSEA, G:\JOB\18C670401\18C670401.DWG, ALL 24038, 10/27/2020, 2020 BL COMPANIES, INC. THESE DRAWINGS SHALL NOT BE UTILIZED BY ANY PERSON, FIRM OR CORPORATION WITHOUT THE SPECIFIC WRITTEN PERMISSION OF BL COMPANIES.

TITLE COMMITMENT INFORMATION

TITLE COMMITMENT REFERENCE NUMBER	RECORDING REFERENCE	DESCRIPTION	STATUS ON PLAT
⑥	BK 798 PG 52	DEPARTMENT OF ENVIRONMENTAL MANAGEMENT PERMIT	AFFECTS NOT PLOTTABLE
⑦	BK 1399 PG 177	RIGHTS OF OTHERS IN AND TO AN EASEMENT	DOES NOT AFFECT
⑧	BK 639 PG 231 BK 1367 PG 372	TOWN OF SOUTH KINGSTON PLANNING BOARD DECISIONS	AFFECTS NOT PLOTTABLE
⑨	BK 755 PG 140 BK 807 PG 114 BK 1213 PG 571 BK 1252 PG 730 BK 1301 PG 72	TOWN OF SOUTH KINGSTON PLANNING BOARD DECISIONS	AFFECTS NOT PLOTTABLE
⑩	PLAT BK 12 PG 872	SETBACK LINES SHOWN ON PLAN	PLOTTED
⑪	BK 481 PG 186 BK 481 PG 188 BK 481 PG 191	EASEMENTS SET FORTH IN CERTAIN DEEDS ACCESS EASEMENT - LOCATED SOUTH OF LOCUS ACCESS EASEMENT - LOT 126	PLOTTED DOES NOT AFFECT PLOTTED
⑫	PLAT BK 24 PG 11	EASEMENTS SHOWN ON PLAN	PLOTTED

REFERENCE: FIRST AMERICAN TITLE INSURANCE COMPANY FILE NO. 4095769 DATED: 8/8/2018

RECORD DESCRIPTION - LOT 126

BEGINNING A POINT ON THE WESTERLY SIDE OF KINGSTOWN ROAD AT THE NORTHEASTERLY CORNER OF THE HEREIN-DESCRIBED AP-1 LOT 126, AS SHOWN ON PLAN ENTITLED "ADMINISTRATIVE SUBDIVISION FOR A.P. 40-1 LOTS 3, 125 & 126 KINGSTOWN ROAD (ROUTE 108)" IN SOUTH KINGSTOWN, RHODE ISLAND, SCALE 1"=30', SHEET NO. 1 OF 1, DATED 9/16/09, REVISED 12/1/2009 AND 5/25/2010 PREPARED BY COMMONWEALTH ENGINEERS & CONSULTANTS, INC. SAID POINT BEING THE POINT AND PLACE OF BEGINNING;

THENCE RUNNING SOUTHERLY ALONG THE WESTERLY SIDE OF KINGSTOWN ROAD FOR A DISTANCE OF SEVENTY-EIGHT AND 00/100 FEET (78.00') TO A CORNER;

THENCE TURNING AN INTERIOR ANGLE OF 90°00'00" AND RUNNING EASTERLY FOR A DISTANCE OF NINETY-SIX AND 15/100 FEET (96.15') BOUNDED SOUTHERLY BY AP 40-1 LOT 3 TO A CORNER;

THENCE TURNING AN INTERIOR ANGLE OF 270°00'00" AND RUNNING SOUTHERLY FOR A DISTANCE OF FORTY-TWO AND 00/100 FEET (42.00') BOUNDED EASTERLY BY SAID AP 40-1 LOT 3 TO A CORNER;

THENCE TURNING AN INTERIOR ANGLE OF 90°00'00" AND RUNNING THREE HUNDRED TWELVE AND 77/100 FEET (312.77') BOUNDED SOUTHERLY BY SAID AP 40-1 LOT 3 TO A CORNER;

THENCE TURNING AN INTERIOR ANGLE OF 73°20'57" AND RUNNING NORTHEASTERLY FOR A DISTANCE OF ONE HUNDRED FORTY-ONE AND 83/100 FEET (141.83') BOUNDED WESTERLY BY LAND NOW OR FORMERLY OF DAVID L. RODMAN TO A CORNER;

THENCE TURNING AN INTERIOR ANGLE OF 101°11'53" AND RUNNING EASTERLY FOR A DISTANCE OF ONE HUNDRED SIXTY-SEVEN AND 17/100 FEET (167.17') BOUNDED NORTHERLY BY AP 40-1 LOT 125 TO A POINT;

THENCE TURNING AN INTERIOR ANGLE OF 185°27'10" AND RUNNING EASTERLY FOR A DISTANCE OF TWO HUNDRED ONE AND 86/100 FEET (201.86') BOUNDED NORTHERLY BY SAID AP 40-1 LOT 125 TO THE POINT AND PLACE OF BEGINNING.

THE LAST-DESCRIBED COURSE FORMS AN INTERIOR ANGLE OF 90°00'00" WITH THE FIRST-DESCRIBED COURSE.

THE ABOVE-DESCRIBED AREA COMPRISES AP 40-1 LOT 126 AND CONTAINS 44,237 SQUARE FEET (1.02 AC) OF LAND.

RECORD DESCRIPTION - LOT 125

BEGINNING A POINT ON THE WESTERLY SIDE OF KINGSTOWN ROAD AT THE NORTHEASTERLY CORNER OF THE HEREIN-DESCRIBED AP-1 LOT 125, AS SHOWN ON PLAN ENTITLED "ADMINISTRATIVE SUBDIVISION FOR A.P. 40-1 LOTS 3, 125 & 126 KINGSTOWN ROAD (ROUTE 108)" IN SOUTH KINGSTOWN, RHODE ISLAND, SCALE 1"=30', SHEET NO. 1 OF 1, DATED 9/16/09, REVISED 12/1/09 AND 5/25/10 PREPARED BY COMMONWEALTH ENGINEERS & CONSULTANTS, INC. SAID POINT BEING THE POINT AND PLACE OF BEGINNING;

THENCE RUNNING ALONG THE WESTERLY SIDE OF KINGSTOWN ROAD FOR A DISTANCE OF ONE HUNDRED SEVENTY AND 00/100 FEET (170.00') TO A CORNER;

THENCE TURNING AN INTERIOR ANGLE OF 90°00'00" AND RUNNING WESTERLY FOR A DISTANCE OF TWO HUNDRED ONE AND 86/100 FEET (201.86') BOUNDED SOUTHERLY BY AP 40-1 LOT 126 TO A POINT;

THENCE TURNING AN INTERIOR ANGLE OF 174°32'50" AND RUNNING WESTERLY FOR A DISTANCE OF ONE HUNDRED SIXTY- SEVEN AND 17/100 FEET (167.17') BOUNDED SOUTHERLY BY SAID AP 40-1 LOT 126 TO A CORNER;

THENCE TURNING AN INTERIOR ANGLE OF 78°48'07" AND RUNNING NORTHEASTERLY FOR A DISTANCE OF THIRTY-FIVE AND 70/100 FEET (35.70') BOUNDED WESTERLY BY LAND NOW OR FORMERLY OF DAVID L. RODMAN TO A POINT;

THENCE TURNING AN INTERIOR ANGLE OF 144°36'22" AND RUNNING NORTHEASTERLY FOR A DISTANCE OF ONE HUNDRED NINETY-FOUR AND 97/100 FEET (194.97') BOUNDED NORTHEASTERLY BY LAND NOW OR FORMERLY OF JOSEPH R. & STACY A. KIRKWOOD TO AN IRON PIN FOUND AT A CORNER;

THENCE TURNING AN INTERIOR ANGLE OF 142°02'41" AND RUNNING EASTERLY FOR A DISTANCE OF TWO HUNDRED FOUR AND 31/100 FEET (204.31') BOUNDED NORTHERLY BY LAND NOW OR FORMERLY OF S & F REALTY INC. TO THE POINT AND PLACE OF BEGINNING.

THE LAST-DESCRIBED COURSE FORMS AN INTERIOR ANGLE OF 90°00'00" WITH THE FIRST-DESCRIBED COURSE.

THE ABOVE-DESCRIBED AREA COMPRISES AP 40-1 LOT 125 AND CONTAINS 50,665 SQUARE FEET (1.16 AC) OF LAND.

ZONING TABLE

LOCATION: KINGSTOWN ROAD, SOUTH KINGSTOWN, RHODE ISLAND		
ZONE: MU (MIXED USE)/ KINGSTOWN ROAD SPECIAL MANAGEMENT DISTRICT		
ITEM #	ITEM	REQUIREMENTS
1	MINIMUM LOT AREA	10,000 S.F.
2	MINIMUM LOT WIDTH	70 FEET
3	MAXIMUM BLDG LOT COVERAGE	30%
4	MAXIMUM HEIGHT PRINCIPLE BUILDING	35 FEET
5	MINIMUM FRONT SETBACK	25 FEET
6	MINIMUM SIDE SETBACK	10 FEET (15 FEET RESIDENTIAL)
7	MINIMUM REAR	20 FEET (35 FEET RESIDENTIAL)

NOT FOR CONSTRUCTION
FOR PERMITTING PURPOSES ONLY

SEE SHEET 1 OF 2 FOR SURVEY
AND GENERAL NOTES

REVISIONS
No. Date











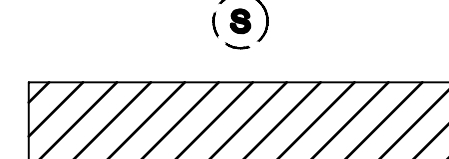
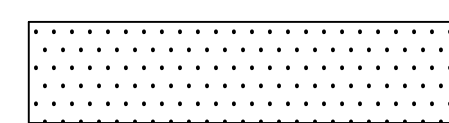
Designed A.V./J.C.
Drawn A.V.
Reviewed J.M.
Scale NONE
Project No. 18C6704
Date 7/30/2020
CAD File: AL18C670401 Field Book: 520

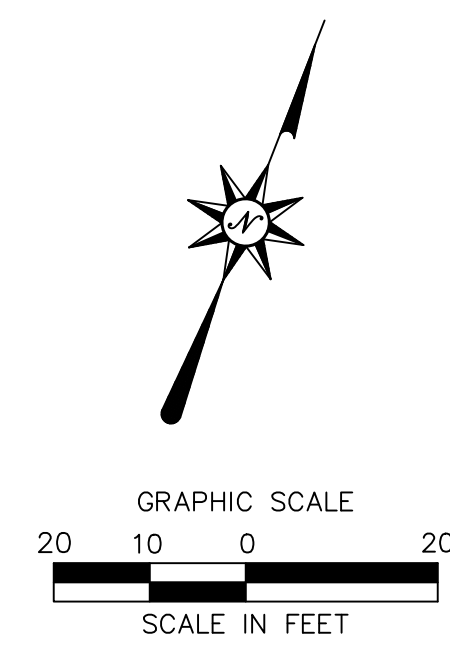
Title
**ALTA/NSPS
LAND TITLE
SURVEY**

Sheet No. 2 of 2

AL-1

DEMOLITION PLAN LEGEND

-  PROPERTY LINE
-  LIMIT OF DISTURBANCE AND SITE WORK CONTRACT LIMIT LINE
-  WETLAND LIMIT LINE
-  PROPOSED TREE DRIP LINE AND LIMIT OF CLEARING AND GRUBBING
-  SAWCUT LINE
-  EXISTING CONTOUR LINE (1' INTERVAL)
-  REMOVE AND DISPOSE OF UNDERGROUND STORMWATER OR UTILITY PIPE, CURB, FENCING, WALLS, OVERHEAD WIRES, ETC.
-  PROTECT EXISTING UTILITY LINE
-  REMOVE AND DISPOSE EXISTING STRUCTURE, FURNISHING, TREE, SHRUB, AND/OR STUMP
-  PROTECT EXISTING STRUCTURE/FURNISHING OR TREE
-  REMOVE AND DISPOSE OF EXISTING BITUMINOUS CONCRETE PAVEMENT STRUCTURE
-  CLEARING AND GRUBBING, REMOVE AND DISPOSE EXISTING TREES, SHRUBS, BRUSH, STUMPS, AND DEBRIS



100 Constitution Plaza
10th Floor
Hartford, CT 06103
(860) 249-2200
(860) 249-2400 Fax



APPLICANT:
Garrett Homes, LLC
59 Field Street
Torrington, CT 06790

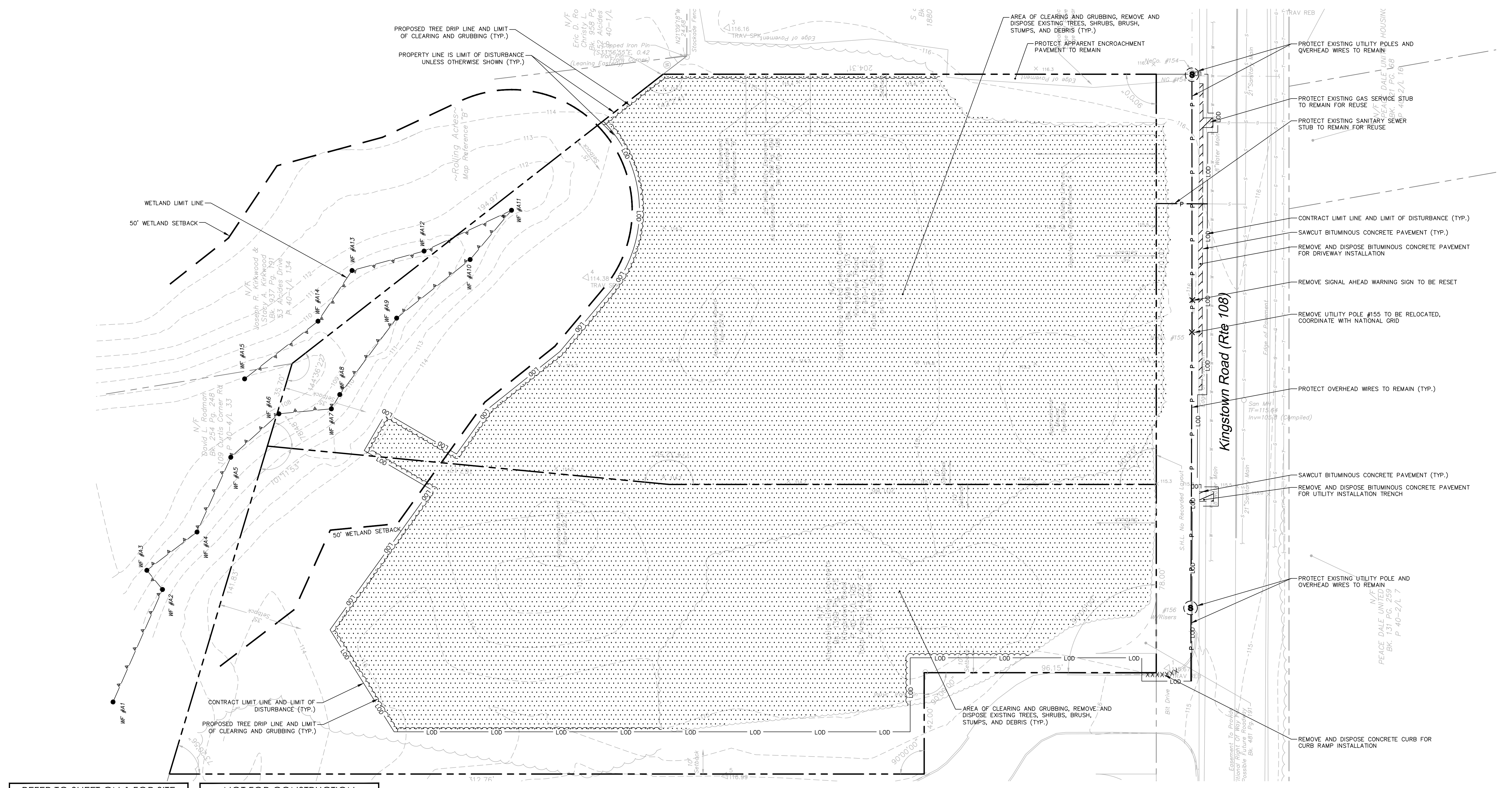
OWNER 1 (PARCEL 40-1/125):
SOUTH SHORE MENTAL HEALTH
CENTER, INC.
765 ALLENS AVE, STE 100
PROVIDENCE, RI 02905

OWNER 2 (PARCEL 40-1/126):
ALTERNATIVE LIVING CONCEPTS
C/O GATEWAY HEALTHCARE
249 ROOSEVELT AVE, STE 205
PAWTUCKET, RI 02860

PROPOSED RETAIL DEVELOPMENT 1860 KINGSTOWN ROAD (RI ROUTE 108) SOUTH KINGSTOWN, RHODE ISLAND

REVISIONS	Date	Desc.
No.		

Designed	C.J.L.
Drawn	C.J.L.
Reviewed	M.J.B.
Scale	1"=20'
Project No.	18C6704
Date	7/30/2020
CAD File:	DM18C670401
Title	DEMOLITION PLAN
Sheet No.	DM-1



REFER TO SHEET GN-1 FOR SITE WORK GENERAL NOTES

NOT FOR CONSTRUCTION FOR PERMITTING PURPOSES ONLY

7/30/2020, CHELSEA, G:\JRM\18C6704\DWG\DM18C670401.DWG, DM1 18C6704

Xref (s): 18D18C670401; 18C18C670401; 18C18C670400

SITE PLAN LEGEND

- PROPERTY LINE
- LIMIT OF DISTURBANCE AND SITE WORK CONTRACT LIMIT LINE
- WETLAND LIMIT LINE
- PROPOSED TREE DRIP LINE AND LIMIT OF CLEARING AND GRUBBING
- SAWCUT LINE
- PROVIDE AND INSTALL CURB, SEE PLAN FOR MATERIAL TYPE
- PROVIDE AND INSTALL 6' HIGH BLACK VINYL COATED CHAIN LINK FENCE WITH PRIVACY SLATS
- PROVIDE AND INSTALL TIMBER GUIDE RAIL
- PROVIDE AND INSTALL MODULAR BLOCK RETAINING WALL
- PROVIDE AND INSTALL CONCRETE PAVEMENT, CONCRETE SIDEWALK, OR MONOLITHIC CONCRETE CURB AND SIDEWALK STRUCTURE
- PROVIDE AND INSTALL FULL DEPTH STANDARD DUTY BITUMINOUS CONCRETE PAVEMENT STRUCTURE
- PROVIDE AND INSTALL FULL DEPTH HEAVY DUTY BITUMINOUS CONCRETE PAVEMENT STRUCTURE
- PROVIDE AND INSTALL RIPRAP
- DESIGNATED SNOW STORAGE AREA
- PROVIDE AND INSTALL TRAFFIC SIGN
- STANDARD PARKING STALL COUNT
- HANDICAP PARKING STALL COUNT

ZONING INFORMATION

LOCATION: SOUTH KINGSTOWN, WASHINGTON COUNTY, RHODE ISLAND

ZONE: MU (MIXED USE / KINGSTOWN ROAD SPECIAL MANAGEMENT DISTRICT)

USE: RETAIL (PERMITTED USE WITH SPECIAL PERMIT)

ITEM #	ITEM	REQUIREMENTS	PROPOSED	VARIANCE
1	MINIMUM LOT AREA	10,000 S.F.	94,902 S.F. (2,179 AC.)	NO
2	MINIMUM LOT WIDTH	70 FEET	170 FEET	NO
3	MINIMUM LOT FRONTAGE	70 FEET	170 FEET	NO
4	MINIMUM FRONT SETBACK	25 FEET	26 FEET	NO
5	MINIMUM SIDE SETBACK	10 FEET (15 FEET TO RESIDENTIAL)	68 FEET (132.2 FEET RESIDENTIAL)	NO
6	MINIMUM REAR SETBACK	20 FEET (35 FEET TO RESIDENTIAL)	246.3 FEET	NO
7	MAXIMUM BUILDING HEIGHT	35 FEET	< 35 FEET/1 STORY	NO
8	MAXIMUM BUILDING COVERAGE	30 PERCENT	8.0 PERCENT	NO

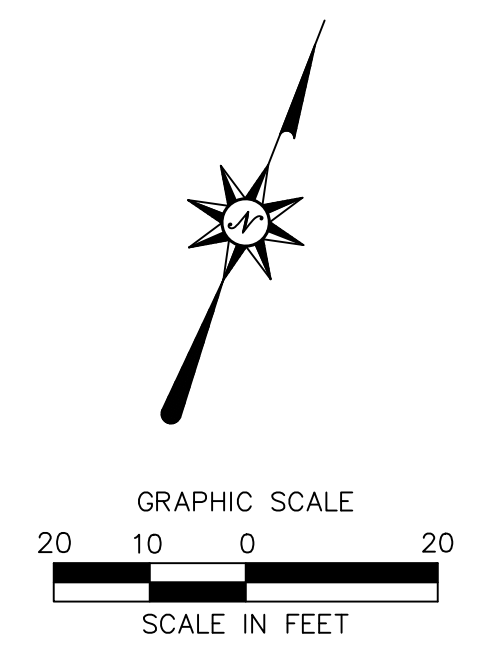
PARKING INFORMATION

ITEM #	ITEM	REQUIREMENTS	PROPOSED	VARIANCE
1	BUILDING SIZE	7,500 S.F. GROSS LEASABLE FLOOR AREA (GLFA)	7,020 S.F. GLFA, 7,545 S.F. GFA	NO
2	PARKING REQUIRED	RETAIL 1 SPACE PER EVERY 350 S.F. GLFA TOTAL REQUIRED = 21 SPACES	24 SPACES	NO
3	MINIMUM HANDICAPPED PARKING SPACES REQUIRED	2 SPACES (1 VAN ACCESSIBLE)	2 SPACES (2 VAN ACCESSIBLE)	NO
4	MINIMUM PARKING DIMENSIONS	9 FEET X 18 FEET 350 S.F. INCLUDING AISLE WIDTH	9 FEET X 20 FEET 405 S.F. WITH AISLE	NO
5	MINIMUM AISLE WIDTH	24 FEET - 2-WAY	24 FEET - 2-WAY	NO
6	MINIMUM FRONT SETBACK	25 FEET	26 FEET	NO
7	MINIMUM SIDE SETBACK	10 FEET (15 FEET TO RESIDENTIAL)	11.9 FEET (53.9 FEET RESIDENTIAL)	NO
8	MINIMUM REAR SETBACK	20 FEET (35 FEET TO RESIDENTIAL)	145.9 FEET	NO
9	MAXIMUM PARKING AREA	NO REQUIREMENT	25,005 S.F.	NO
10	MINIMUM INTERIOR LANDSCAPING	8% OF TOTAL PARKING AREA	2,700 S.F. / 25,005 S.F. 10.8%	NO

SIGN LEGEND

SIGN NO.	MUTCD NO.	LEGEND
A	R1-1	STOP 30"
B	R7-8	RESERVED PARKING
C	R7-8a	VAN ACCESSIBLE

NOTE: HANDICAPPED SIGNS TO BE INSTALLED IN PIPE BOLLARDS (SEE DETAIL). ALL HANDICAP SIGNAGE TO CONFORM TO LATEST BUILDING CODE.



100 Constitution Plaza
10th Floor
Hartford, CT 06103
(860) 249-2200
(860) 249-2400 Fax



APPLICANT:
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59 Field Street
Torrington, CT 06790

OWNER 1 (PARCEL 40-1/125):
SOUTH SHORE MENTAL HEALTH CENTER, INC.
765 ALLENS AVE, STE 100
PROVIDENCE, RI 02905

OWNER 2 (PARCEL 40-1/126):
ALTERNATIVE LIVING CONCEPTS
C/O GATEWAY HEALTHCARE
249 ROOSEVELT AVE, STE 205
PAWTUCKET, RI 02860

PROPOSED RETAIL DEVELOPMENT
1860 KINGSTOWN ROAD (RT ROUTE 108)
SOUTH KINGSTOWN, RHODE ISLAND

REVISIONS

No.	Date	Description

Designed: C.J.L.
Drawn: C.J.L.
Reviewed: M.J.B.
Scale: 1"=20'
Project No.: 18C6704
Date: 7/30/2020
CAD File: SP18C670401

Title: **SITE PLAN**

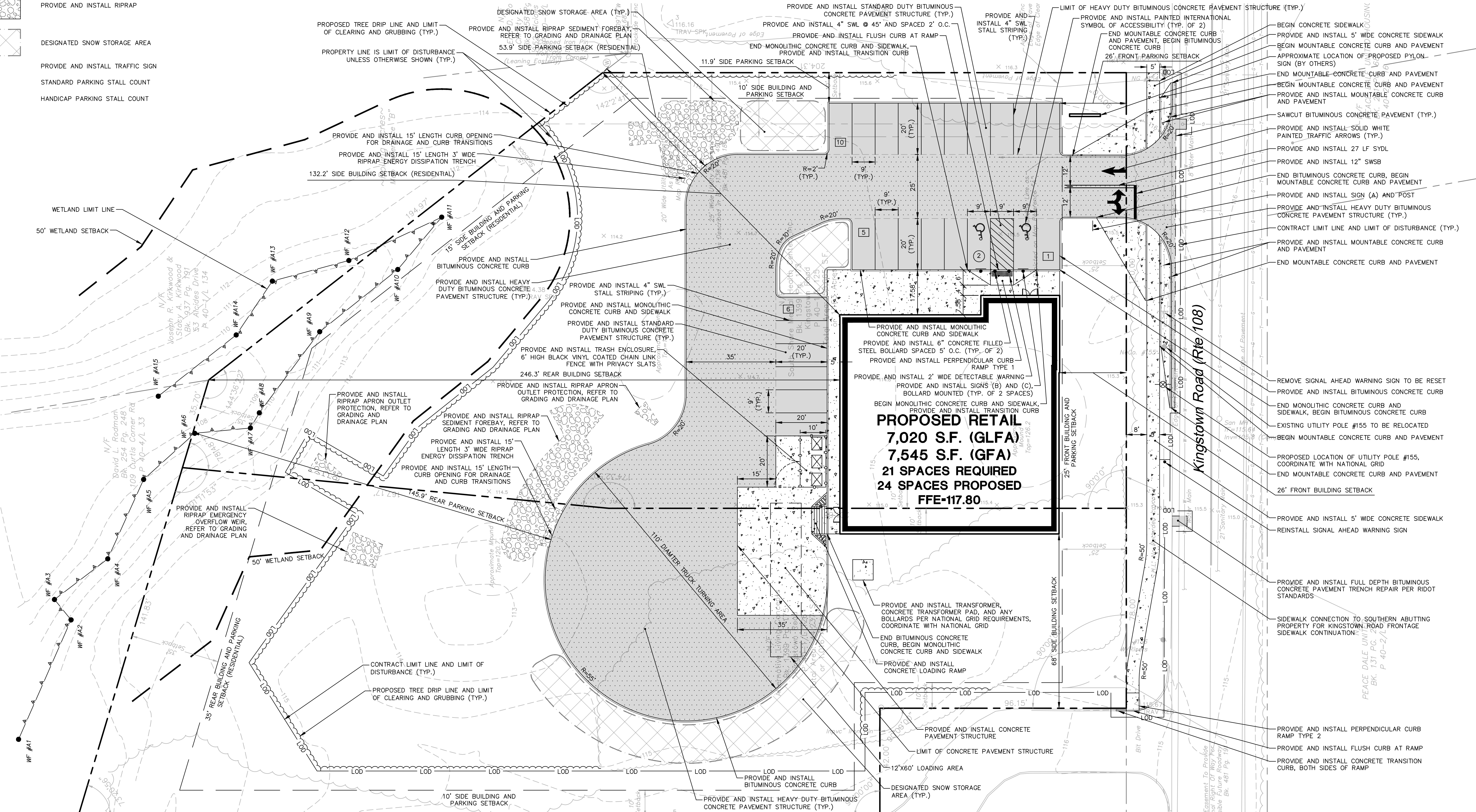
Sheet No. _____

SP-1

REFER TO SHEET GN-1 FOR SITE WORK GENERAL NOTES

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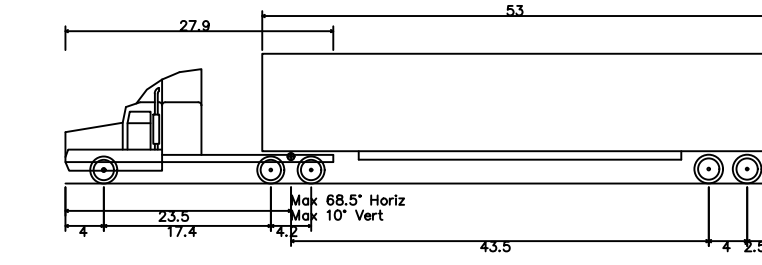
PROPOSED RETAIL DEVELOPMENT
1860 KINGSTOWN ROAD (RI ROUTE 108)
SOUTH KINGSTOWN, RHODE ISLAND

REVISIONS	Date	Desc.
No.		

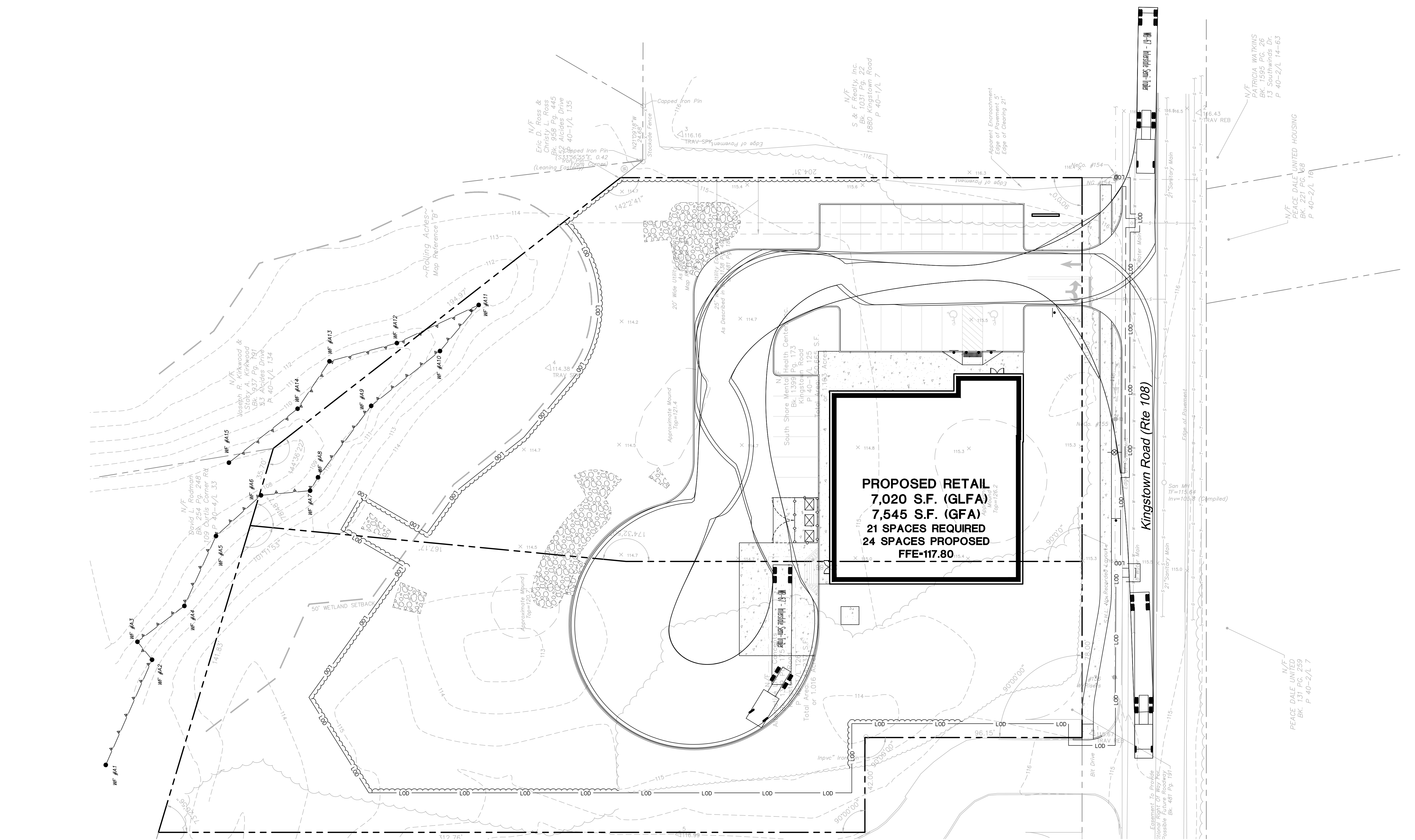
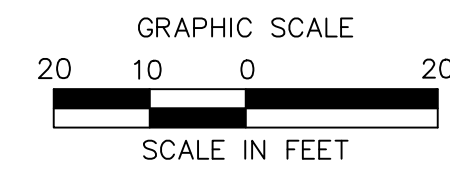
Designed C.J.L.
Drawn C.J.L.
Reviewed M.J.B.
Scale 1"=20'
Project No. 18C6704
Date 7/30/2020
CAD File: T118C670401

Title
**TRUCK TURN
PLAN - WB-67**

Sheet No.



WB-67 - Interstate Semi-Trailer
Overall Length 73.50ft
Overall Width 8.50ft
Overall Body Height 13.50ft
Min Body Ground Clearance 8.5ft
Max Truck Width 8.50ft
Lock-to-lock time 6.00s
Max Steering Angle (Virtual) 28.4°

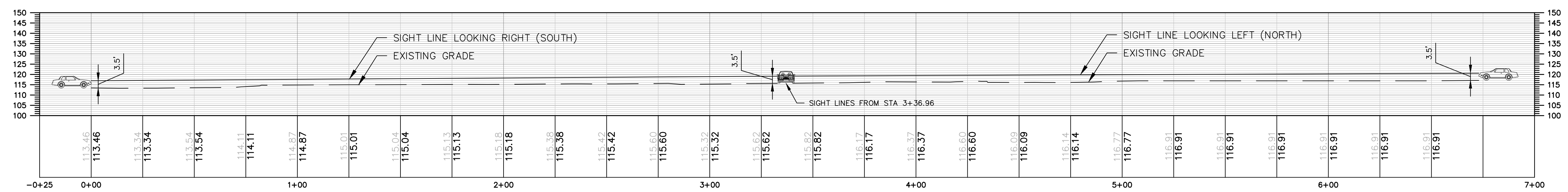


REFER TO SHEET GN-1 FOR SITE
WORK GENERAL NOTES

NOT FOR CONSTRUCTION
FOR PERMITTING PURPOSES ONLY

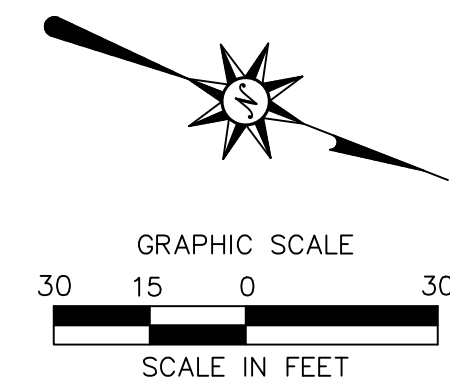


INTERSECTION SIGHT DISTANCE - SIGHT LINE



NOTES

- THE REQUIRED INTERSECTION SIGHT DISTANCE (ISD) WAS CALCULATED AS DESCRIBED IN 6TH EDITION OF THE AASHTO PUBLICATION "A POLICY ON GEOMETRIC DESIGN OF HIGHWAYS AND STREETS" EQUATION 9-1. ISD LENGTH WAS CALCULATED AS FOLLOWS:
 $ISD = 1.47 \cdot V_{MA} \cdot T_G$
 $V_{MA} = 30 \text{ MPH (DESIGN SPEED)}$
 $T_G = 7.5 \text{ SEC (PASSENGER CAR LEFT TURN FROM STOP TIME GAP)}$
 $ISD = 1.47 \cdot 30 \cdot 7.5 = 330.8 \text{ FT (335 FEET USED)}$



REFER TO SHEET GN-1 FOR SITE WORK GENERAL NOTES

NOT FOR CONSTRUCTION FOR PERMITTING PURPOSES ONLY

PROPOSED RETAIL DEVELOPMENT
1860 KINGSTOWN ROAD (RI ROUTE 108)
SOUTH KINGSTOWN, RHODE ISLAND

REVISIONS	Date
No.	Date

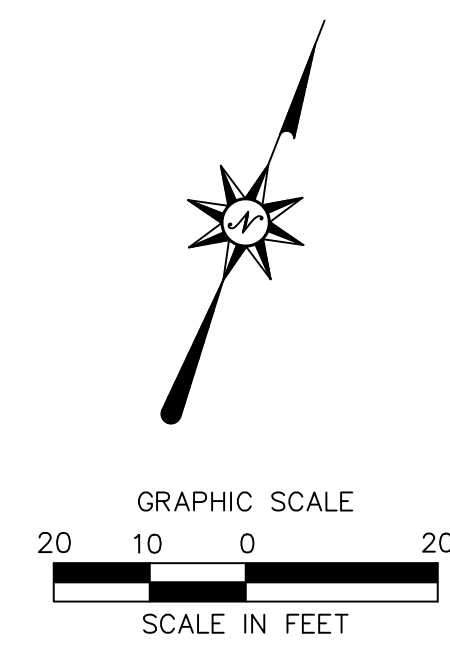
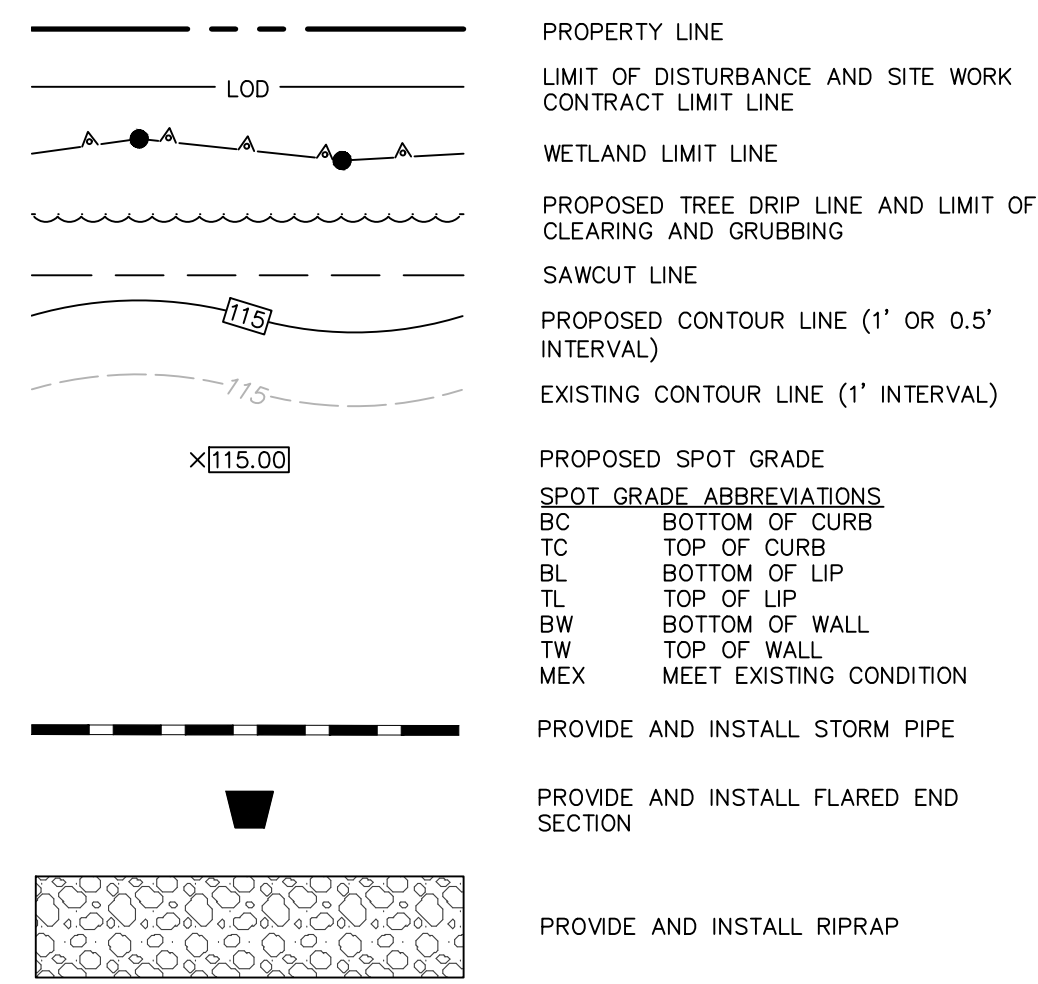
Designed	C.J.L.
Drawn	C.J.L.
Reviewed	M.J.B.
Scale	1"=30'
Project No.	18C6704
Date	7/30/2020
CAD File:	SD18C670401

INTERSECTION SIGHT DISTANCE PLAN

Sheet No.

SD-1

GRADING AND DRAINAGE LEGEND



100 Constitution Plaza
10th Floor
Hartford, CT 06103
(860) 249-2200
(860) 249-2400 Fax



APPLICANT:
Garrett Homes, LLC
59 Field Street
Torrington, CT 06790

OWNER 1 (PARCEL 40-1/125):
SOUTH SHORE MENTAL HEALTH
CENTER, INC.
765 ALLENS AVE, STE 100
PROVIDENCE, RI 02905

OWNER 2 (PARCEL 40-1/126):
ALTERNATIVE LIVING CONCEPTS
C/O GATEWAY HEALTHCARE
249 ROOSEVELT AVE, STE 205
PAWTUCKET, RI 02860

PROPOSED RETAIL DEVELOPMENT
1860 KINGSTOWN ROAD (Rt ROUTE 108)
SOUTH KINGSTOWN, RHODE ISLAND

REVISIONS	Date	By
No.	Date	By

Designed C.J.L.
Drawn C.J.L.
Reviewed M.J.B.
Scale 1"=20'
Project No. 18C6704
Date 7/30/2020
CAD File: GD18C670401

GRADING AND DRAINAGE PLAN

Sheet No.

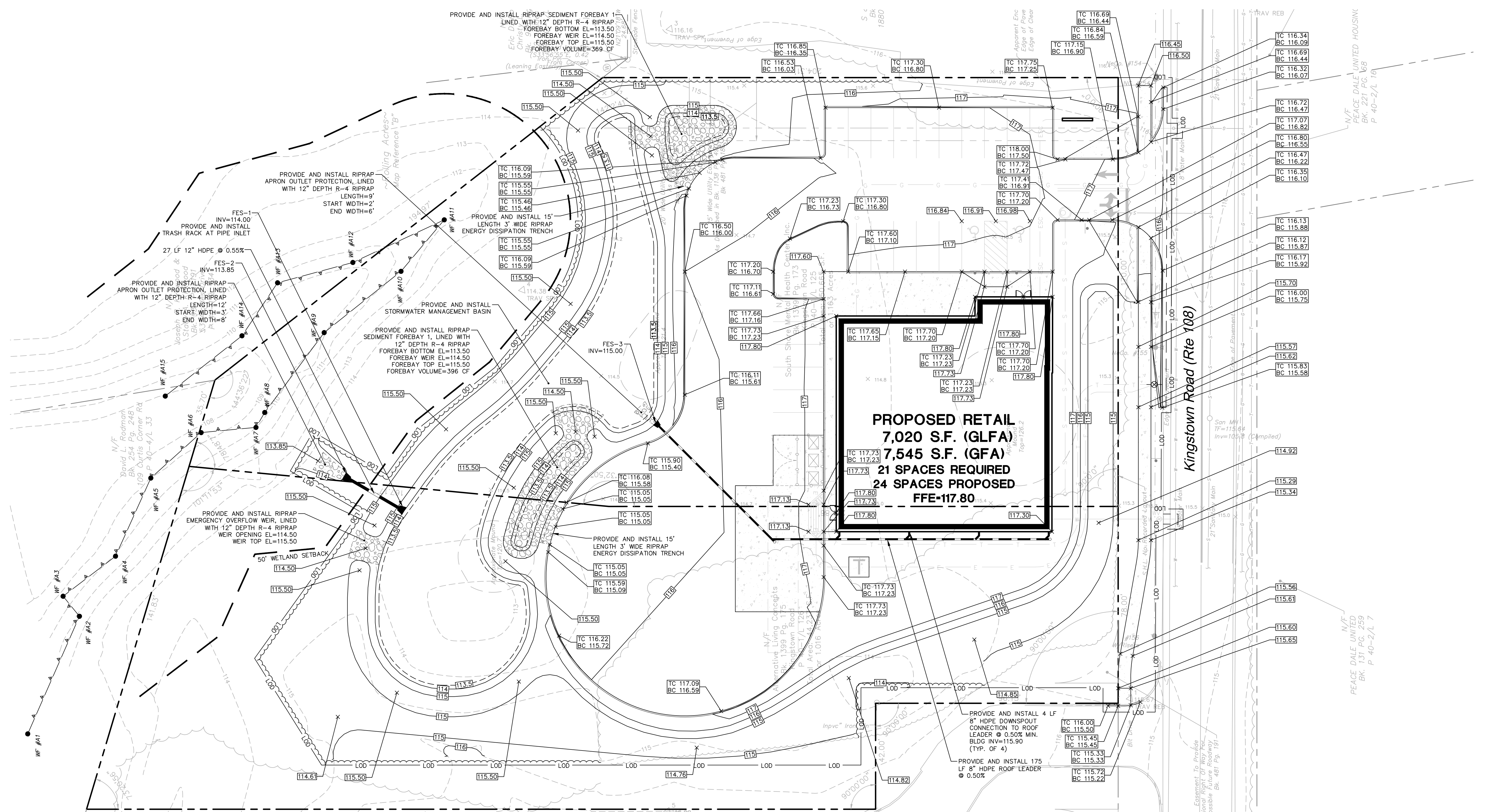
GD-1

REFER TO SHEET GN-1 FOR SITE WORK GENERAL NOTES

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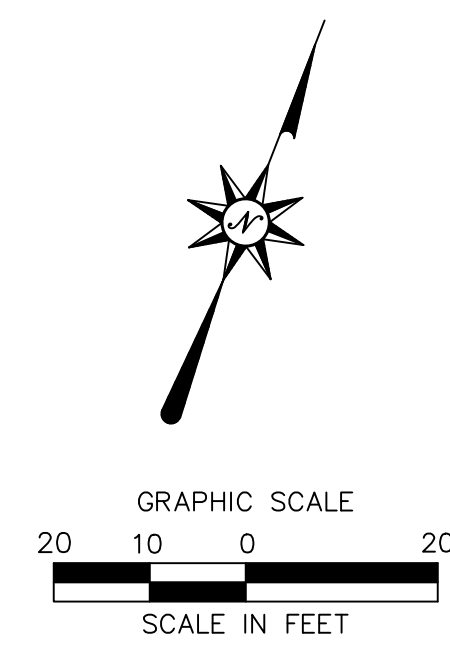
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Xref (S): 18D18C670401; 18C670401; 18C670402; 18C670403; 18C670404



SITE UTILITIES LEGEND

- PROPERTY LINE
- LOD
- LIMIT OF DISTURBANCE AND SITE WORK CONTRACT LIMIT LINE
- WETLAND LIMIT LINE
- PROPOSED TREE DRIP LINE AND LIMIT OF CLEARING AND GRUBBING
- SAWCUT LINE
- W --- W --- W
- PROVIDE AND INSTALL WATER SERVICE LINE
- S --- S --- S
- PROVIDE AND INSTALL SANITARY SEWER SERVICE LINE
- G --- G --- G
- PROVIDE AND INSTALL PROPANE GAS SERVICE LINE
- E --- E --- E
- PROVIDE AND INSTALL CONDUIT(S) FOR ELECTRICAL SERVICE
- ESC --- ESC
- PROVIDE AND INSTALL CONDUIT(S) FOR ELECTRIC SIGN CIRCUIT
- T --- T --- T
- PROVIDE AND INSTALL CONDUIT(S) FOR TELECOMMUNICATIONS SERVICE
- PROVIDE AND INSTALL SANITARY SEWER MANHOLE



100 Constitution Plaza
10th Floor
Hartford, CT 06103
(860) 249-2200
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APPLICANT:
Garrett Homes, LLC
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C/O GATEWAY HEALTHCARE
249 ROOSEVELT AVE, STE 205
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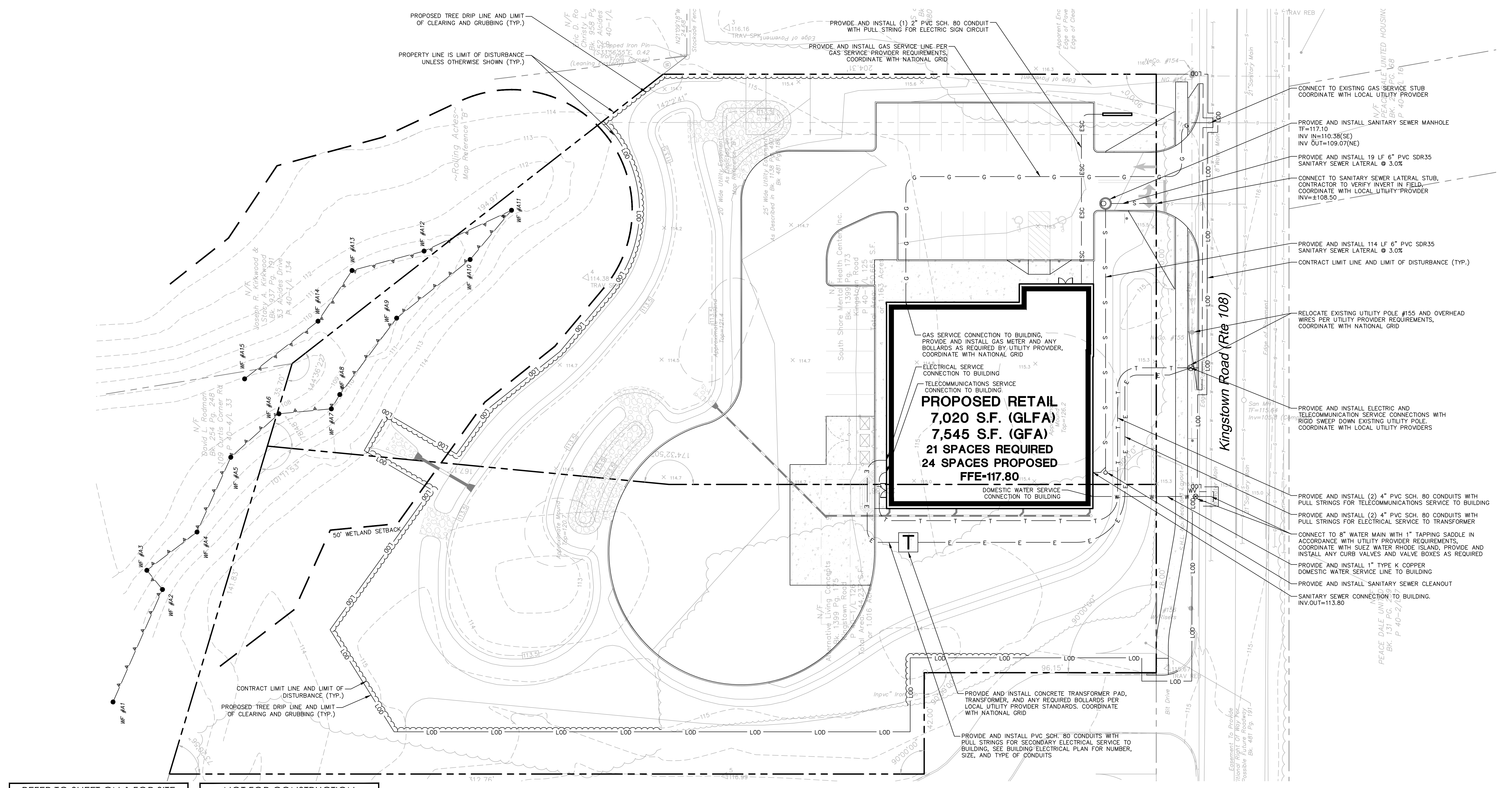
PROPOSED RETAIL DEVELOPMENT
1860 KINGSTOWN ROAD (RI ROUTE 108)
SOUTH KINGSTOWN, RHODE ISLAND

REVISIONS	Date	Desc.
No.		

Designed C.J.L.
Drawn C.J.L.
Reviewed M.J.B.
Scale 1"=20'
Project No. 18C6704
Date 7/30/2020
CAD File: SU18C670401

SITE UTILITIES PLAN

Sheet No. **SU-1**



REFER TO SHEET GN-1 FOR SITE WORK GENERAL NOTES

NOT FOR CONSTRUCTION FOR PERMITTING PURPOSES ONLY

7/27/2020, CHEUREUX, G:\JRM\18C6704\DWG\SU18C670401.DWG, \$U1 2403, 290C.

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SEDIMENT AND EROSION CONTROL NOTES

SEDIMENT AND EROSION CONTROL NOTES

SEDIMENT & EROSION CONTROL NARRATIVE

THE SEDIMENT AND EROSION CONTROL PLAN WAS DEVELOPED TO PROTECT THE EXISTING ROADWAY AND STORM DRAINAGE SYSTEMS, ADJACENT PROPERTIES, AND ANY ADJACENT WETLAND AREA AND ANY ADJACENT WATER COURSE FROM SEDIMENT LADEN SURFACE RUNOFF AND EROSION. A CONSTRUCTION SEQUENCE IS PROVIDED TO PROVIDE SURFACE RUNOFF EROSION CONTROLS PRIOR TO THE BEGINNING OF PROJECT DEMOLITION AND/OR CONSTRUCTION.

CONSTRUCTION SCHEDULE

THE ANTICIPATED STARTING DATE FOR CONSTRUCTION IS FALL 2020 WITH COMPLETION ANTICIPATED SPRING 2021. APPROPRIATE SEDIMENT AND EROSION CONTROL MEASURES AS DESCRIBED HEREIN SHALL BE INSTALLED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF ALL DEMOLITION OR CONSTRUCTION ACTIVITY. SCHEDULE WORK TO MINIMIZE THE LENGTH OF TIME THAT BARE SOIL WILL BE EXPOSED.

CONTINGENCY EROSION PLAN

THE CONTRACTOR SHALL INSTALL ALL SPECIFIED SEDIMENT AND EROSION CONTROL MEASURES AND WILL BE REQUIRED TO MAINTAIN THEM IN THEIR INTENDED FUNCTIONING CONDITION. THE TOWN OF SOUTH KINGSTOWN AND/OR CIVIL ENGINEER SHALL HAVE THE AUTHORITY TO REQUIRE SUPPLEMENTAL MAINTENANCE OR ADDITIONAL MEASURES IF FIELD CONDITIONS ARE ENCOUNTERED BEYOND WHAT WOULD NORMALLY BE ANTICIPATED.

CONSTRUCTION SEQUENCE

THE FOLLOWING CONSTRUCTION SEQUENCE IS RECOMMENDED:

- CONTACT TOWN OF SOUTH KINGSTOWN AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO COMMENCEMENT OF ANY DEMOLITION, CONSTRUCTION OR REGULATED ACTIVITY ON THIS PROJECT.
- CLEARING LIMITS SHALL BE PHYSICALLY MARKED IN THE FIELD AND APPROVED BY THE TOWN OF SOUTH KINGSTOWN PRIOR TO THE START OF WORK ON THE SITE. INSTALL PERIMETER SILT FENCE, INSTALL ORANGE CONSTRUCTION FENCE 2' OFFSET FROM THE WETLAND BUFFER TO PROTECT THE BUFFER DURING CONSTRUCTION.
- CONSTRUCT CONSTRUCTION ENTRANCE AT CONSTRUCTION ENTRANCE/EXIT.
- CLEAR AND GRUB SITE, STOCKPILE CHIPS, STOCKPILE TOPSOIL. INSTALL SEDIMENT AND EROSION CONTROLS AT STOCKPILES.
- REMOVE EXISTING PAVEMENT WHERE SHOWN ON PLAN.
- COMMENCE EARTHWORK, TOPSOIL AND SEED SLOPES WHICH HAVE ACHIEVED FINAL SITE GRADING.
- CONSTRUCTION STAKING OF ALL BUILDING CORNERS, UTILITIES, ACCESS DRIVES, AND PARKING AREAS.
- ROUGH GRADING AND FILLING OF SUBGRADES AND SLOPES.
- IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.
- BEFORE DISPOSING OF SOIL OR RECEIVING BORROW FOR THE SITE, THE CONTRACTOR MUST PROVIDE EVIDENCE THAT EACH SPOIL OR BORROW AREA HAS A SEDIMENT AND EROSION CONTROL PLAN APPROVED BY THE TOWN OF SOUTH KINGSTOWN AND WHICH IS BEING IMPLEMENTED AND MAINTAINED. THE CONTRACTOR SHALL ALSO NOTIFY THE TOWN OF SOUTH KINGSTOWN IN WRITING OF ALL RECEIVING SPOIL AND BORROW AREAS WHEN THEY HAVE BEEN IDENTIFIED.
- CONTINUE INSTALLATION OF STORM DRAINAGE AS SUBGRADE ELEVATIONS ARE ACHIEVED.
- BUILDING FOUNDATION SUBGRADE, RETAINING WALL SUBGRADE AND PAD SUBGRADE PREPARATION.
- BUILDING FOUNDATION CONSTRUCTION, BEGIN BUILDING SUPERSTRUCTURE.
- THROUGHOUT CONSTRUCTION SEQUENCE, REMOVE SEDIMENT FROM BEHIND SILT FENCES. REMOVAL SHALL BE ON A PERIODIC BASIS (EVERY SIGNIFICANT RAINFALL OF 0.25 INCH OR GREATER). INSPECTION OF SEDIMENT AND EROSION CONTROL MEASURES SHALL BE ON A WEEKLY BASIS AND AFTER EACH RAINFALL OF 0.25 INCHES OR GREATER. SEDIMENT COLLECTED SHALL BE DEPOSITED AND SPREAD EVENLY UPLAND ON SLOPES DURING CONSTRUCTION.
- INSTALL SANITARY LATERAL AND UTILITIES, COMPLETE STORM DRAINAGE SYSTEM.
- INSTALL SITE LIGHTING AND TRASH ENCLOSURE.
- COMPLETE GRADING TO SUBGRADES AND CONSTRUCT PARKING AREA SUBGRADE.
- CONSTRUCT CURBS, PAVEMENT STRUCTURE AND SIDEWALKS.
- CONDUCT FINE GRADING.
- PAVING OF PARKING AREAS AND DRIVEWAYS
- FINAL FINE GRADING OF SLOPE AND NON-PAVED AREAS.
- PLACE 4" TOPSOIL ON SLOPES AFTER FINAL GRADING IS COMPLETED, FERTILIZE SEED AND MULCH. SEED MIXTURE TO BE INSTALLED AUGUST 15--OCTOBER 1. USE EROSION CONTROL BLANKETS AS REQUIRED OR GREATER FOR SLOPES GREATER THAN 3:1. FOR TEMPORARY STABILIZATION BEYOND SEEDING DATES USE ANNUAL RYE AT 4.0 LBS/1,000 S.F. FERTILIZE WITH 10-10-10 AT 1.0 LBS. OF NITROGEN PER 1,000 S.F. AND LIME AT 100 LBS/1,000 S.F. (MAX.).
- LANDSCAPE PERIMETER AREAS.
- INSTALL SIGNING AND PAVEMENT MARKINGS.
- CLEAN STORM DRAINAGE DETENTION SYSTEMS AND WATER QUALITY DEVICES OF DEBRIS AND SEDIMENT.
- UPON DIRECTION OF THE TOWN OF SOUTH KINGSTOWN, SEDIMENT AND EROSION CONTROL MEASURES SHALL BE REMOVED FOLLOWING STABILIZATION OF THE SITE.

OPERATION REQUIREMENTS

CLEARING AND GRUBBING OPERATIONS

- ALL SEDIMENT AND EROSION CONTROL MEASURES, INCLUDING THE CONSTRUCTION ENTRANCE, WILL BE INSTALLED PRIOR TO THE START OF CLEARING AND GRUBBING AND DEMOLITION OPERATIONS.
- FOLLOWING INSTALLATION OF SEDIMENT AND EROSION CONTROL MEASURES, THE CONTRACTOR SHALL NOT PROCEED WITH GRADING, FILLING OR OTHER CONSTRUCTION OPERATIONS UNTIL THE ENGINEER HAS INSPECTED AND APPROVED INSTALLATIONS.
- THE CONTRACTOR SHALL TAKE EXTREME CARE DURING CLEARING AND GRUBBING OPERATIONS SO AS NOT TO DISTURB UNPROTECTED WETLAND AREAS OR SEDIMENT AND EROSION CONTROL DEVICES.
- FOLLOWING THE COMPLETION OF CLEARING AND GRUBBING OPERATIONS, ALL AREAS SHALL BE STABILIZED WITH TOPSOIL AND SEEDING OR CRUSHED STONE AS SOON AS PRACTICAL.

ROUGH GRADING OPERATIONS

- DURING THE REMOVAL AND/OR PLACEMENT OF EARTH AS INDICATED ON THE GRADING PLAN, TOPSOIL SHALL BE STRIPPED AND APPROPRIATELY STOCKPILED FOR REUSE.
- ALL STOCKPILED TOPSOIL SHALL BE SEED, MULCH WITH HAY, AND ENCLOSED BY A SILTATION FENCE.

FILLING OPERATIONS

- PRIOR TO FILLING, ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE PROPERLY IMPLEMENTED, MAINTAINED AND FULLY INSTALLED, AS DIRECTED BY THE ENGINEER AND AS SHOWN ON THIS PLAN.
- ALL FILL MATERIAL ADJACENT TO ANY WETLAND AREAS, IF APPLICABLE TO THIS PROJECT, SHALL BE GOOD QUALITY, WITH LESS THAN 5% FINES PASSING THROUGH A #200 SIEVE (BANK RUN), SHALL BE PLACED IN LIFT THICKNESSES NOT GREATER THAN THAT SPECIFIED IN PROJECT SPECIFICATIONS AND/OR THE PROJECT GEOTECHNICAL REPORT. LIFTS SHALL BE COMPACTED TO 95% MAX. DRY DENSITY MODIFIED PROCTOR OR AS SPECIFIED IN THE CONTRACT SPECIFICATIONS OR IN THE GEOTECHNICAL REPORT.
- AS GENERAL GRADING OPERATIONS PROGRESS, ANY TEMPORARY DIVERSION DITCHES SHALL BE RAISED OR LOWERED, AS NECESSARY, TO DIVERT SURFACE RUNOFF TO THE SEDIMENT BASINS OR SEDIMENT TRAPS.

PLACEMENT OF DRAINAGE STRUCTURES, UTILITIES, AND BUILDING CONSTRUCTION OPERATIONS.

- SILT FENCES SHALL BE INSTALLED AT THE DOWNHILL SIDES OF BUILDING EXCAVATIONS, MUD PUMP DISCHARGES, AND UTILITY TRENCH MATERIAL STOCKPILES. HAY BALES/STRAW BALES MAY BE USED IF SHOWN ON THE SEDIMENT AND EROSION CONTROL PLANS OR IF DIRECTED BY THE CIVIL ENGINEER.

FINAL GRADING AND PAVING OPERATIONS

- ALL INLET AND OUTLET PROTECTION SHALL BE PLACED AND MAINTAINED AS SHOWN ON SEDIMENT AND EROSION PLAN AND DETAILS AND AS DESCRIBED IN SPECIFICATIONS AND AS DESCRIBED HEREIN.
- NO CUT OR FILL SLOPES SHALL EXCEED 2:1 EXCEPT WHERE STABILIZED BY ROCK FACED EMBANKMENTS OR EROSION CONTROL BLANKETS, OR JUTE MESH AND VEGETATION. ALL SLOPES SHALL BE SEED, AND ANY ROAD OR DRIVEWAY SHOULDER AND BANKS SHALL BE STABILIZED IMMEDIATELY UPON COMPLETION OF FINAL GRADING UNTIL TURF IS ESTABLISHED.
- PAVEMENT SUB-BASE AND BASE COURSES SHALL BE INSTALLED OVER AREAS TO BE PAVED AS SOON AS FINAL SUB-GRADES ARE ESTABLISHED AND UNDERGROUND UTILITIES AND STORM DRAINAGE SYSTEMS HAVE BEEN INSTALLED.
- AFTER CONSTRUCTION OF PAVEMENT, TOPSOIL, FINAL SEED, MULCH AND LANDSCAPING, REMOVE ALL TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES ONLY AFTER ALL AREAS HAVE BEEN PAVED AND/OR GRASS HAS BEEN WELL ESTABLISHED AND THE SITE IS STABLE AND HAS BEEN INSPECTED AND APPROVED BY THE TOWN OF SOUTH KINGSTOWN.

INSTALLATION OF SEDIMENTATION AND EROSION CONTROL MEASURES

- SILTATION FENCE
 - DIG A SIX INCH TRENCH ON THE UPHILL SIDE OF THE DESIGNATED FENCE LINE LOCATION.
 - POSITION THE POST AT THE BACK OF THE TRENCH (DOWNHILL SIDE), AND HAMMER THE POST AT LEAST 1.5 FEET INTO THE GROUND.
 - LAY THE BOTTOM SIX INCHES OF THE FABRIC INTO THE TRENCH TO PREVENT UNDERMINING BY STORM WATER RUN-OFF.
 - BACKFILL THE TRENCH AND COMPACT.
- STRAW BALES
 - BALES SHALL BE PLACED IN A SINGLE ROW, LENGTHWISE, ORIENTED PARALLEL TO THE CONTOUR, WITH ENDS OF ADJACENT BALES TIGHTLY ABUTTING ONE ANOTHER.

- BALES SHALL BE ENTRENCHED AND BACKFILLED. A TRENCH SHALL BE EXCAVATED THE WIDTH OF A BALE AND THE LENGTH OF THE PROPOSED BARRIER TO A MINIMUM DEPTH OF FOUR INCHES. AFTER THE BALES ARE STAKED, THE EXCAVATED SOIL SHALL BE BACKFILLED AGAINST THE BARRIER.
- EACH BALE SHALL BE SECURELY ANCHORED BY AT LEAST TWO (2) STAKES.
- THE GAPS BETWEEN BALES SHALL BE WEDGED WITH STRAW TO PREVENT WATER LEAKAGE.
- THE BARRIER SHALL BE EXTENDED TO SUCH A LENGTH THAT THE BOTTOMS OF THE END BALES ARE HIGHER IN ELEVATION THAN THE TOP OF THE LOWEST MIDDLE BALE, TO ENSURE THAT RUN-OFF WILL FLOW EITHER THROUGH OR OVER THE BARRIER, BUT NOT AROUND IT.

OPERATION AND MAINTENANCE OF SEDIMENT AND EROSION CONTROL MEASURES

- SILTATION FENCE
 - SILTATION FENCES SHALL BE INSPECTED AS A MINIMUM WEEKLY OR AFTER EACH RAINFALL. ALL DETERIORATED FABRIC AND DAMAGED POSTS SHALL BE REPLACED AND PROPERLY REPOSITIONED IN ACCORDANCE WITH THIS PLAN.
 - SEDIMENT DEPOSITS SHALL BE REMOVED FROM BEHIND THE FENCE WHEN THEY EXCEED A HEIGHT OF SIX INCHES.
- HAY BALES/STRAW BALES
 - ALL HAY BALE/STRAW BALE RINGS SHALL BE INSPECTED FOLLOWING EACH RAINFALL. REPAIR OR REPLACEMENT SHALL BE PROMPTLY MADE AS NEEDED.
 - DEPOSITS SHALL BE REMOVED AND CLEANED-OUT IF ONE HALF OF THE ORIGINAL HEIGHT OF THE BALES BECOMES FILLED WITH SEDIMENT.

SEDIMENT AND EROSION CONTROL PLAN

- HAY BALE/STRAW BALE FILTERS WILL BE INSTALLED AT ALL CULVERT OUTLETS IF ALL CULVERT OUTLETS ARE APPLICABLE TO THIS PROJECT AND SILTATION FENCE INSTALLED ALONG THE TOE OF ALL CRITICAL CUT AND FILL SLOPES.
- CULVERT DISCHARGE AREAS WILL BE PROTECTED WITH RIP RAP OUTLET PROTECTION. ENERGY DISSIPATORS WILL BE INSTALLED AS SHOWN ON THE GRADING AND DRAINAGE PLAN AS NECESSARY.
- CATCH BASINS WILL BE PROTECTED WITH HAY BALE/STRAW BALE FILTERS, SILT SACKS, SILTATION FENCE, OR OTHER INLET PROTECTION DEVICES PER DETAILS THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE THOROUGHLY STABILIZED.
- ALL SEDIMENT AND EROSION CONTROL MEASURES WILL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK LATEST EDITION.
- SEDIMENT AND EROSION CONTROL MEASURES WILL BE INSTALLED PRIOR TO DEMOLITION AND/OR CONSTRUCTION WHENEVER POSSIBLE.
- CONTROL MEASURES WILL BE MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE DEMOLITION AND CONSTRUCTION PERIOD UNTIL THE SITE IS DETERMINED TO BE STABILIZED BY THE AUTHORITY HAVING JURISDICTION.
- ADDITIONAL CONTROL MEASURES WILL BE INSTALLED DURING THE CONSTRUCTION PERIOD, IF NECESSARY OR REQUIRED OR AS DIRECTED BY THE CIVIL ENGINEER OR BY THE AUTHORITY HAVING JURISDICTION.
- SEDIMENT REMOVED FROM EROSION CONTROL STRUCTURES WILL BE DISPOSED IN A MANNER WHICH IS CONSISTENT WITH THE INTENT AND REQUIREMENTS OF THE SEDIMENT AND EROSION CONTROL PLANS, NOTES, AND DETAILS.
- CONTRACTOR IS ASSIGNED THE RESPONSIBILITY FOR IMPLEMENTING THIS SEDIMENT AND EROSION CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN, NOTIFICATION OF THE TOWN OF SOUTH KINGSTOWN AND RIDEM OF ANY TRANSFER OF THIS RESPONSIBILITY AND FOR CONVEYING A COPY OF THE SEDIMENT AND EROSION CONTROL PLAN IF THE TITLE TO THE LAND IS TRANSFERRED.

SEDIMENT AND EROSION CONTROL NOTES

- THE SEDIMENT AND EROSION CONTROL PLAN IS ONLY INTENDED TO DESCRIBE THE SEDIMENT AND EROSION CONTROL TREATMENT FOR THIS SITE. SEE SEDIMENT AND EROSION CONTROL DETAILS AND CONSTRUCTION SEQUENCE. REFER TO SITE PLAN FOR GENERAL INFORMATION AND OTHER CONTRACT PLANS FOR APPROPRIATE INFORMATION.
- CONTRACTOR REPRESENTATIVE, IS RESPONSIBLE FOR IMPLEMENTING THIS SEDIMENT AND EROSION CONTROL PLAN, AND CAN BE REACHED AT THE PHONE NUMBER PROVIDED. THIS RESPONSIBILITY INCLUDES THE PROPER INSTALLATION AND MAINTENANCE OF SEDIMENT AND EROSION CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED WITH CONSTRUCTION ON THE SITE OF THE REQUIREMENTS AND OBJECTIVES OF THIS PLAN, INFORMING THE TOWN OF SOUTH KINGSTOWN AND RIDEM OF ANY TRANSFER OF THIS RESPONSIBILITY, AND FOR CONVEYING A COPY OF THE SEDIMENT & EROSION CONTROL PLAN IF THE TITLE TO THE LAND IS TRANSFERRED.
- AN EROSION CONTROL BOND MAY BE REQUIRED TO BE POSTED WITH TOWN OF SOUTH KINGSTOWN AND RIDEM TO ENSURE IMPLEMENTATION OF THE SEDIMENT AND EROSION CONTROL MEASURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE POSTING OF THIS BOND AND FOR INQUIRIES TO THE TOWN OF SOUTH KINGSTOWN AND RIDEM FOR INFORMATION ON THE METHOD, TYPE AND AMOUNT OF THE BOND POSTING UNLESS OTHERWISE DIRECTED BY THE OWNER.
- VISUAL SITE INSPECTIONS SHALL BE CONDUCTED WEEKLY, AND AFTER EACH MEASURABLE PRECIPITATION EVENT OF 0.25 INCHES OR GREATER BY QUALIFIED PERSONNEL, TRAINED AND EXPERIENCED IN SEDIMENT AND EROSION CONTROL, TO ASCERTAIN THAT THE SEDIMENT AND EROSION CONTROL (E&S) BMPs ARE OPERATIONAL AND EFFECTIVE IN PREVENTING POLLUTION. A WRITTEN REPORT OF EACH INSPECTION SHALL BE KEPT, AND INCLUDE: A) A SUMMARY OF THE SITE CONDITIONS, E&S BMPs, AND COMPLIANCE; AND B) THE DATE, TIME, AND THE NAME OF THE PERSON CONDUCTING THE INSPECTION
- THE CONTRACTOR SHALL CONSTRUCT ALL SEDIMENT AND EROSION CONTROLS IN ACCORDANCE WITH RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK LATEST EDITION, IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, AND AS DIRECTED BY THE TOWN OF SOUTH KINGSTOWN AND RIDEM. THE CONTRACTOR SHALL KEEP A COPY OF THE HANDBOOK ON-SITE FOR REFERENCE DURING CONSTRUCTION.
- ADDITIONAL AND/OR ALTERNATIVE SEDIMENT AND EROSION CONTROL MEASURES MAY BE INSTALLED DURING THE CONSTRUCTION PERIOD IF FOUND NECESSARY BY THE CONTRACTOR, OWNER, SITE ENGINEER, TOWN OF SOUTH KINGSTOWN OR RIDEM. THE CONTRACTOR SHALL CONTACT THE OWNER AND APPROPRIATE GOVERNING AGENCIES FOR APPROVAL IF ALTERNATIVE CONTROLS OTHER THAN THOSE SHOWN ON THE PLANS ARE PROPOSED.
- THE CONTRACTOR SHALL KEEP A SUPPLY OF SEDIMENT AND EROSION CONTROL MATERIAL (SILT FENCE, RIP RAP, ETC.) ON-SITE FOR MAINTENANCE AND EMERGENCY REPAIRS.
- INSTALL PERIMETER SEDIMENT AND EROSION CONTROLS PRIOR TO CLEARING OR CONSTRUCTION. ALL CONSTRUCTION SHALL BE CONTAINED WITHIN THE LIMIT OF DISTURBANCE, WHICH SHALL BE MARKED WITH SILT FENCE, SAFETY FENCE, STRAW BALES, RIBBONS, OR OTHER MEANS PRIOR TO CLEARING. CONSTRUCTION ACTIVITY SHALL REMAIN ON THE UPHILL SIDE OF THE SILT FENCE UNLESS WORK IS SPECIFICALLY CALLED FOR ON THE DOWNHILL SIDE OF THE FENCE.
- CONSTRUCTION ENTRANCE SHALL BE INSTALLED AT START OF CONSTRUCTION AND MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION. THE LOCATION OF THE CONSTRUCTION ENTRANCE MAY CHANGE AS CONSTRUCTION IS COMPLETED.
- TOPSOIL SHALL BE STRIPPED AND STOCKPILED FOR USE IN FINAL LANDSCAPING. ALL EARTH STOCKPILES SHALL HAVE STRAW BALES OR SILT FENCE AROUND THE LIMIT OF PILE. PILES SHALL BE TEMPORARILY SEED IF PILE IS TO REMAIN IN PLACE FOR MORE THAN ONE (1) MONTH.
- MINIMIZE LAND DISTURBANCES. SEED AND MULCH DISTURBED AREAS WITH TEMPORARY MIX AS SOON AS PRACTICABLE (ONE WEEK MAXIMUM UNSTABILIZED PERIOD) USING PERENNIAL RYEGRASS AT 40 LBS PER ACRE, MULCH ALL CUT AND FILL SLOPES AND SWALES WITH LOOSE HAY AT A RATE OF 2 TONS PER ACRE. IF NECESSARY, REPLACE LOOSE HAY ON SLOPES WITH EROSION CONTROL BLANKETS OR JUTE CLOTH. MODERATELY GRADED AREAS, ISLANDS, AND TEMPORARY CONSTRUCTION STAGING AREAS MAY BE HYDROSEEDED WITH TACKIFIER.
- INSTALL SILT FENCE ACCORDING TO MANUFACTURER'S INSTRUCTION, PARTICULARLY, BURY LOWER EDGE OF FABRIC INTO GROUND. SILT FENCE SHALL BE TENCATE ENVIROFENCE, PROPEX GEOTEX OR EQUIVALENT APPROVED BY THE CIVIL ENGINEER. FILTER FABRIC USED SHALL BE MIRAFI 100X OR APPROVED EQUIVALENT. SEE SPECIFICATIONS FOR FURTHER INFORMATION.
- IF Dewatering IS NECESSARY, DIRECT Dewatering PUMP DISCHARGE TO A SEDIMENT CONTROL DEVICE SUCH AS TEMPORARY PITS, SEDIMENT TRAP, SEDIMENT BASINS OR GRASS FILTERS WITHIN THE APPROVED LIMIT OF DISTURBANCE. DISCHARGE TO SURFACE WATERS FROM SEDIMENT CONTROLS SHALL BE CLEAR.
- SWEEP AFFECTED PORTIONS OF OFF SITE ROADS ONE OR MORE TIMES A DAY (OR LESS FREQUENTLY IF TRACKING IS NOT A PROBLEM) DURING CONSTRUCTION. OTHER DUST CONTROL MEASURES TO BE USED AS NECESSARY INCLUDE WATERING DOWN DISTURBED AREAS, USING CALCIUM CHLORIDE, AND COVERING LOADS ON DUMP TRUCKS.
- IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.
- PUMPING OF SEDIMENT LADEN WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP, SUCH AS A PUMPED WATER FILTER BAG OR EQUIVALENT SEDIMENT REMOVAL FACILITY, OVER UNDISTURBED VEGETATED AREAS.
- EXCAVATED MATERIAL SHALL BE PLACED ON THE HIGH SIDE OF UTILITY TRENCHES SO AS TO ALLOW THE TRENCH TO INTERCEPT SILT LADEN RUNOFF.
- CONTRACTOR SHALL ONLY EXCAVATE AS MUCH UTILITY TRENCH WORK AS CAN BE COMPLETED, BACKFILLED AND STABILIZED IN ONE DAY SO AS TO LIMIT THE AMOUNT OF OPEN, DISTURBED TRENCHING.
- STOCKPILES OF STRIPPED MATERIALS ARE TO BE PERIODICALLY SPRAYED WITH WATER OR A CRUSTING AGENT TO STABILIZE POTENTIALLY WIND-BLOWN MATERIAL. TRUCKS HAULING IMPORT FILL MATERIAL ARE TO BE TARPED TO AID IN THE CONTROL OF AIRBORNE DUST. DURING HIGH WIND EVENTS (20 TO 30 MPH SUSTAINED) CONSTRUCTION ACTIVITY SHALL BE LIMITED OR CEASED IF DUST CANNOT BE CONTROLLED BY WETTING.
- AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM OF 70% UNIFORM PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING OR OTHER MOVEMENTS UNLESS OTHERWISE DETERMINED BY THE AUTHORITY HAVING JURISDICTION.
- MAINTAIN EROSION AND SEDIMENT CONTROL DEVICES IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD. UPON COMPLETION OF WORK SWEEP PARKING LOT AND REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROLS WHEN AUTHORIZED BY AUTHORITY HAVING JURISDICTION.
- FILE N.O.T. (NOTICE OF TERMINATION) WITH RIDEM PER THE REQUIREMENTS OF THE CONSTRUCTION GENERAL PERMIT.

PLAN PREPARER STATEMENT

THESE PLANS HAVE BEEN PREPARED BY ME OR UNDER MY DIRECTION ACCORDANCE WITH THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK.

Suzanne M. King
SUZANNE M. KING, RI PE NUMBER 10040

OPERATOR

COMPANY NAME: _____
 CONTACT NAME: _____
 ADDRESS: _____
 CITY, STATE, ZIP: _____
 TELEPHONE NUMBER: _____
 EMAIL ADDRESS: _____



100 Constitution Plaza
10th Floor
Hartford, CT 06103
(860) 249-2200
(860) 249-2400 Fax



APPLICANT:
Garrett Homes, LLC
59 Field Street
Torrington, CT 06790

OWNER 1 (PARCEL 40-1/125):
SOUTH SHORE MENTAL HEALTH
CENTER, INC.
765 ALLENS AVE, STE 100
PROVIDENCE, RI 02905

OWNER 2 (PARCEL 40-1/126):
ALTERNATIVE LIVING CONCEPTS
C/O GATEWAY HEALTHCARE
249 ROOSEVELT AVE, STE 205
PAWTUCKET, RI 02860

PROPOSED RETAIL DEVELOPMENT
1860 KINGSTOWN ROAD (RI ROUTE 108)
SOUTH KINGSTOWN, RHODE ISLAND

Date:

Date:

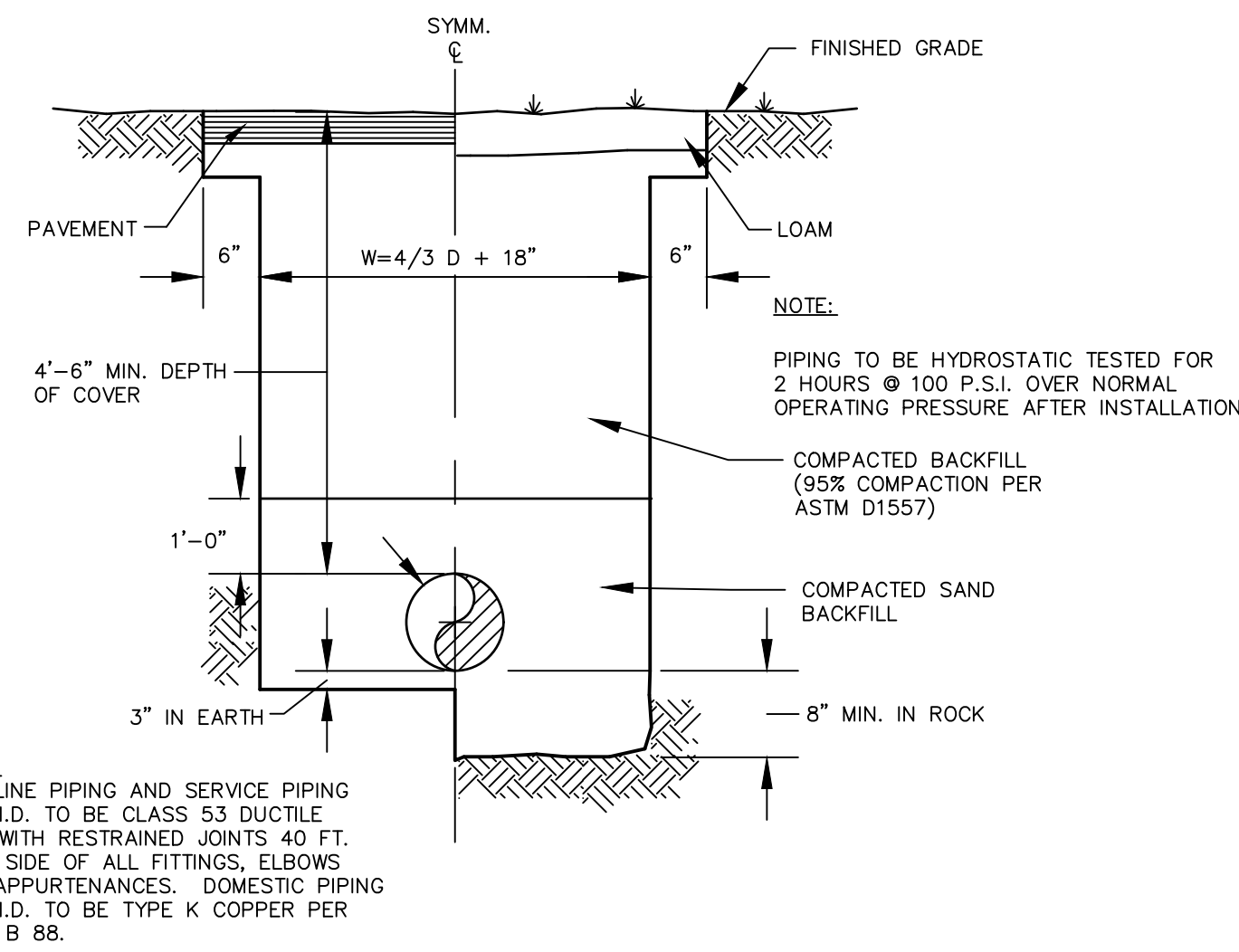
No.:

Designed	C.J.L.
Drawn	C.J.L.
Reviewed	M.J.B.
Scale	1"=20'
Project No.	18C6704
Date	7/30/2020
CAD File:	EC18C670401

Title
SEDIMENT AND EROSION CONTROL NOTES

Sheet No.

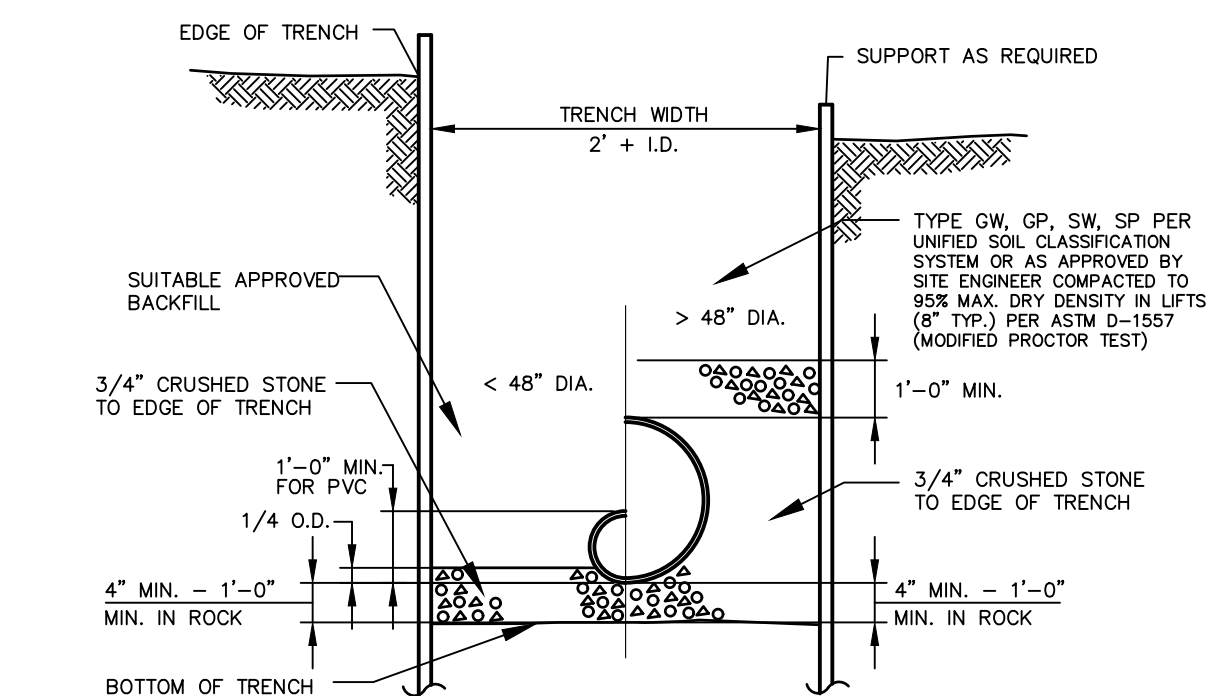
EC-2



TYPICAL WATER MAIN AND SERVICE TRENCH DETAIL

N.T.S.

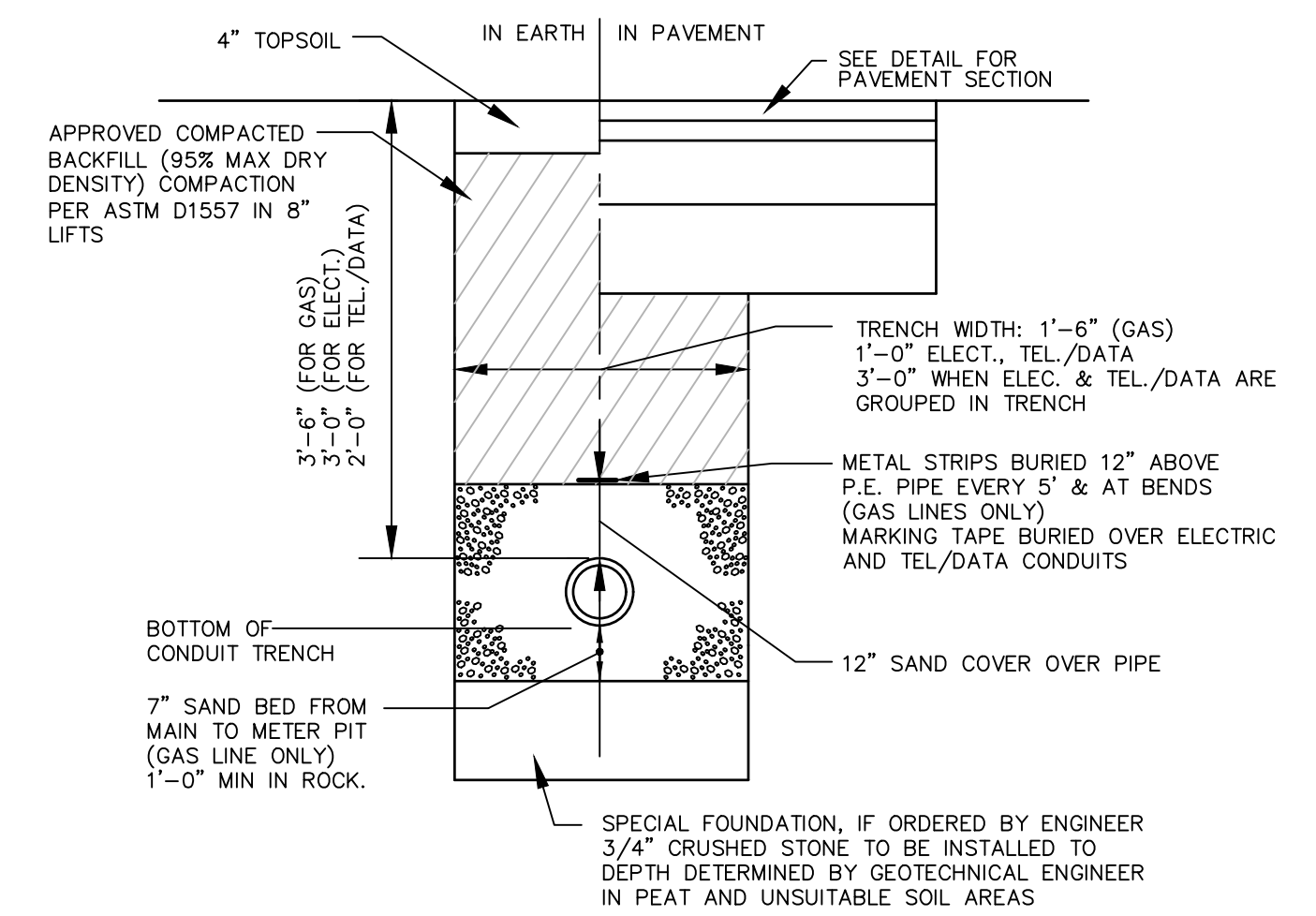
BLWD-005



TYPICAL STORM SEWER TRENCH SECTION

N.T.S.

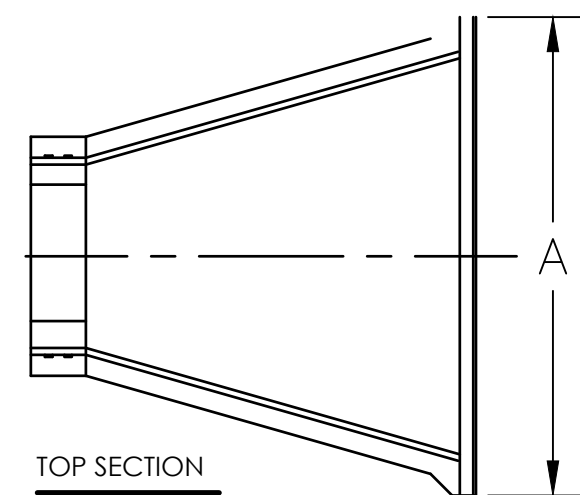
BLDD-004



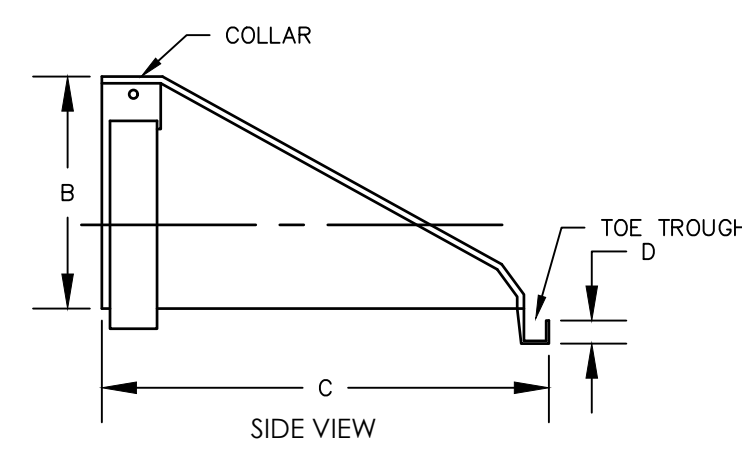
ELECTRICAL, TELEPHONE AND GAS TRENCH DETAIL

N.T.S.

BLUD-001

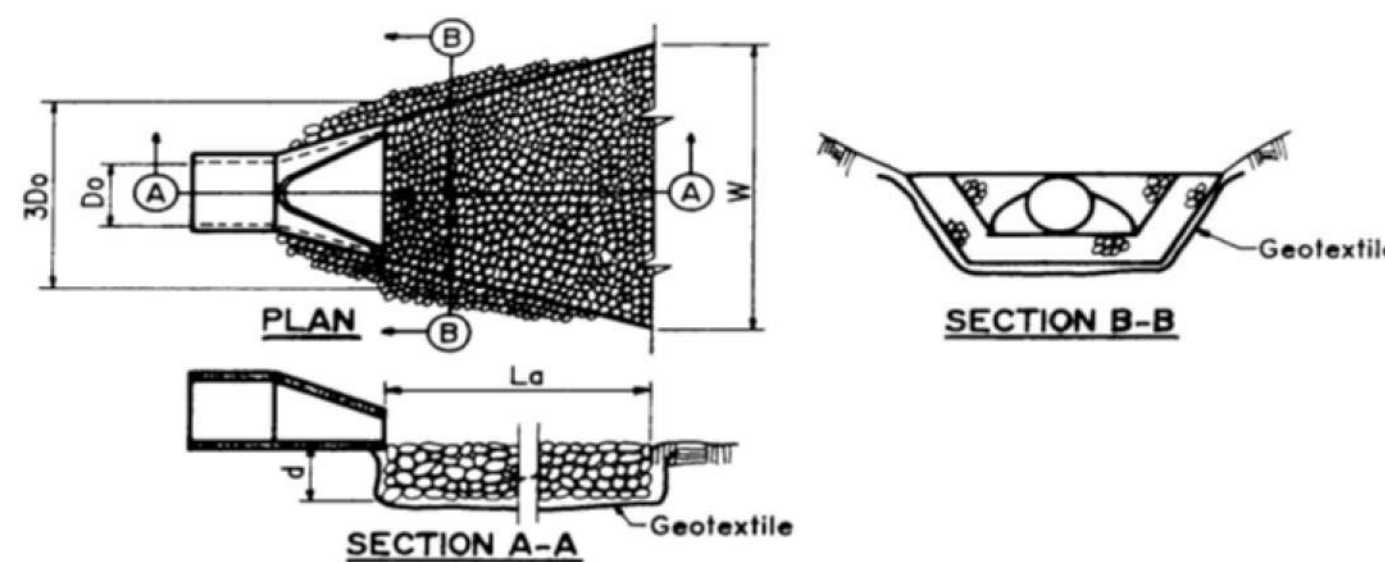


DIMENSION	PIPE DIAMETER					
	10"/12"	15"	18"	24"	30"	36"
A	42"	41"	49"	59.5"	88"	88"
B	14.5"	19"	22"	28"	36"	43"
C	3.3"	3.4"	4.3"	4.8"	6.3.5"	6.6.5"
D	6"	6"	6"	6"	6"	6"



HDPE FLARED END SECTION (FES)

N.T.S.



OUTLET	Sp (Diam. in.)	Q (CFS)	V (FPS)	TW (ft.)	Apron Type	La (ft.)	3Do (ft.)	W (ft.)	d ₅₀ (ft.)	Riprap Specification
FES-2	12	1.77	2.88	0.78	Type B	12	3	8	0.06	R-4
FES-3	8	1.07	3.33	0.58	Type B	9	2	6	0.07	R-4

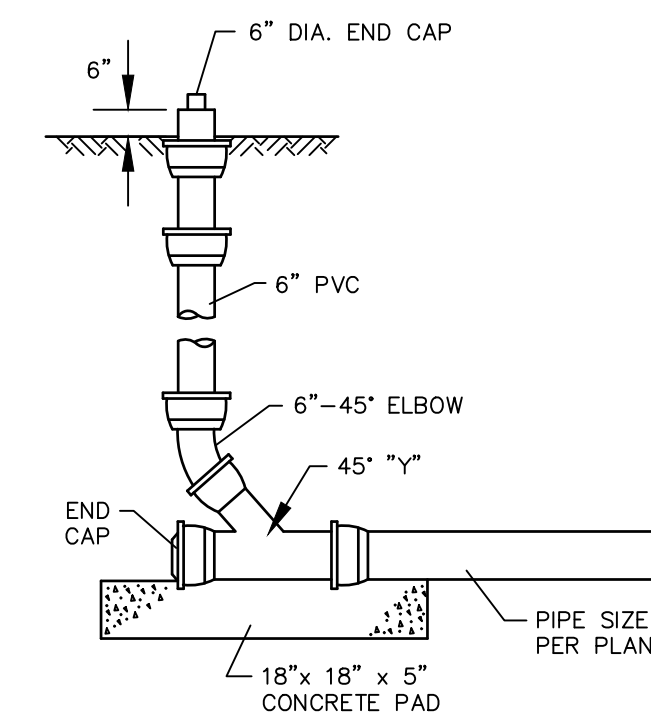
Note: Riprap apron design calculations based off of standards provided by the Rhode Island State Conservation Committee in the Rhode Island Soil Erosion and Sediment Control Handbook.

Design: $L_a = (1.7Q)(D_o^{1/3}) + 8D_o$
 $W = 3D_o + 0.4L_a$
 $d_{50} = (0.02TW)(Q/D_o)^{1/3}$

Where:
 L_a = Required length of riprap apron (ft)
 Q = Discharge flow rate from outlet pipe in 25-year storm (cfs)
 V = Discharge flow velocity from outlet pipe in 25-year storm (fps)
 D_o = Outlet pipe diameter (ft)
 W = Required width of riprap apron at end of apron (ft)
 d_{50} = Median stone diameter (ft)
 TW = Tailwater depth (ft)

RIPRAP APRON OUTLET PROTECTION

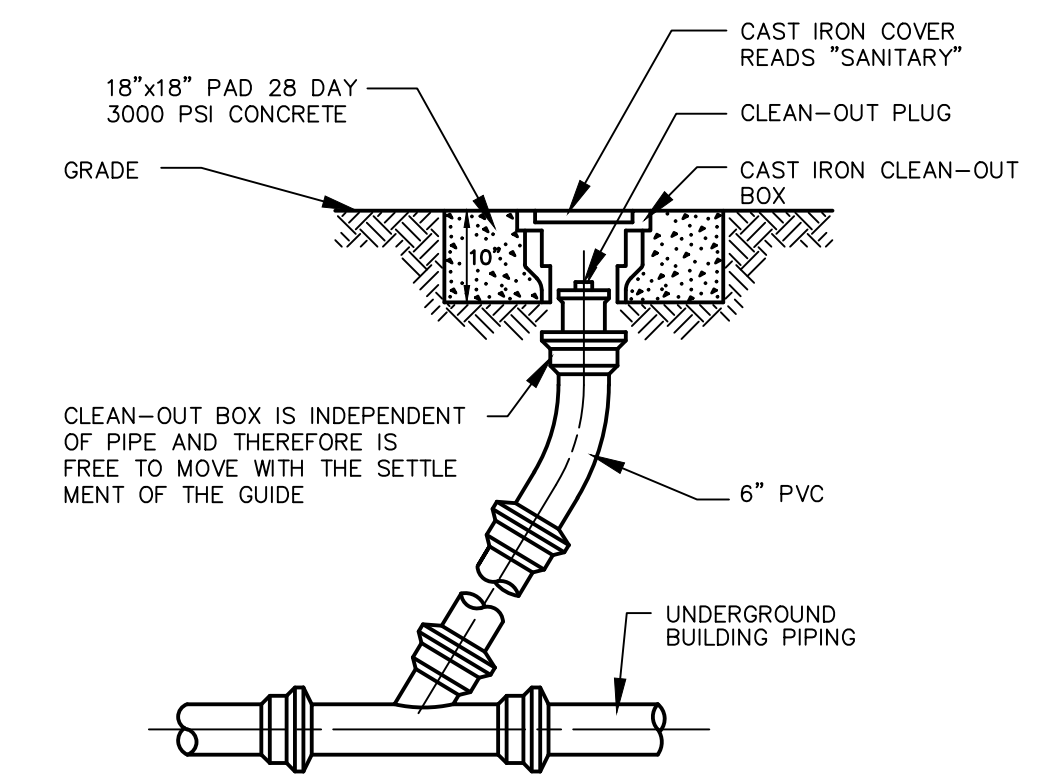
N.T.S.



CLEANOUT IN LANDSCAPED AREA

N.T.S.

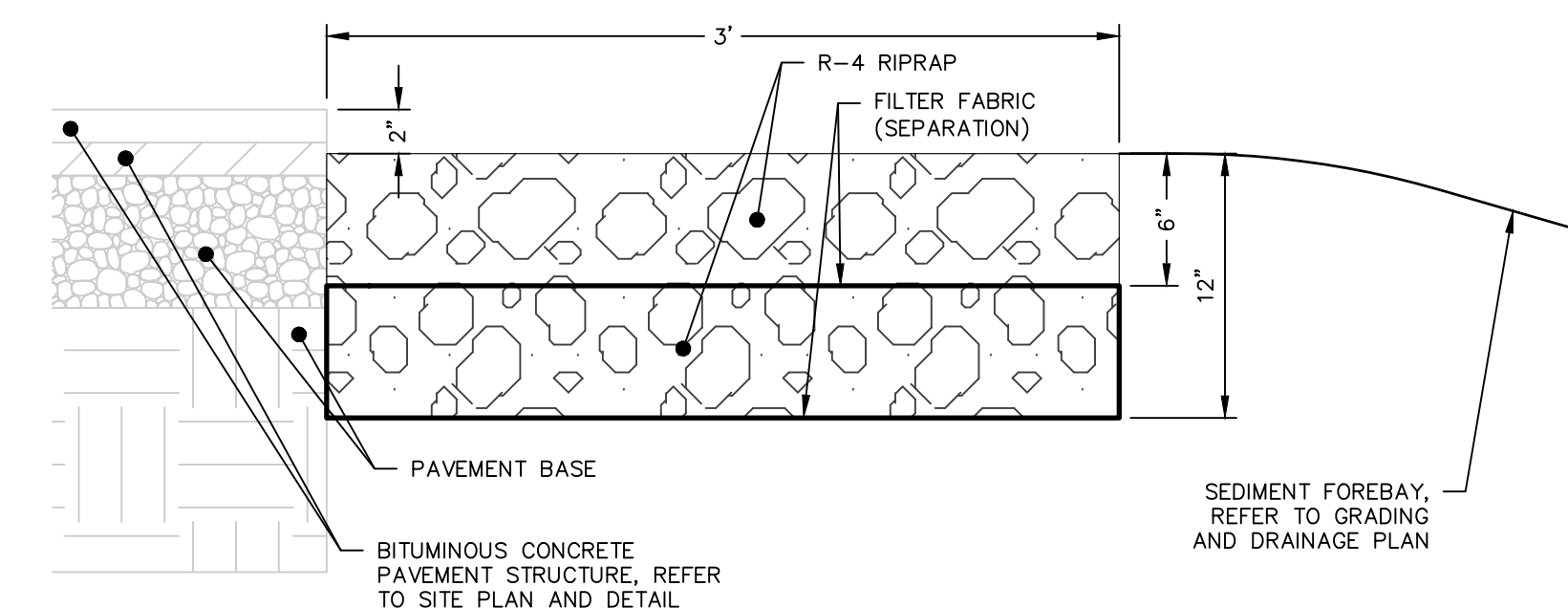
BLSS-007



CLEANOUT IN PAVED AREA

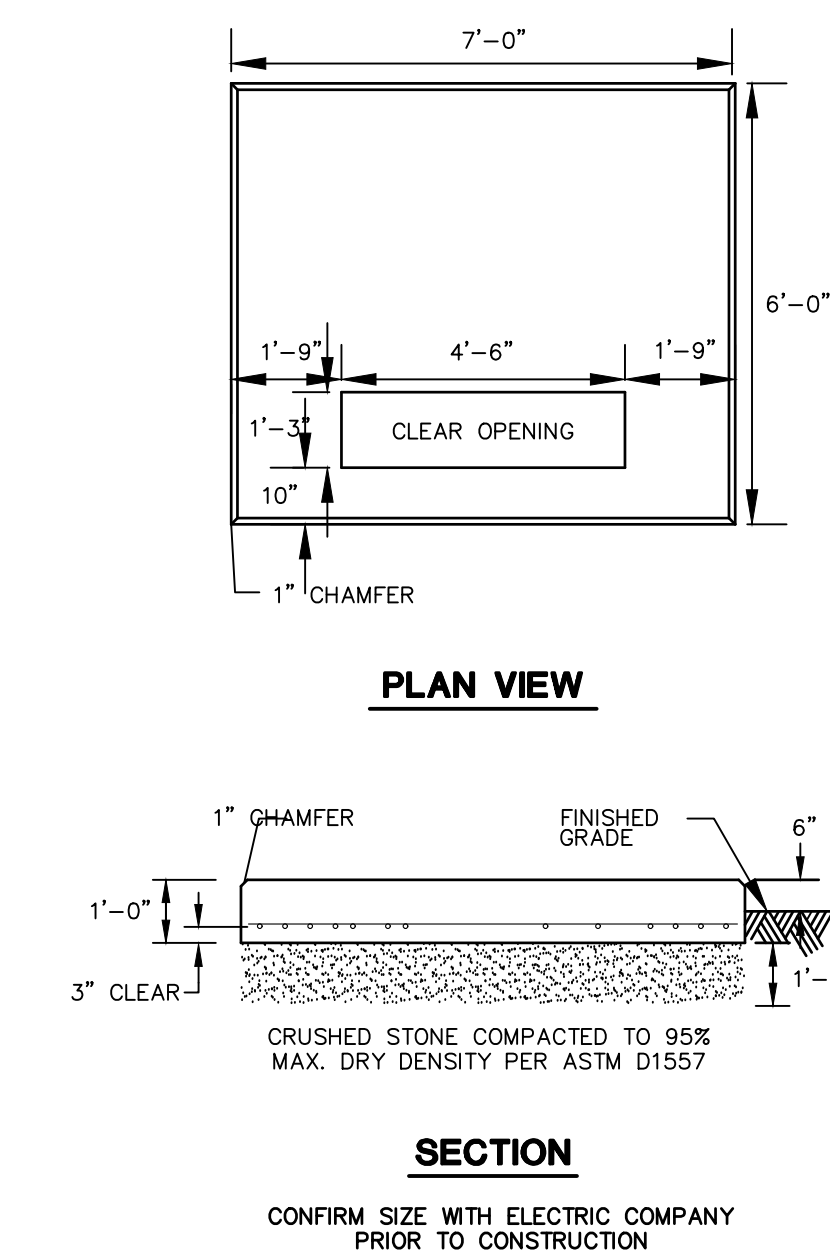
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BLSS-008



RIPRAP ENERGY DISSIPATION TRENCH

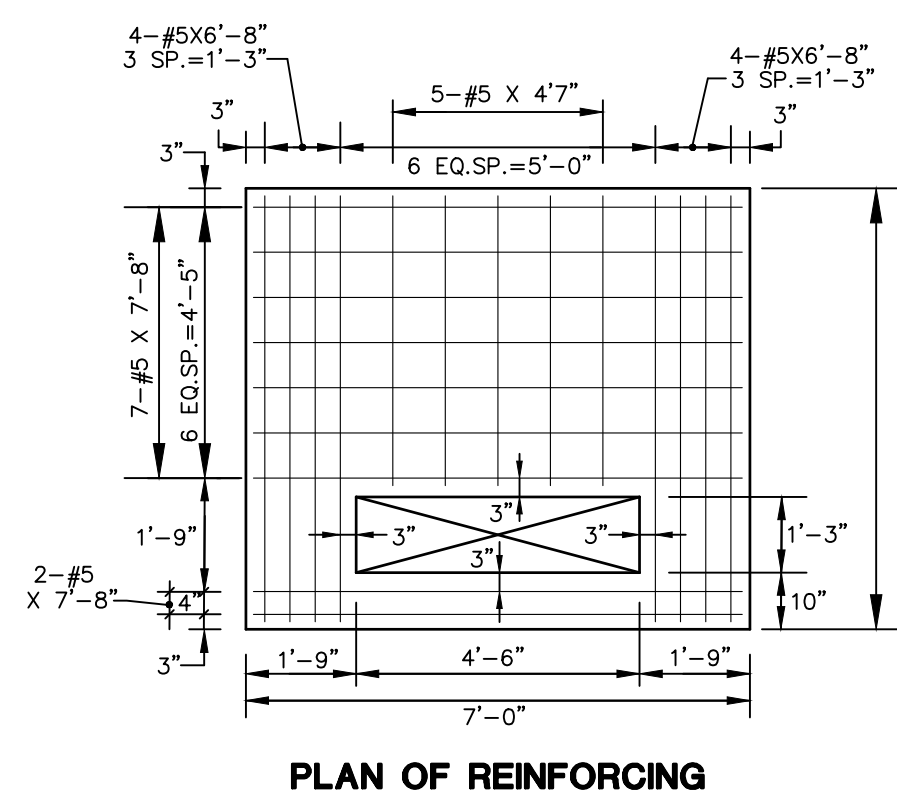
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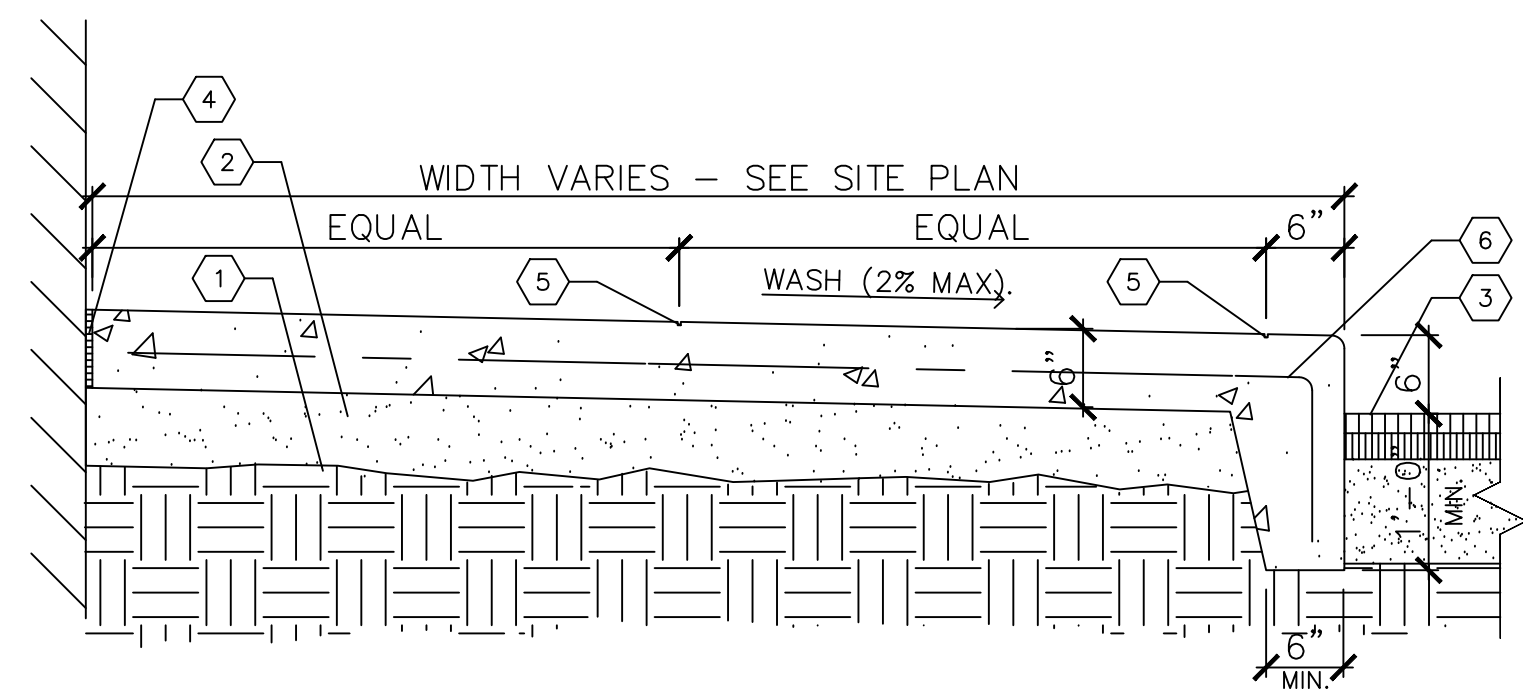
TRANSFORMER PAD

N.T.S.

BLLE-001



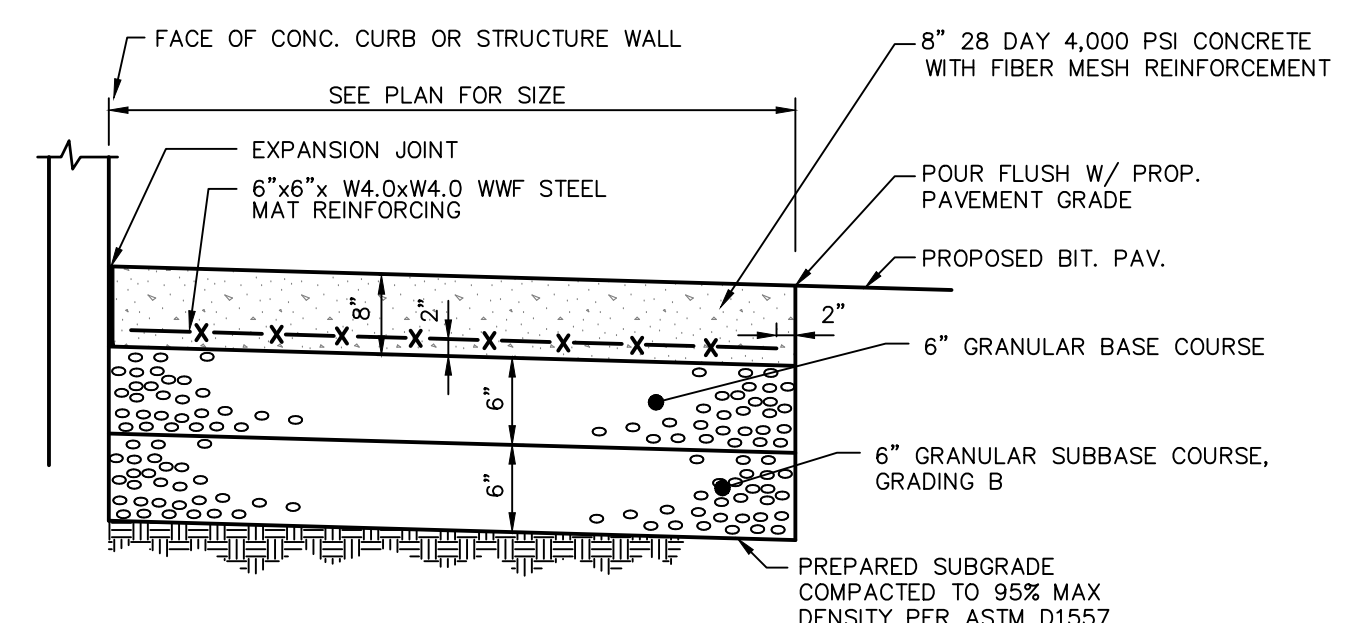
NOT FOR CONSTRUCTION
FOR PERMITTING PURPOSES ONLY



- KEYED NOTES**
- 1 COMPACTED SUBGRADE TO 95% MAX DENSITY PER ASTM D1557
 - 2 8" COMPACTED AGGREGATE BASE
 - 3 PAVEMENT.
 - 4 COMPRESSIBLE FILLER (3/4" MAXIMUM). CUT BACK AND PROVIDE SEALANT, TYPICAL, AT ALL JOINTS WITH FILLER.
 - 5 1/4" TOOLED JOINT 20' O.C. MAXIMUM. 1/4" TOOL JOINT 5' O.C. OR AS DIRECTED. CONCRETE TO BE 4,000 P.S.I.
 - 6 6" X 6" W2.1 X 2.1 W.W.F.

MONOLITHIC CONCRETE CURB AND SIDEWALK

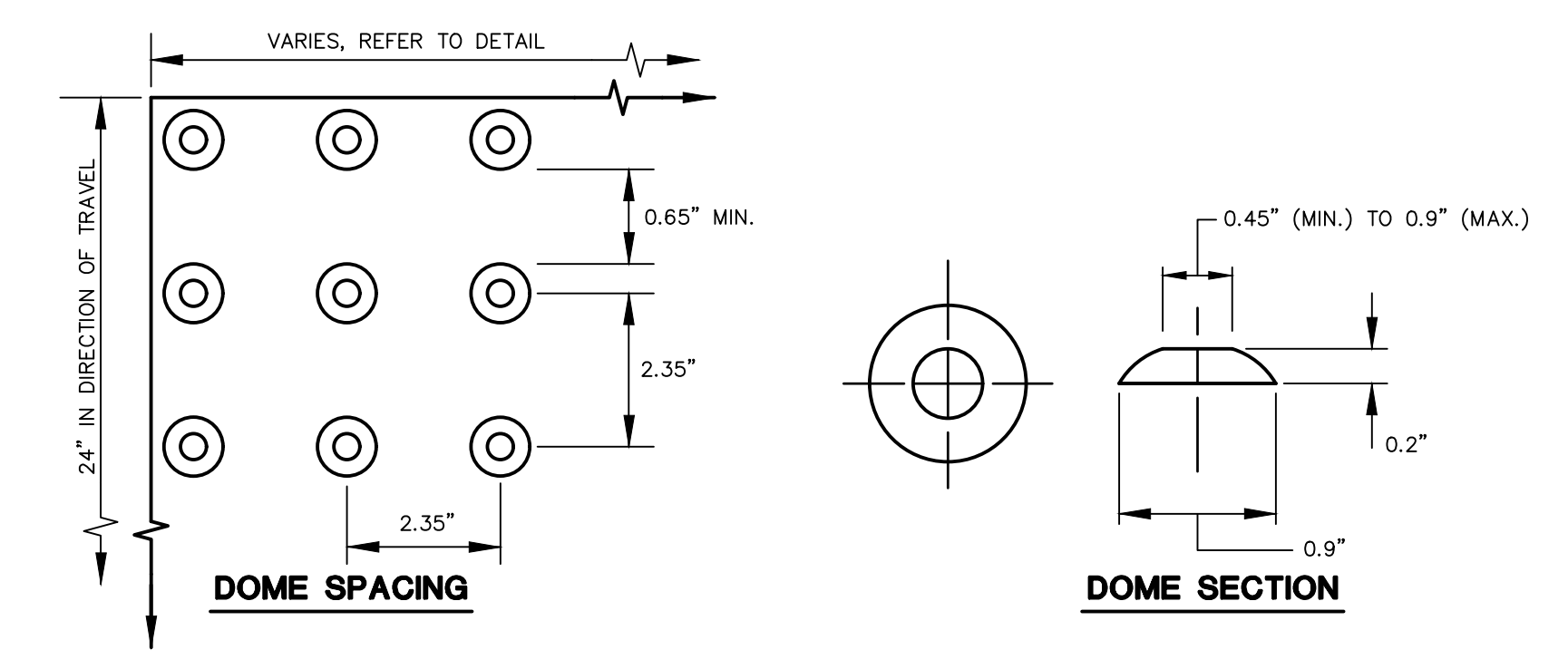
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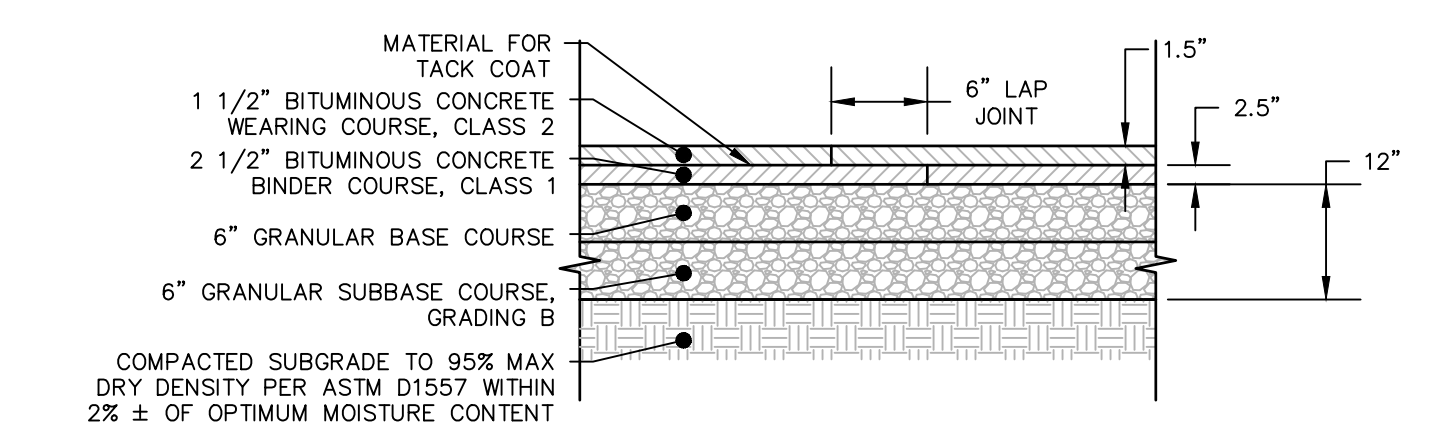
CONCRETE PAVEMENT STRUCTURE

N.T.S.

BLPC-002

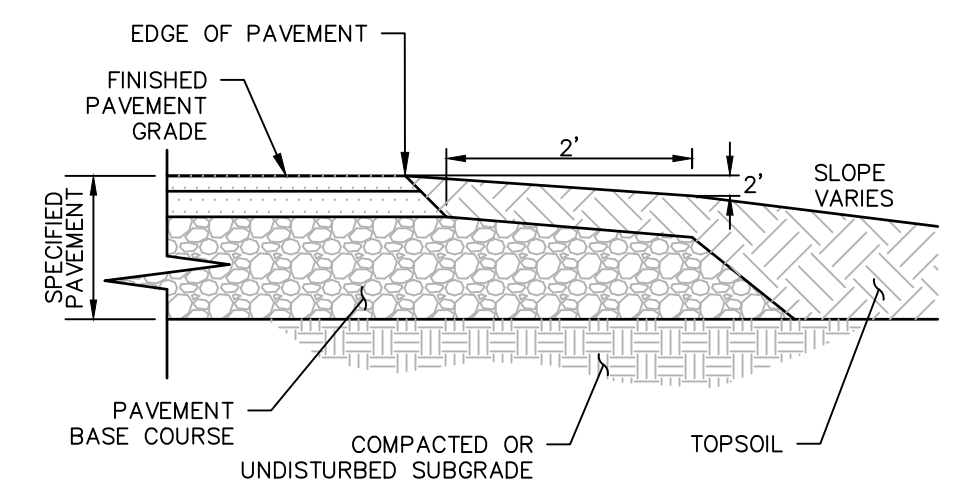


DETECTABLE WARNING



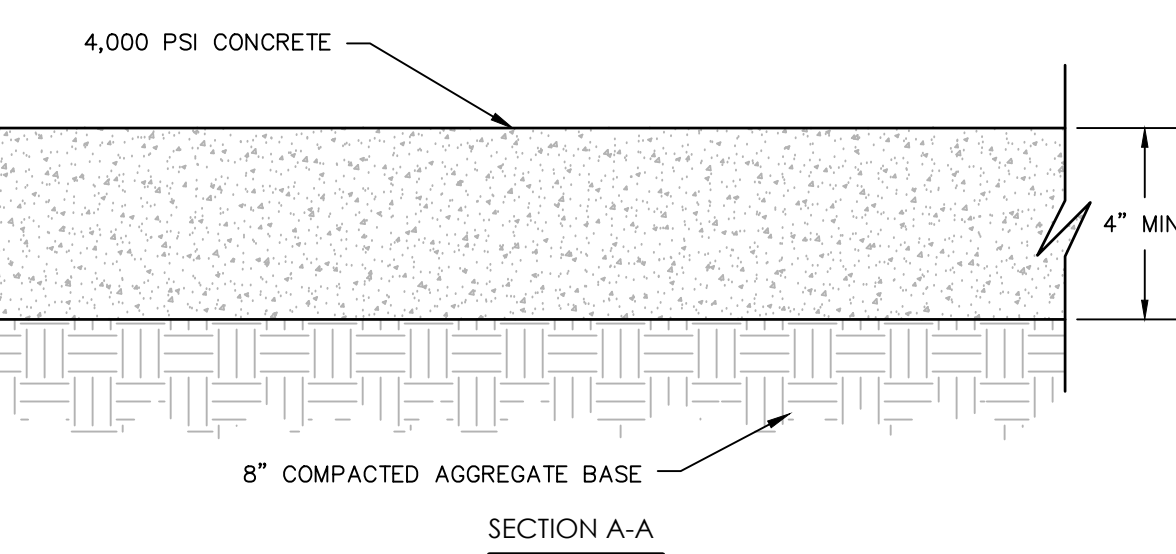
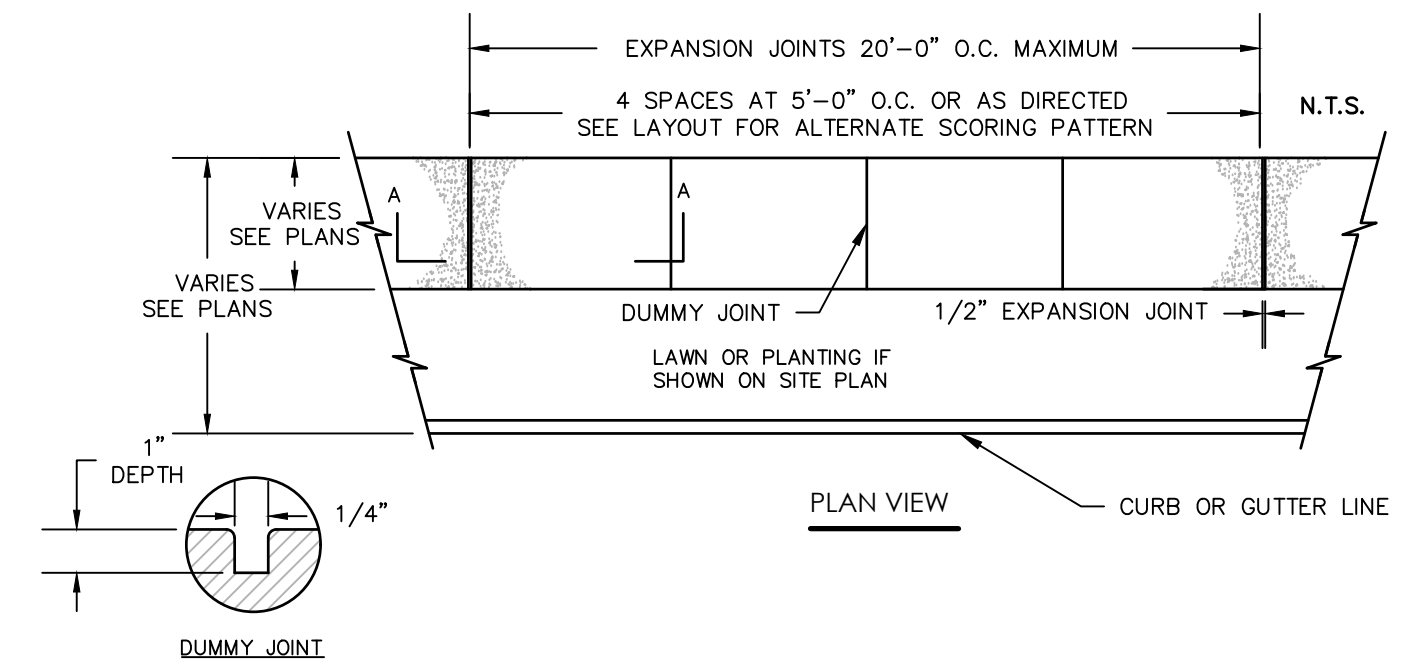
STANDARD DUTY BITUMINOUS CONCRETE PAVEMENT STRUCTURE

N.T.S.



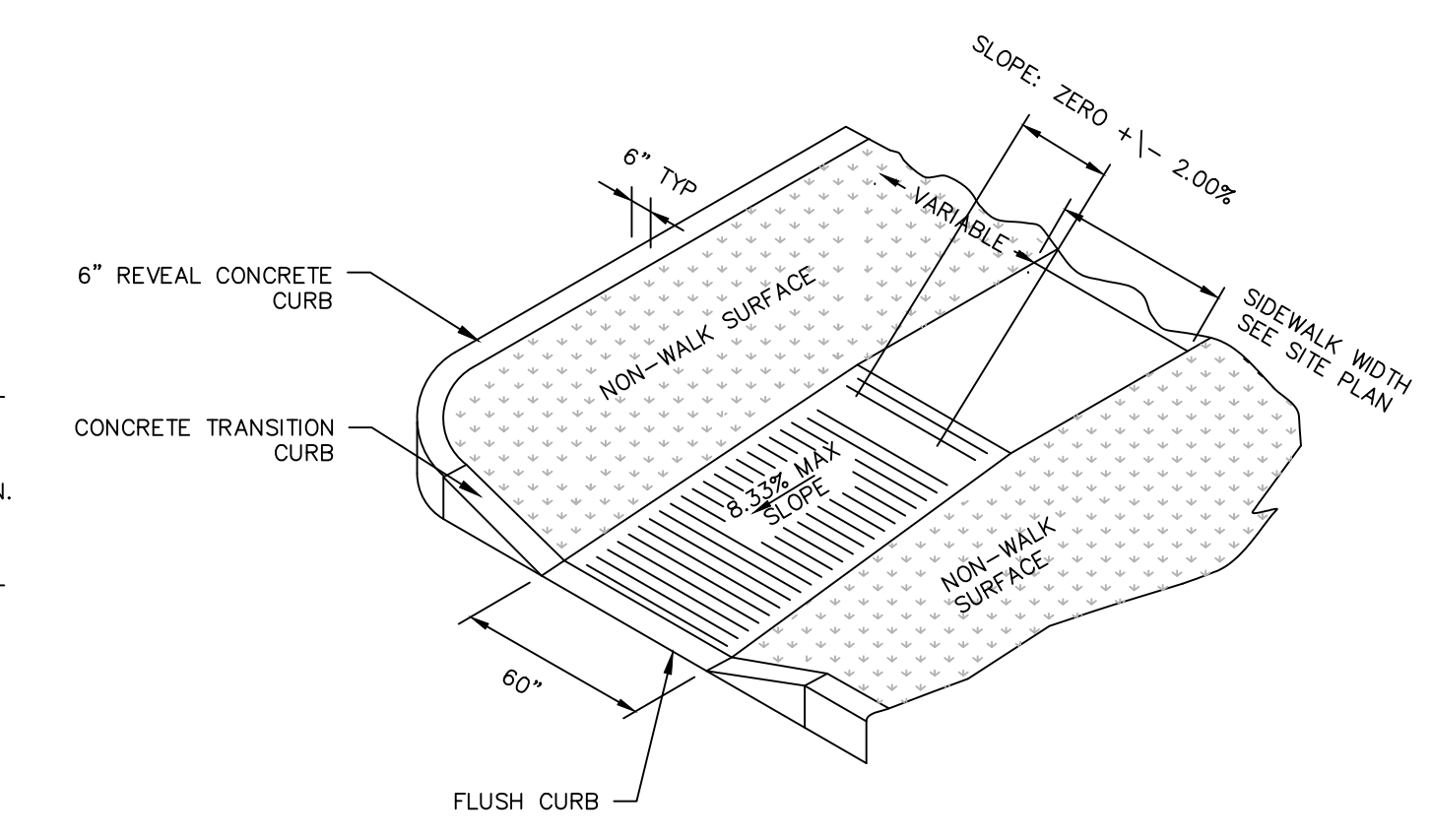
PAVEMENT END SECTION

N.T.S.



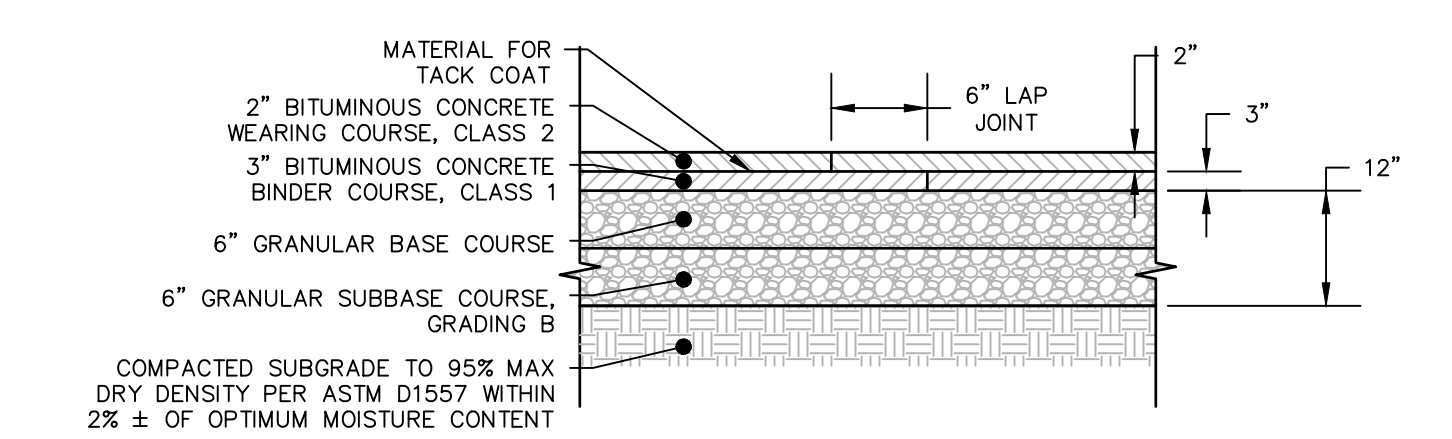
CONCRETE SIDEWALK DETAIL

N.T.S.



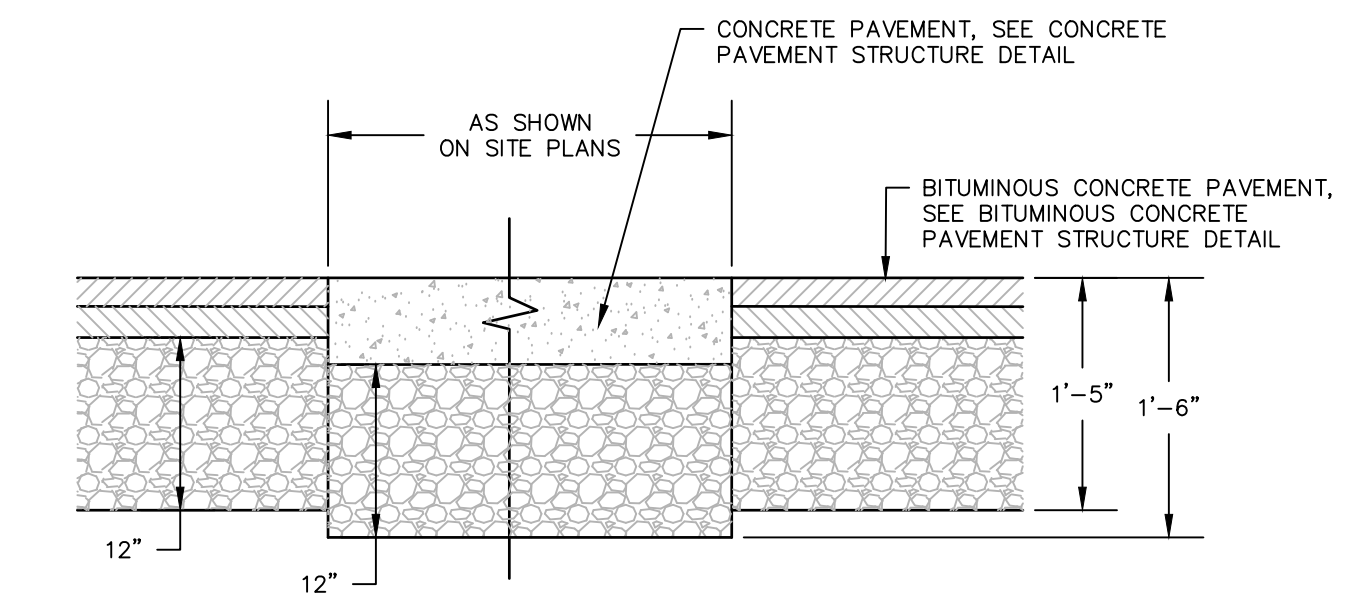
PERPENDICULAR CURB RAMP TYPE 2

N.T.S.



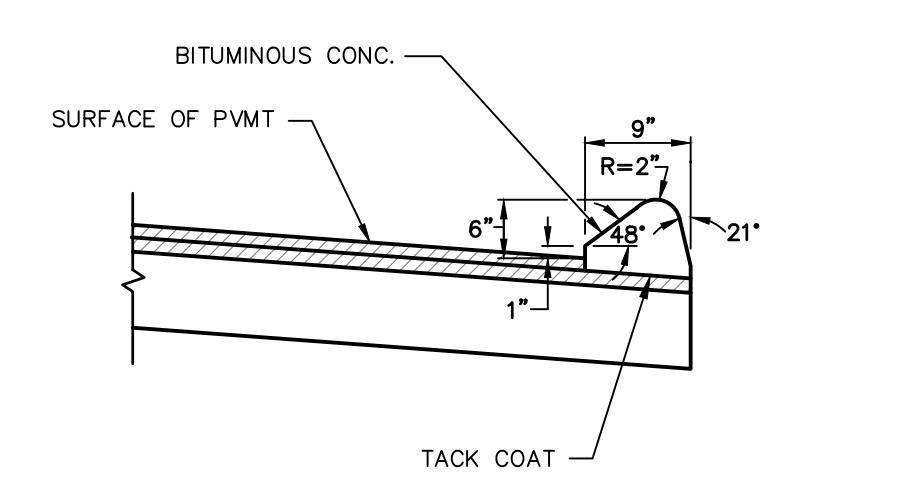
HEAVY DUTY BITUMINOUS CONCRETE PAVEMENT STRUCTURE

N.T.S.



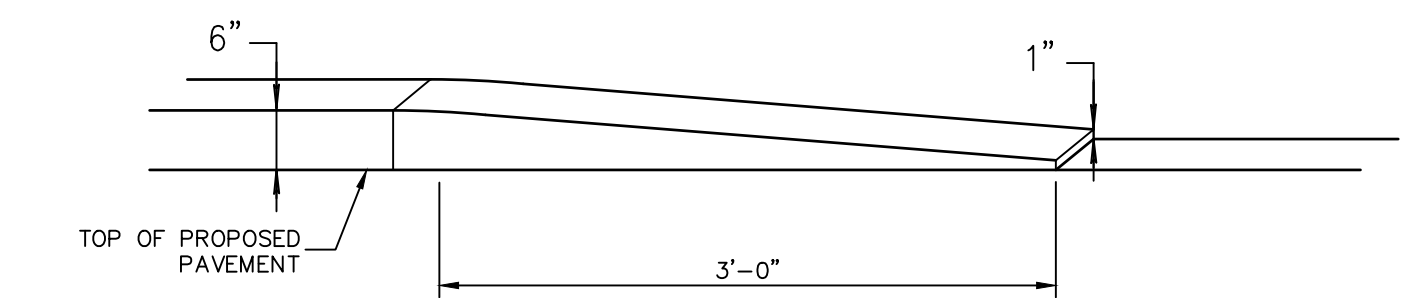
CONCRETE/BITUMINOUS PAVEMENT INTERFACE

N.T.S.



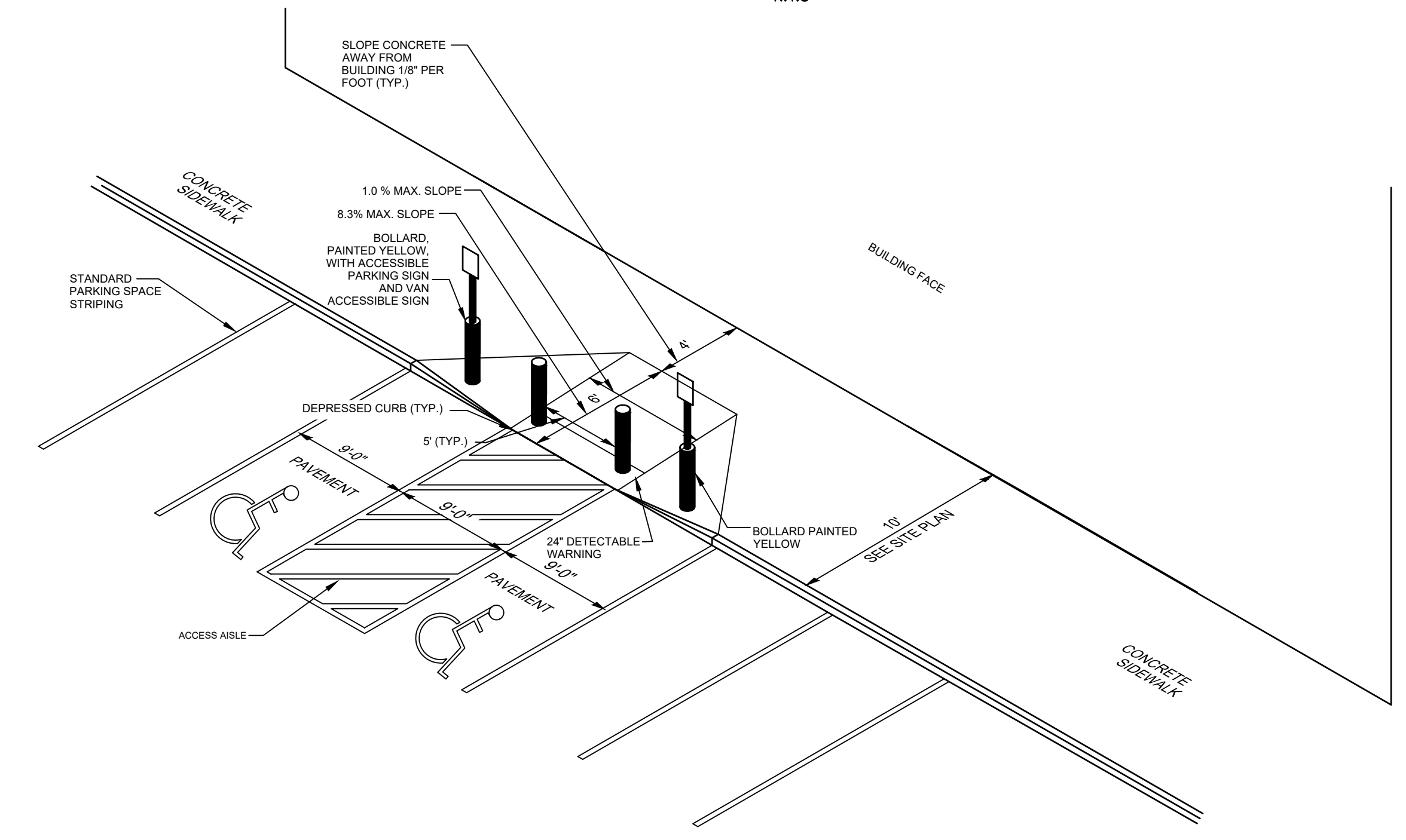
BITUMINOUS CONCRETE CURB

N.T.S.



BITUMINOUS CONCRETE TRANSITION CURB

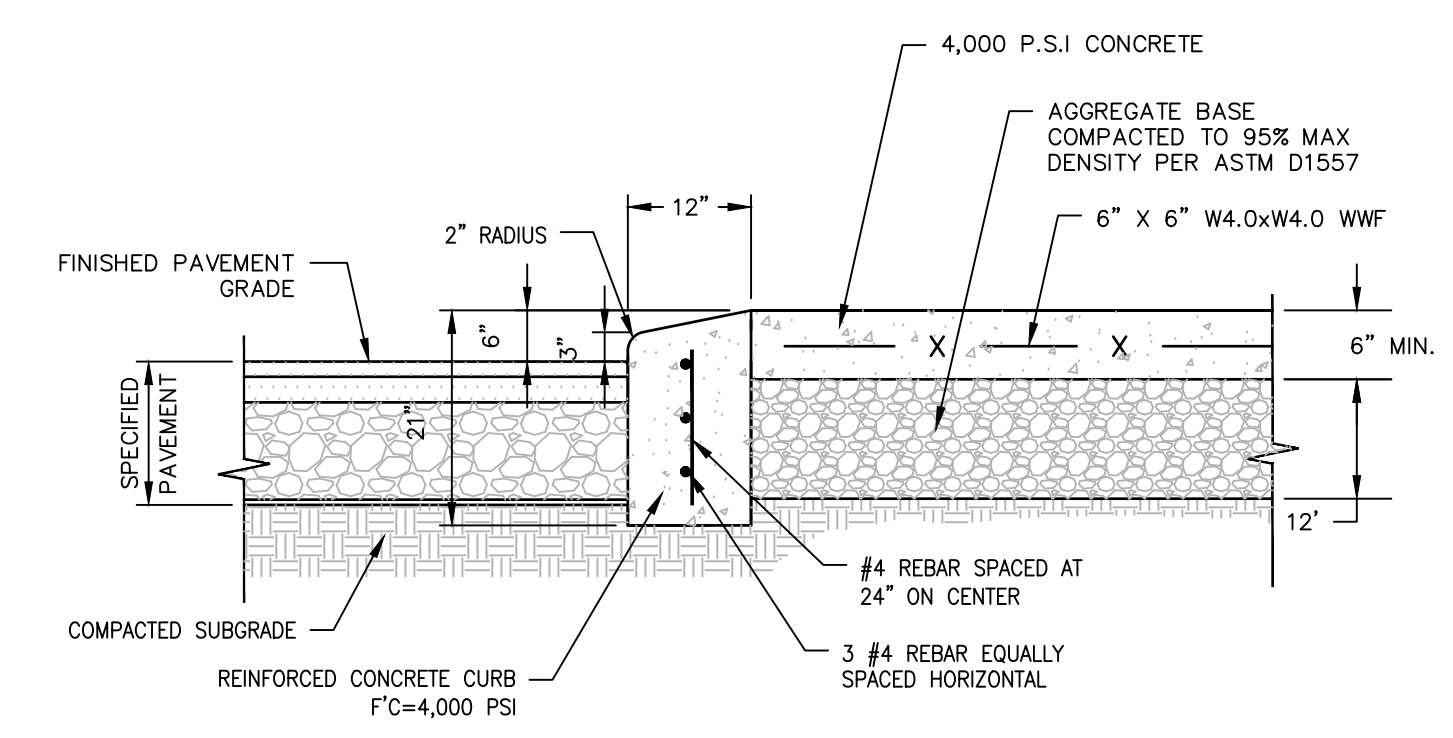
N.T.S.



ACCESSIBLE HANDICAP ACCESS AISLE AND PERPENDICULAR CURB RAMP TYPE 1

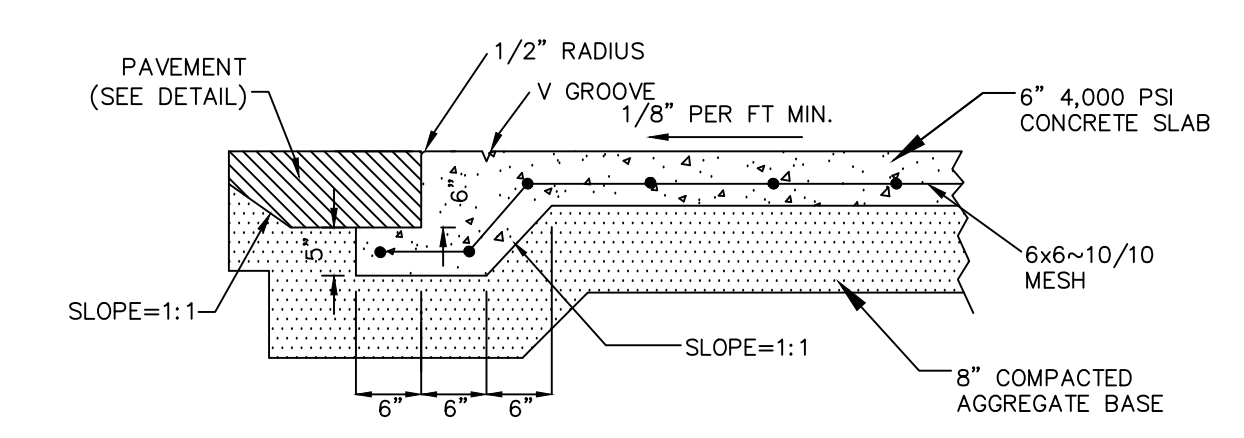
N.T.S.

NOT FOR CONSTRUCTION FOR PERMITTING PURPOSES ONLY



MOUNTABLE CONCRETE CURB AND PAVEMENT

N.T.S.



FLUSH CURB DETAIL

N.T.S.

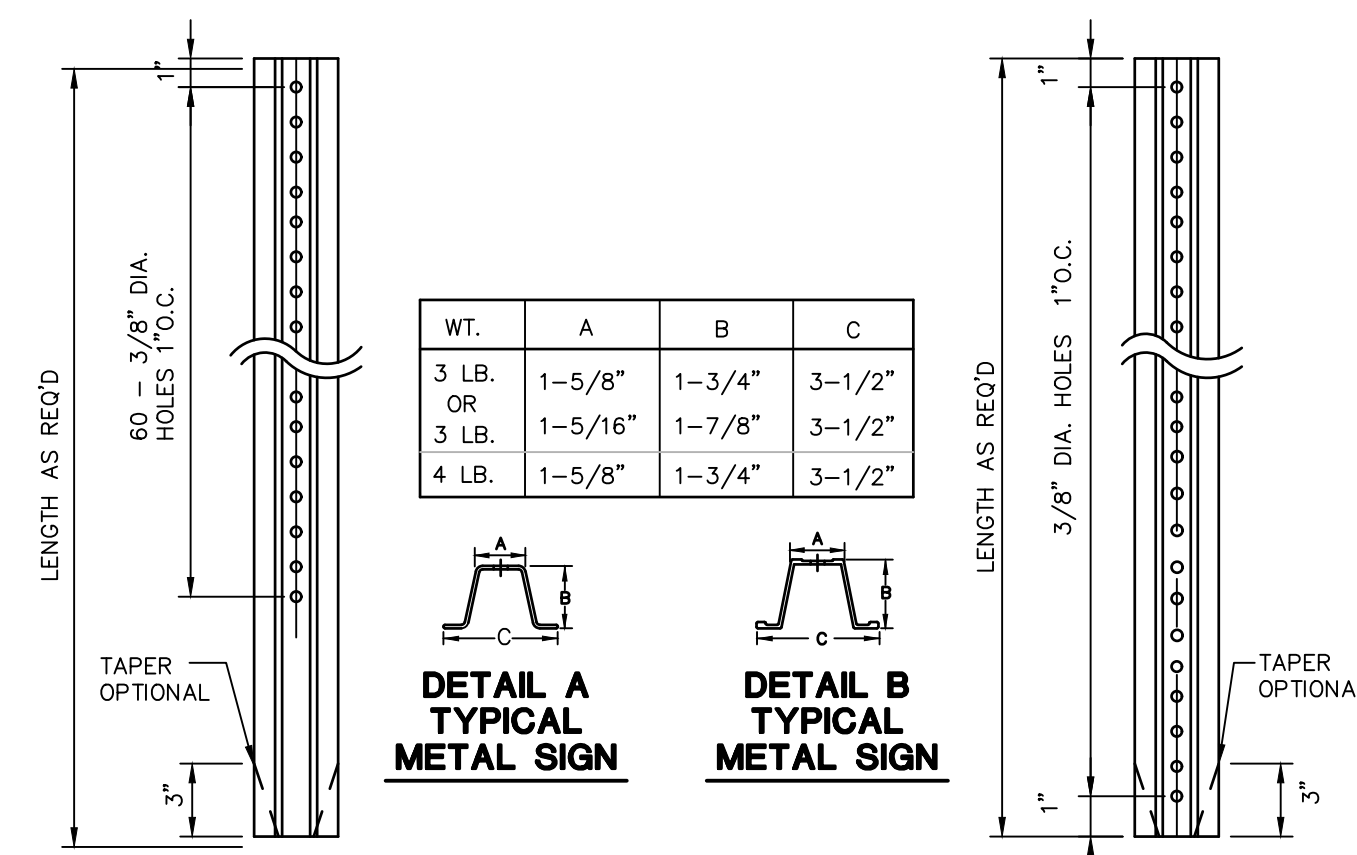
REVISIONS

No.	Date	Desc.

Designed	C.J.L.
Drawn	C.J.L.
Reviewed	M.J.B.
Scale	N.T.S.
Project No.	18C6704
Date	7/30/2020
CAD File:	DN18C670401

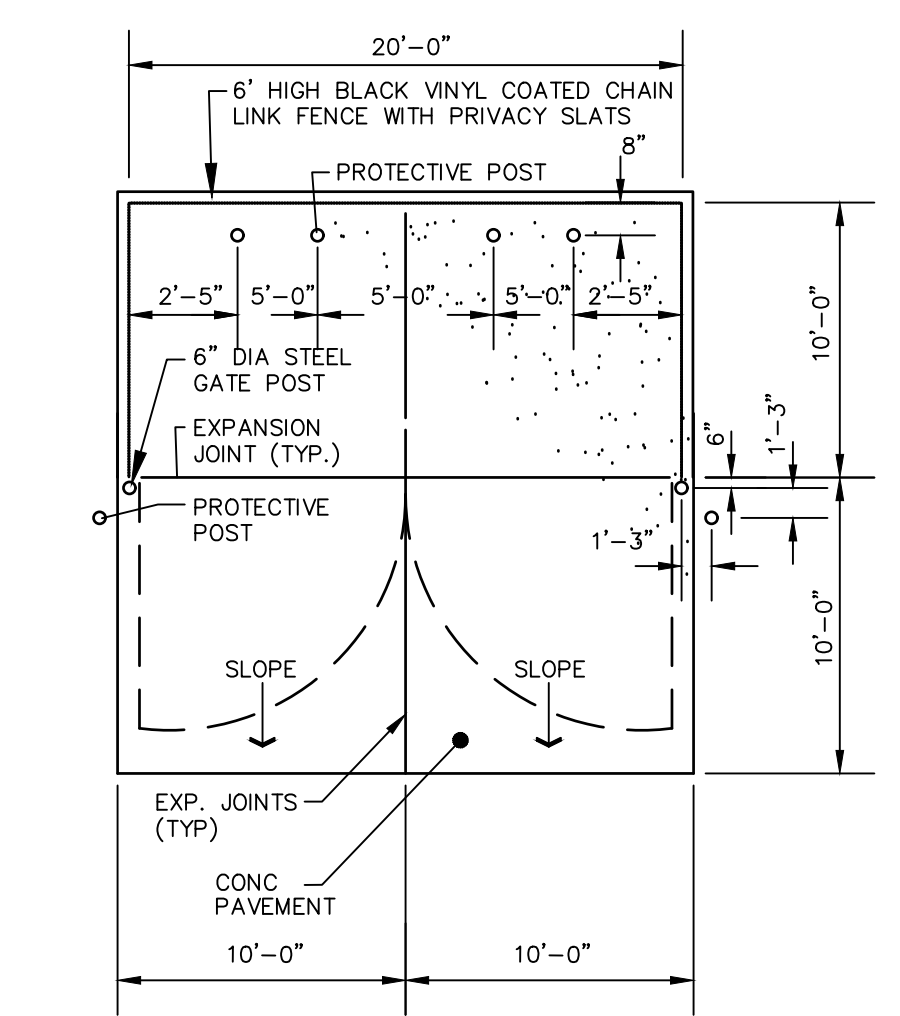
SITE DETAILS

Sheet No.

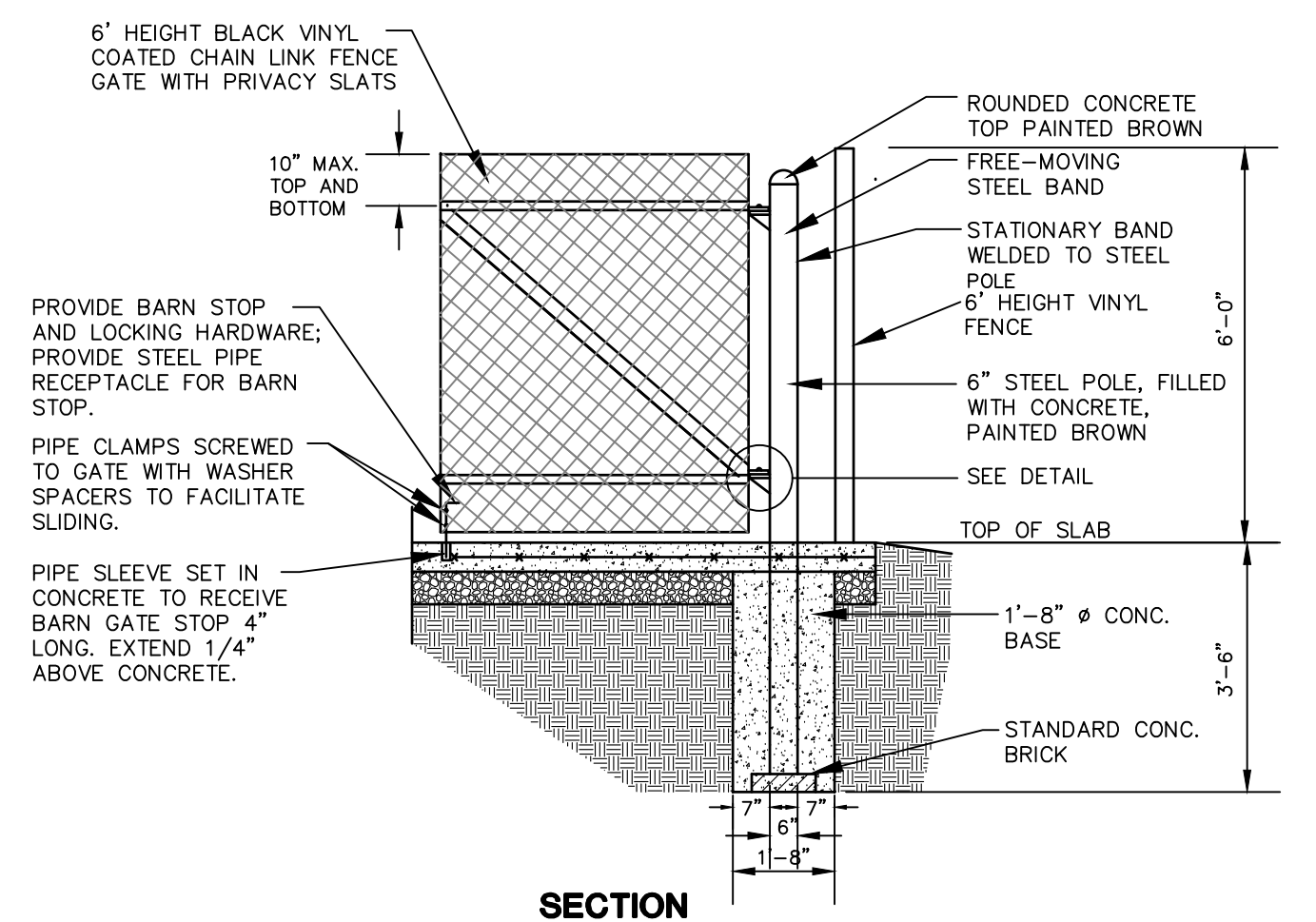


TYPICAL METAL SIGN POSTS
N.T.S. BLS0-001

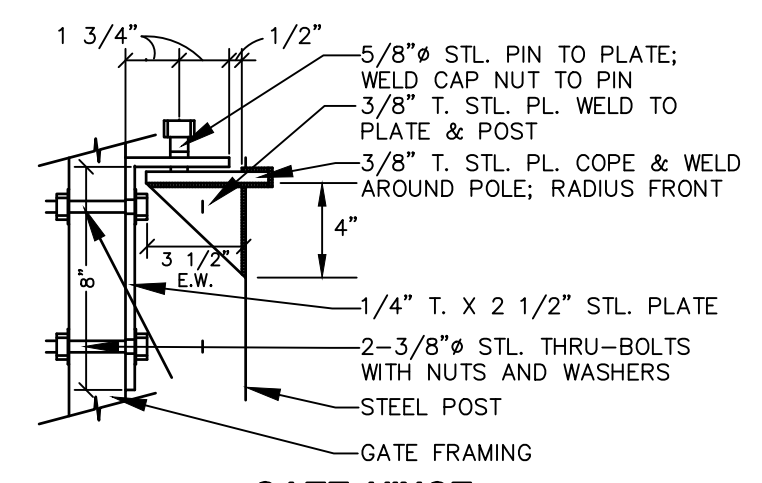
NOTES:
STEEL FOR POSTS SHALL CONFORM TO THE MECHANICAL REQUIREMENTS OF ASTM A 499-81 GRADE 60 AND TO THE CHEMICAL REQUIREMENTS OF ASTM A-76 CARBON STEEL, THE RAIL, HAVING NOMINAL HEIGHT OF 79 LBS OR GREATER PER LINEAR YARD.
AFTER FABRICATION ALL STEEL POSTS SHALL BE GALVANIZED TO MEET THE REQUIREMENTS OF ASTM A-123.
SIGN MOUNTING HEIGHT TO BE APPROVED BY THE ENGINEER.



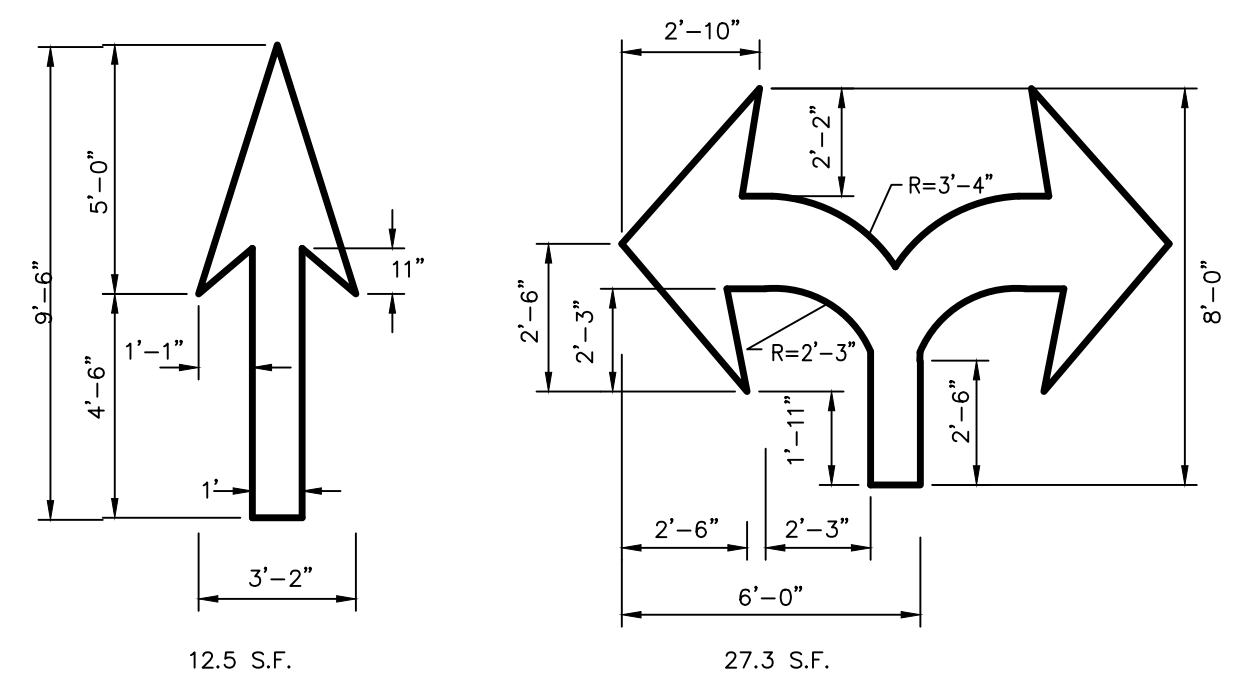
TRASH ENCLOSURE PLAN
N.T.S. BLSE-004



TRASH ENCLOSURE CHAIN LINK FENCE GATE
N.T.S. BLF0-001

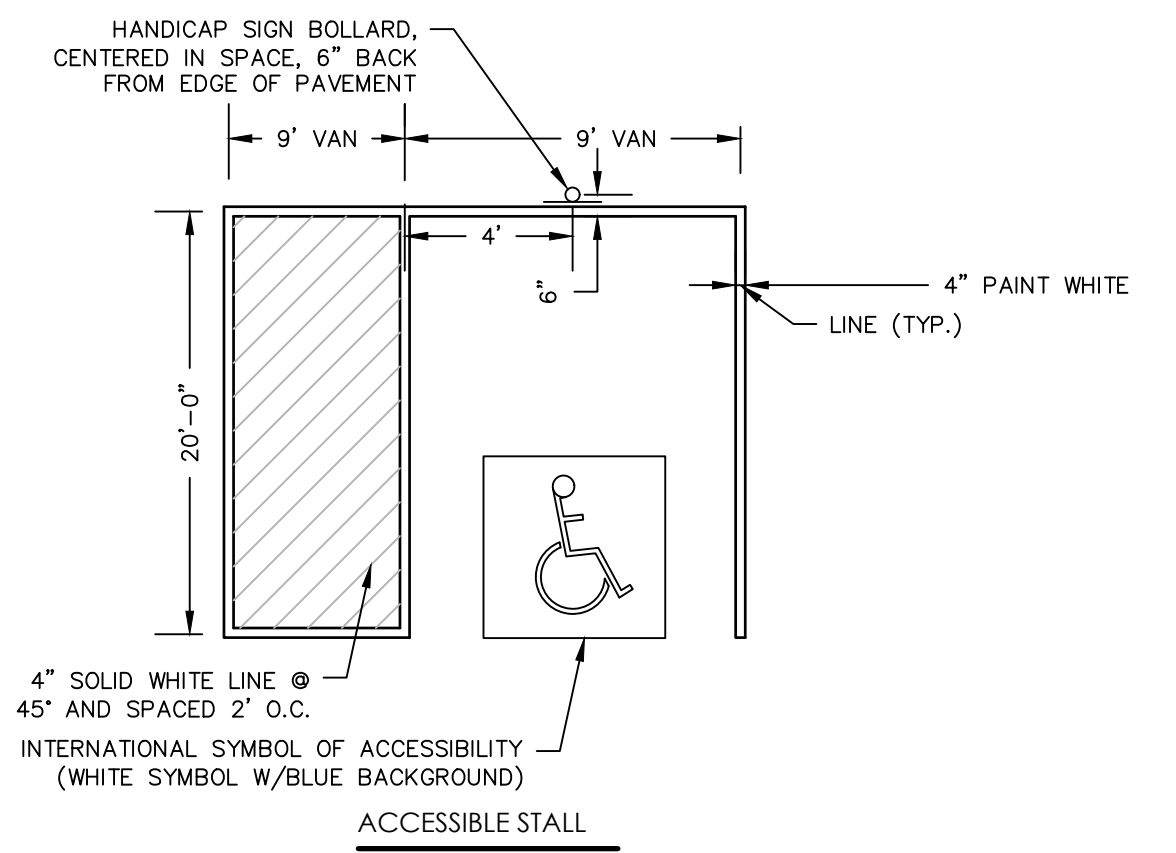


DUMPSTER ENCLOSURE GATE (HALF SECTION)
N.T.S. BLSE-001



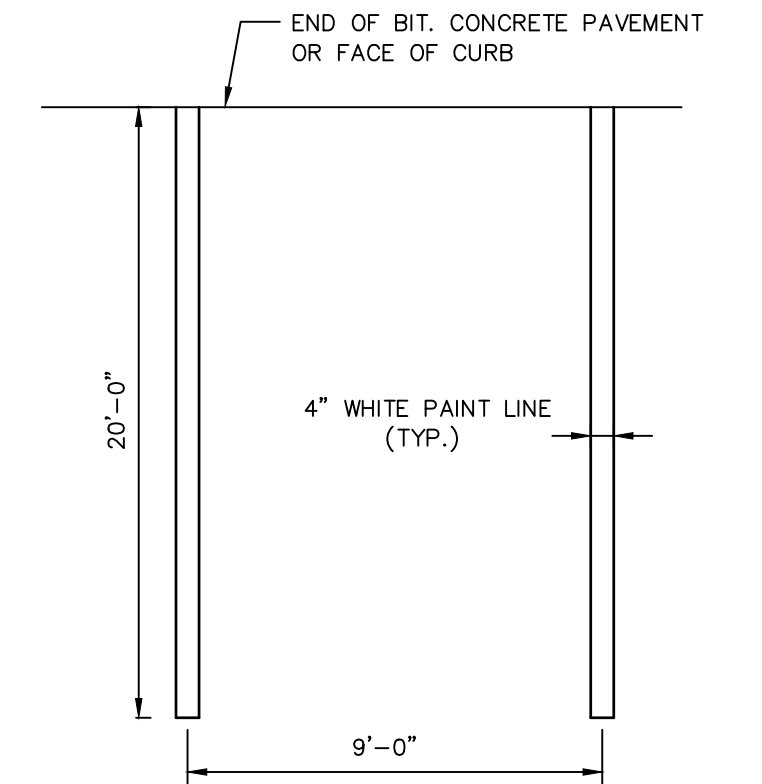
PAINTED TRAFFIC ARROW DETAILS
N.T.S.

NOTES:
1. WHITE (ARROWS TO BE CENTERED IN TRAVEL LANE)



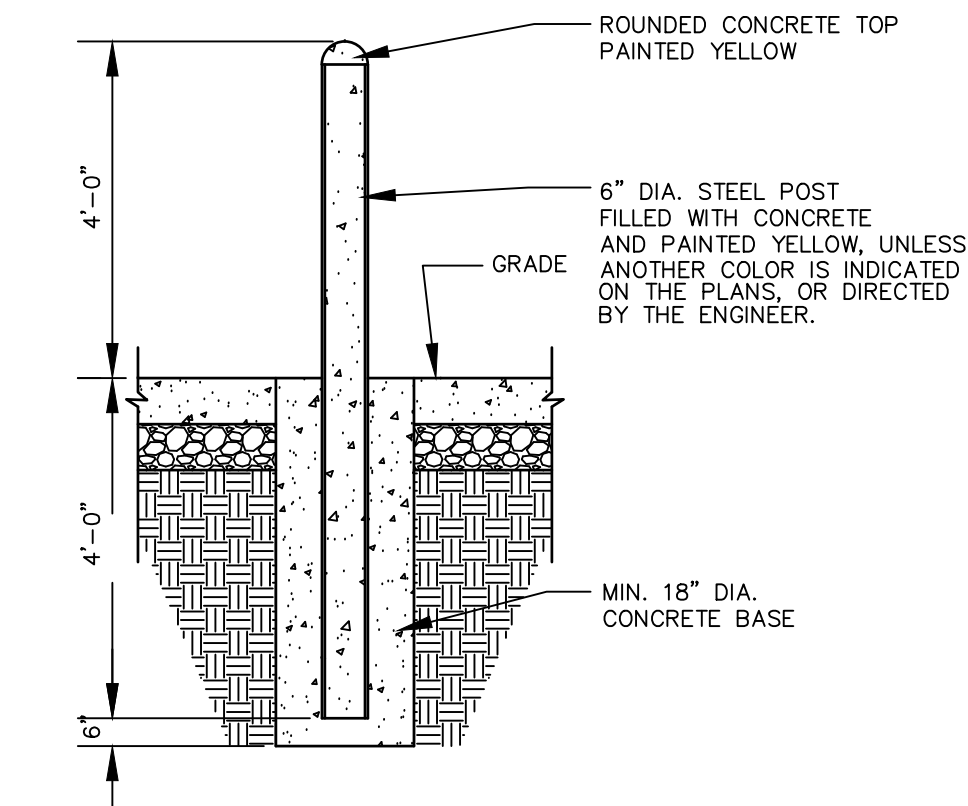
TYPICAL HANDICAP PARKING STALL LAYOUT
N.T.S.

NOTE:
UNIFORM FEDERAL ACCESSIBILITY STANDARDS, SECTION 4.30. & 2010 ADA

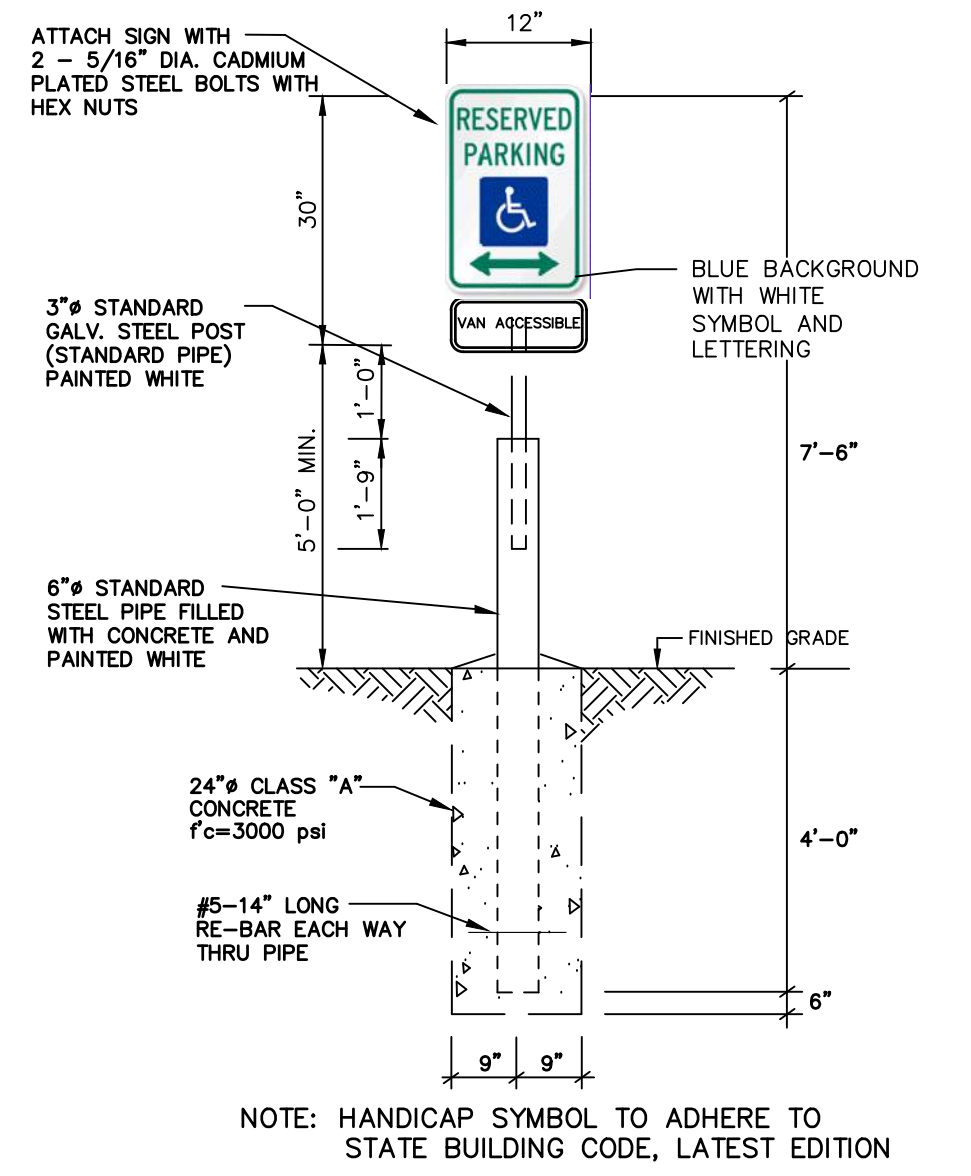


TYPICAL PARKING SPACE DETAIL
N.T.S. BLPC-003

NOTE:
1. PROVIDE 2 COATS OF PAINT ON ALL SURFACES.
2. SEE PLAN FOR ACTUAL SPACE LOCATION AND DIMENSIONS.

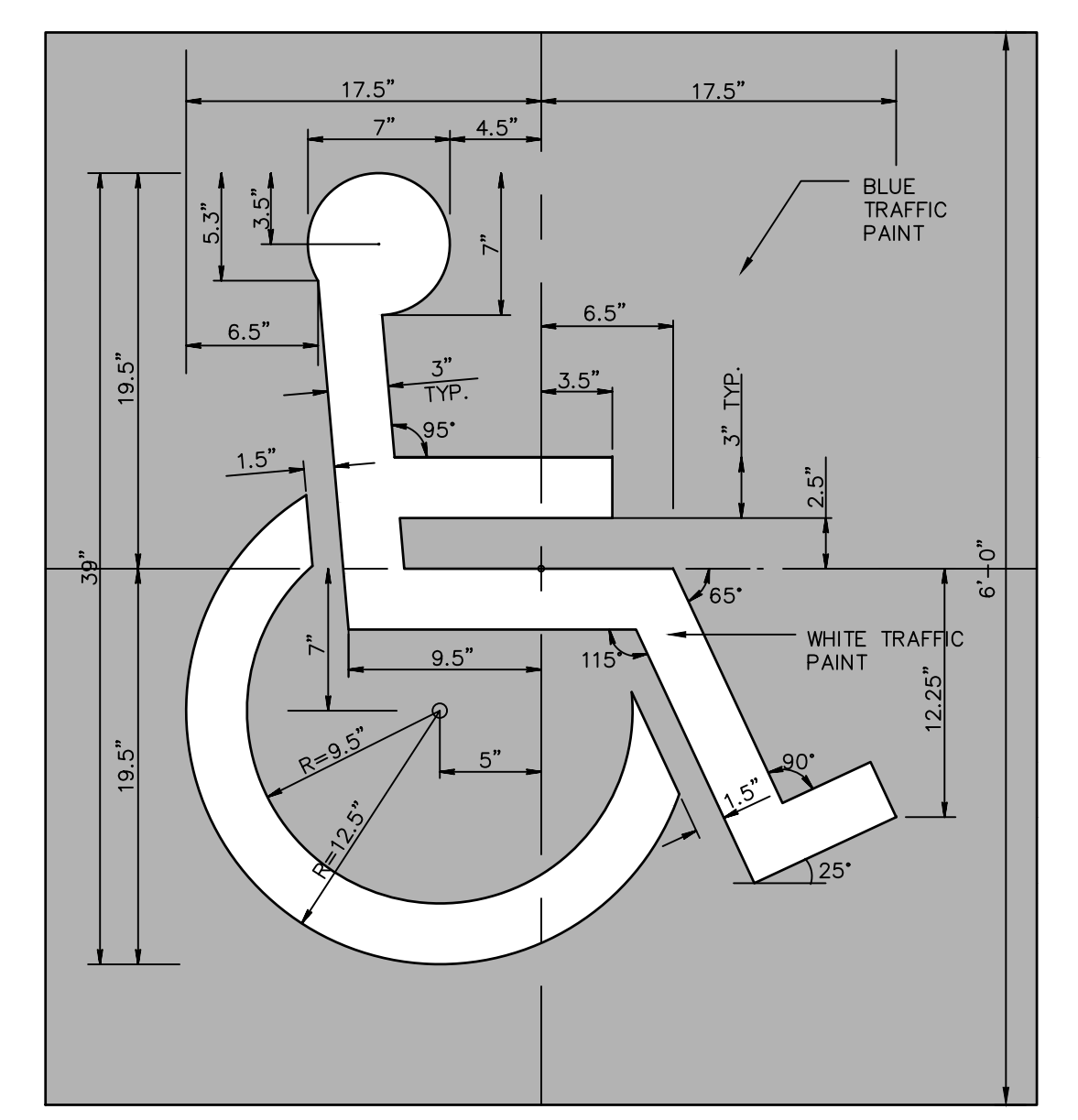


BOLLARD DETAIL
N.T.S. BLSE-005



HANDICAP SIGN BOLLARD
N.T.S.

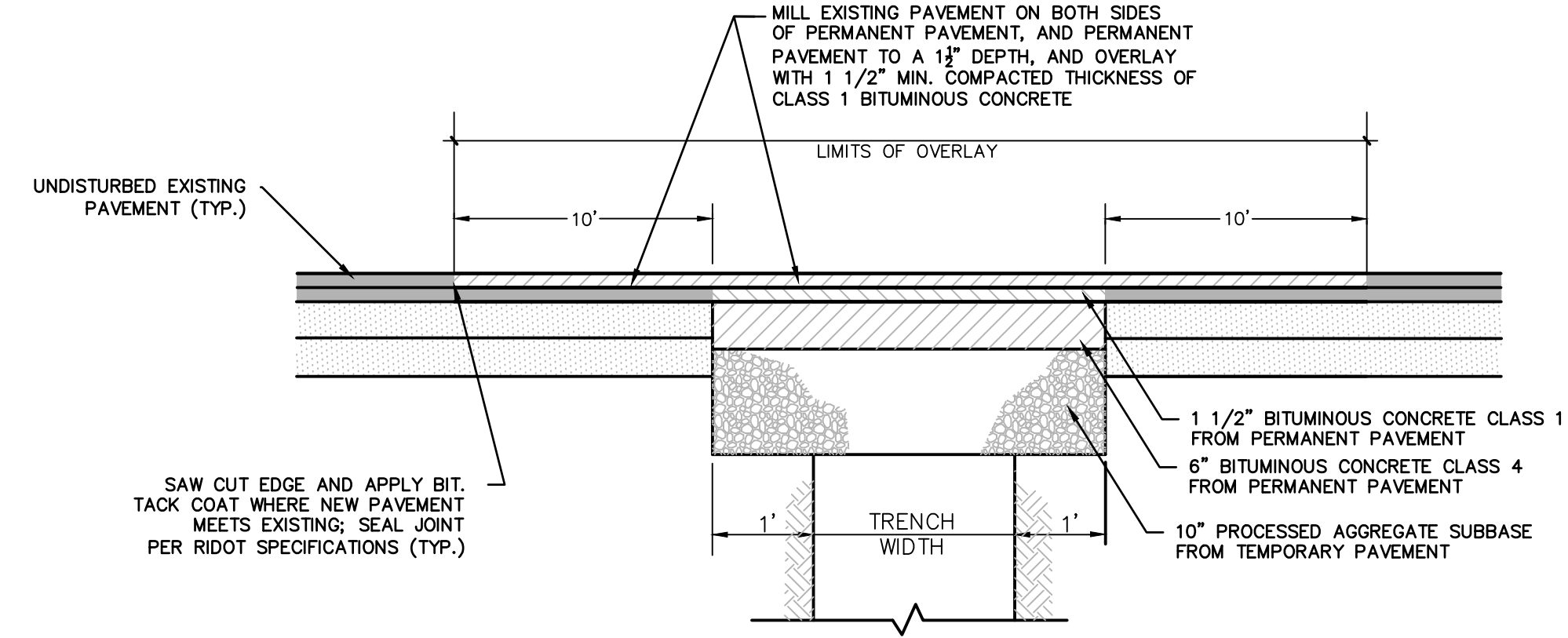
NOTE: HANDICAP SYMBOL TO ADHERE TO STATE BUILDING CODE, LATEST EDITION



INTERNATIONAL SYMBOL OF ACCESSIBILITY PAVEMENT MARKING
N.T.S.

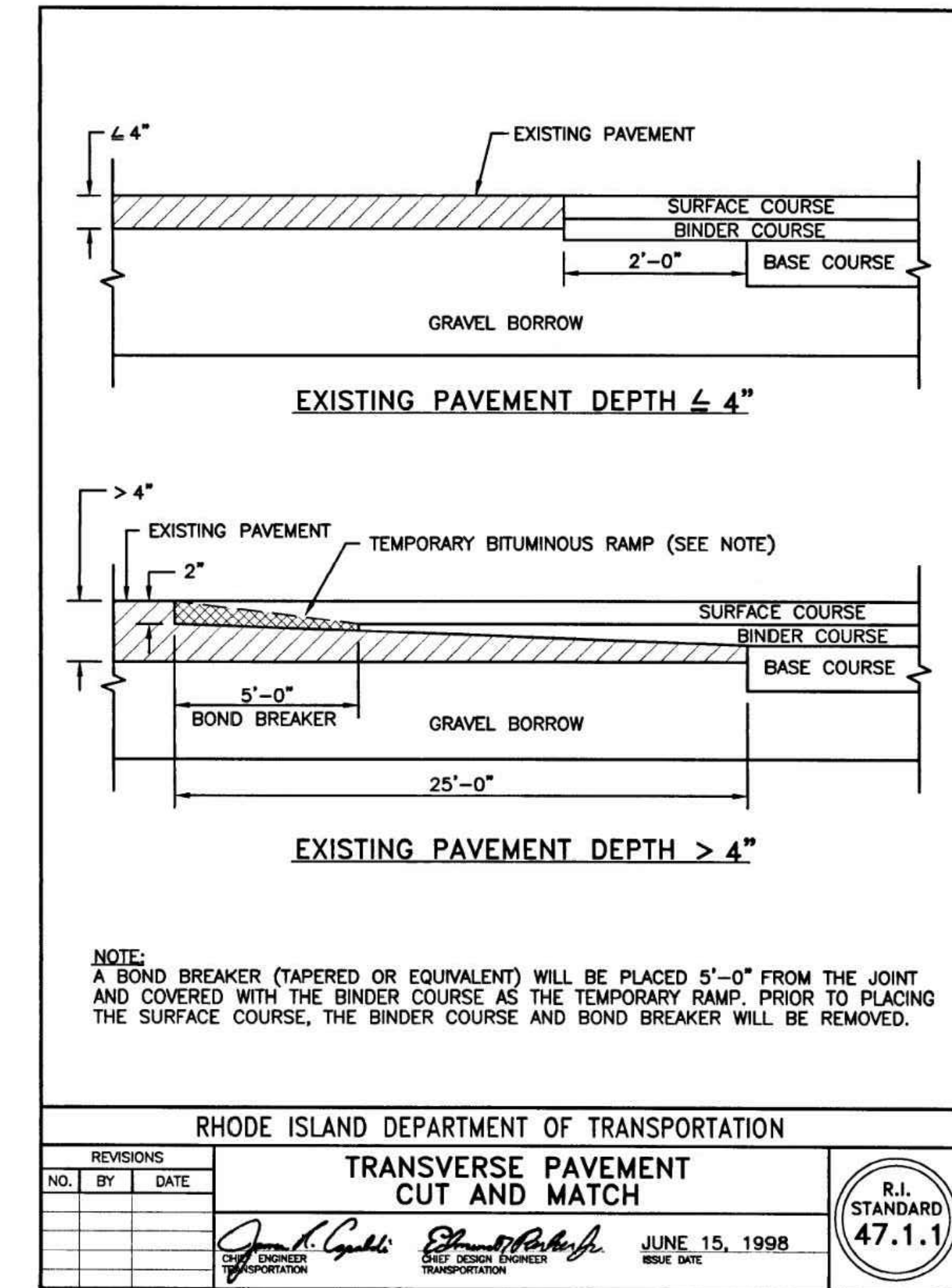
NOTE: SEE SITE PLAN FOR LOCATIONS

NOT FOR CONSTRUCTION FOR PERMITTING PURPOSES ONLY



**MILLING AND OVERLAY
TRENCHES PERPENDICULAR TO EDGE OF PAVEMENT**

N.T.S.



NOTE:
A BOND BREAKER (TAPERED OR EQUIVALENT) WILL BE PLACED 5'-0" FROM THE JOINT AND COVERED WITH THE BINDER COURSE AS THE TEMPORARY RAMP. PRIOR TO PLACING THE SURFACE COURSE, THE BINDER COURSE AND BOND BREAKER WILL BE REMOVED.

RHODE ISLAND DEPARTMENT OF TRANSPORTATION

REVISIONS			R.I. STANDARD 47.1.1
NO.	BY	DATE	

**TRANSVERSE PAVEMENT
CUT AND MATCH**

James A. Capaldi *Edward P. ...*
 CLERK ENGINEER SHELTER DESIGN ENGINEER
 TRANSPORTATION TRANSPORTATION

JUNE 15, 1998
ISSUE DATE

NOT FOR CONSTRUCTION
FOR PERMITTING PURPOSES ONLY

7/30/2020, CHEUREUX, G:\L08118\18C6704\DWG\DN18C67041.DWG,DN18C67041

REVISIONS
No. Date

Designed C.J.L.
 Drawn C.J.L.
 Reviewed M.J.B.
 Scale N.T.S.
 Project No. 18C6704
 Date 7/30/2020

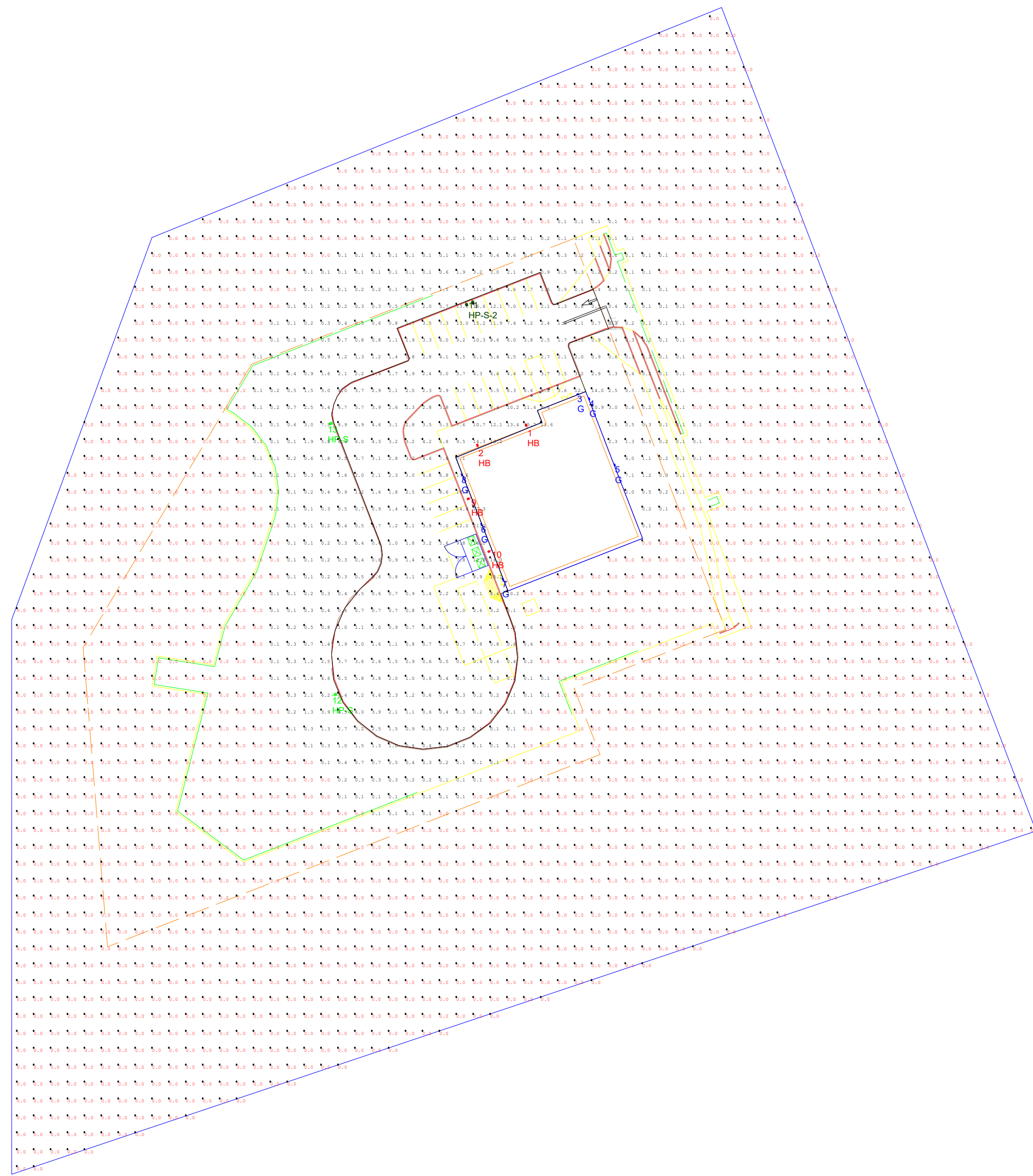
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Title
SITE DETAILS

Sheet No.

DN-5

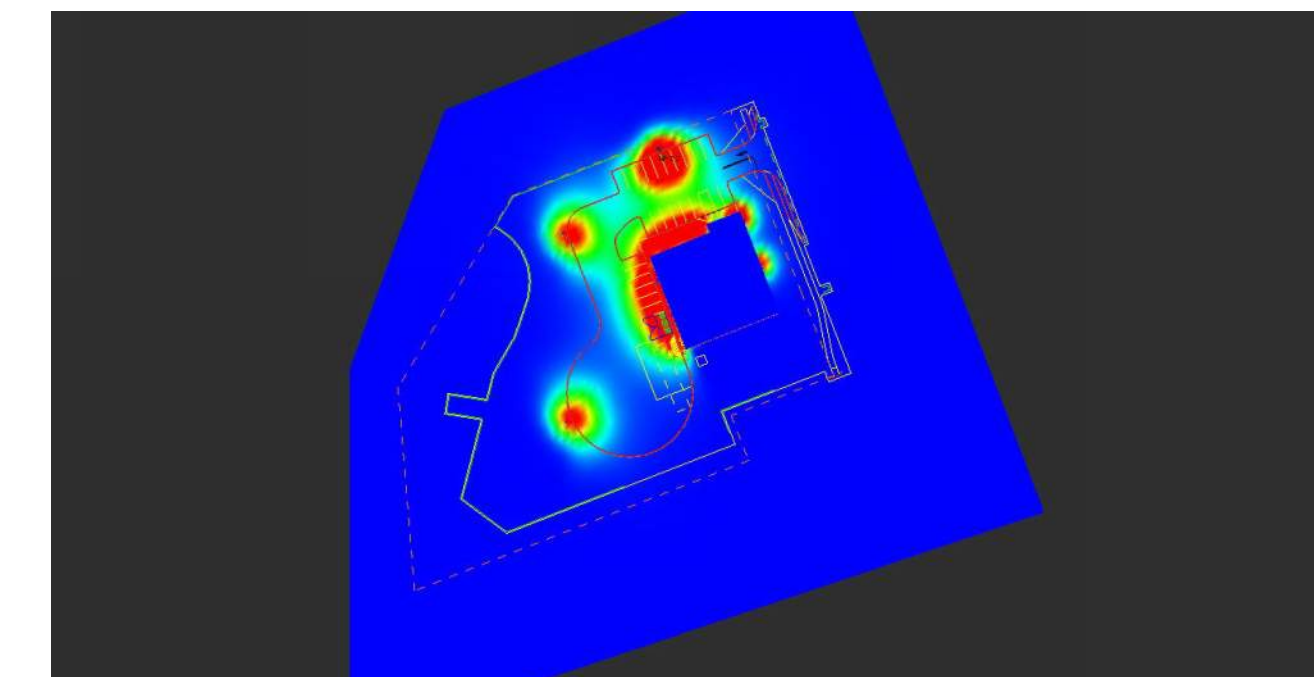
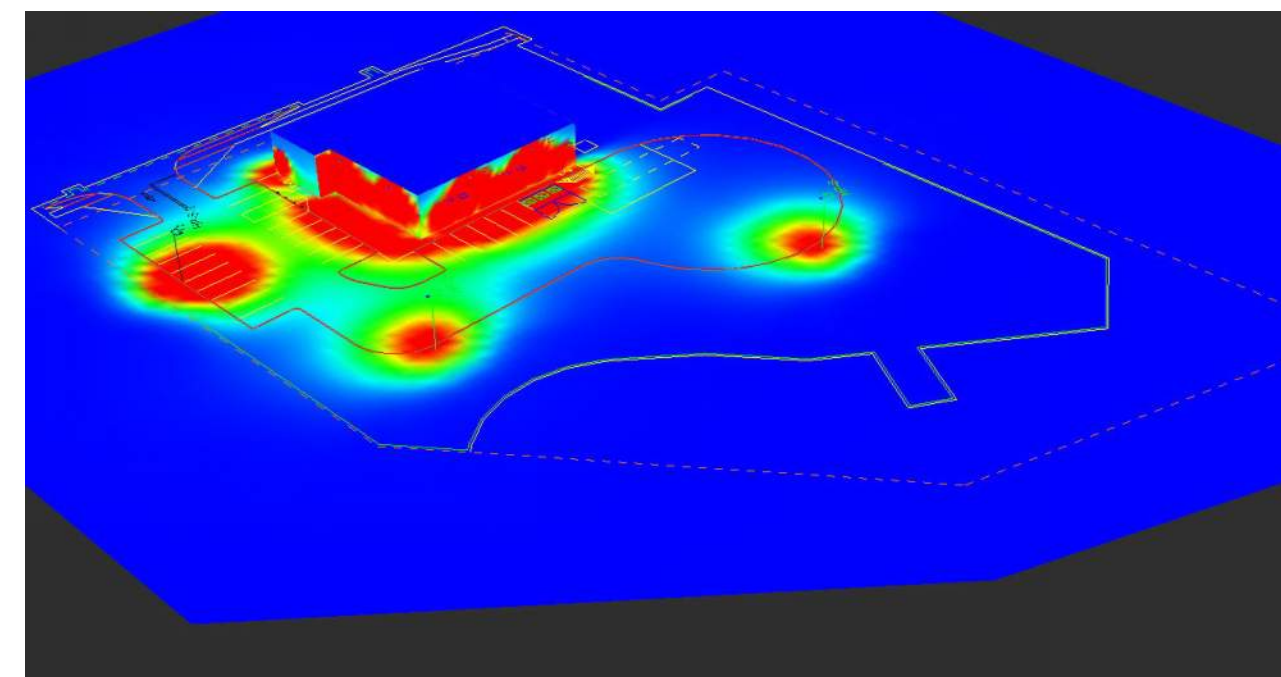
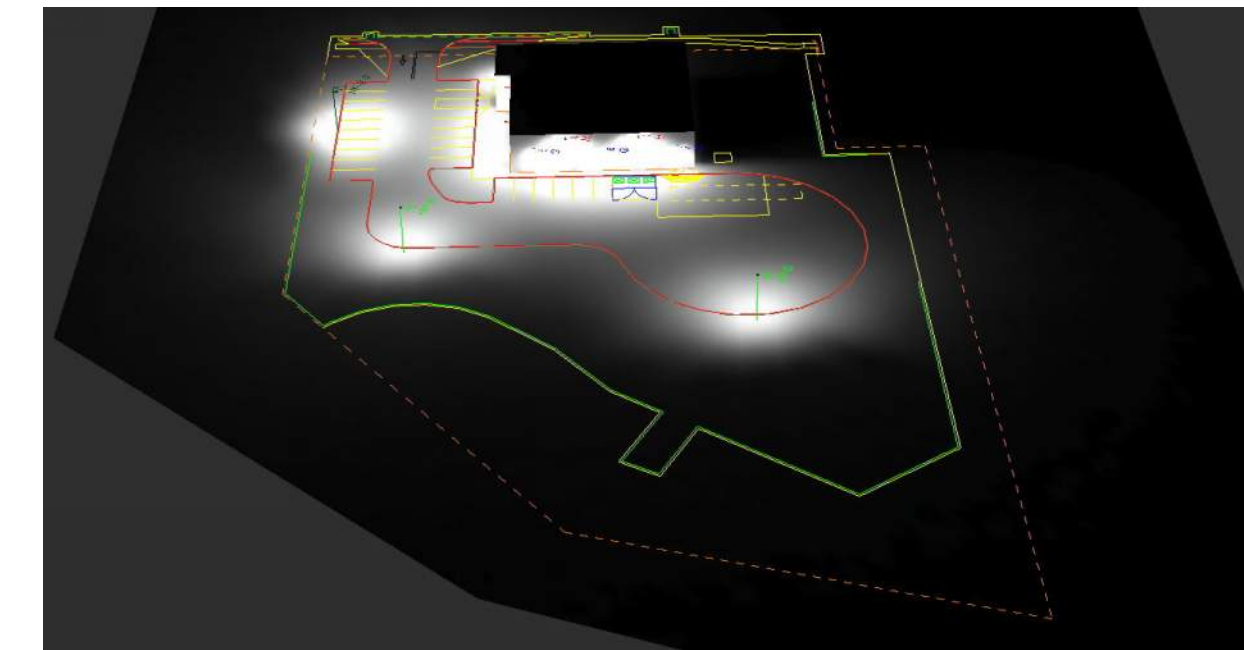
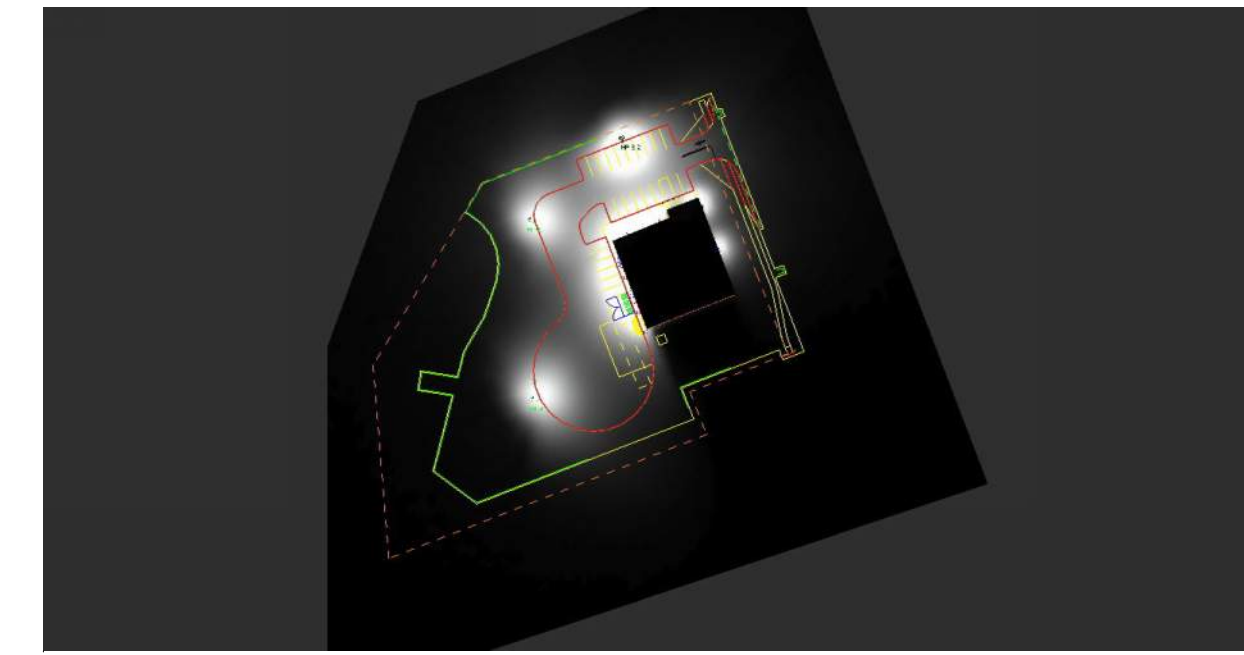
Xref (R): 18D18C670401



Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
4	4	HB	SINGLE	19775	0.950	LEDS-AL-150W-T4-SK - Wall Mt. 42in Upswing Arm Type 4 SK
1	8	G	SINGLE	2616	0.950	LEDS-WP-C4550-SK - Wall Post, Full Cutoff SK
2	2	HP-S	SINGLE	16462	0.950	LEDS-AL-150W-T4-SK-S - Single Pole Mt. 150w Type 4 SK Swivel
1	1	HP-S2	TWIN	16462	0.950	LEDS-AL-150W-T4-SK-S - Double Pole Mt. 150w Type 4 SK Swivel

Calculation Summary							
Label	Calc Type	Units	Avg	Max	Min	Avg/Min	Max/Min
Site	Illuminance	Fc	9.51	21.0	0.0	N/A	N/A
Parking Lot	Illuminance	Fc	4.20	21.0	0.1	42.00	210.00

Luminaire Location Summary		
LumNo	Label	Z
1	HB	18.5
2	HB	18.5
3	G	12
4	G	12
5	G	12
6	G	12
7	G	12
8	G	12
9	HB	18.5
10	HB	18.5
11	HP-S2	22
12	HP-S	22
13	HP-S	22



Notes:

Plan Notes:

Calculations at Ground Level (10' x 10' Grid Spacing). Refer to luminaire location summary for mounting heights of each fixture. Pole mounted fixtures include a 2ft concrete base. Mounting heights indicated on luminaire location summary is a total A.F.G. height.

General Notes:

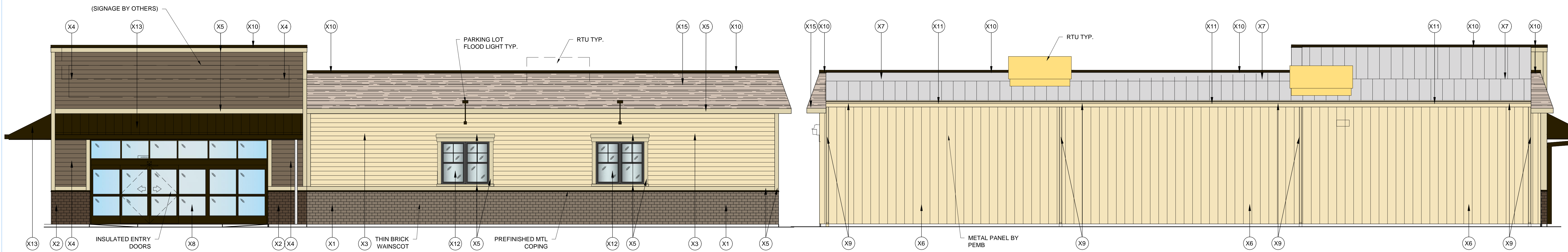
Due to changing lighting ordinances it is the contractors responsibility to submit the site photometrics & luminaire specs to the local inspector before ordering to ensure this plan complies with local lighting ordinances. This lighting design is based on information supplied by others. Changes in electrical supply, area geometry & objects within the lighted area may produce illumination values different from the predicted results shown on this layout. This layout is based on .IES files that were lab tested or computer generated, actual results may vary.



#	Date	Comments
Revisions		

Drawn By: BMF, LC
 Checked By:
 Date: 7/19/2020
 Scale:

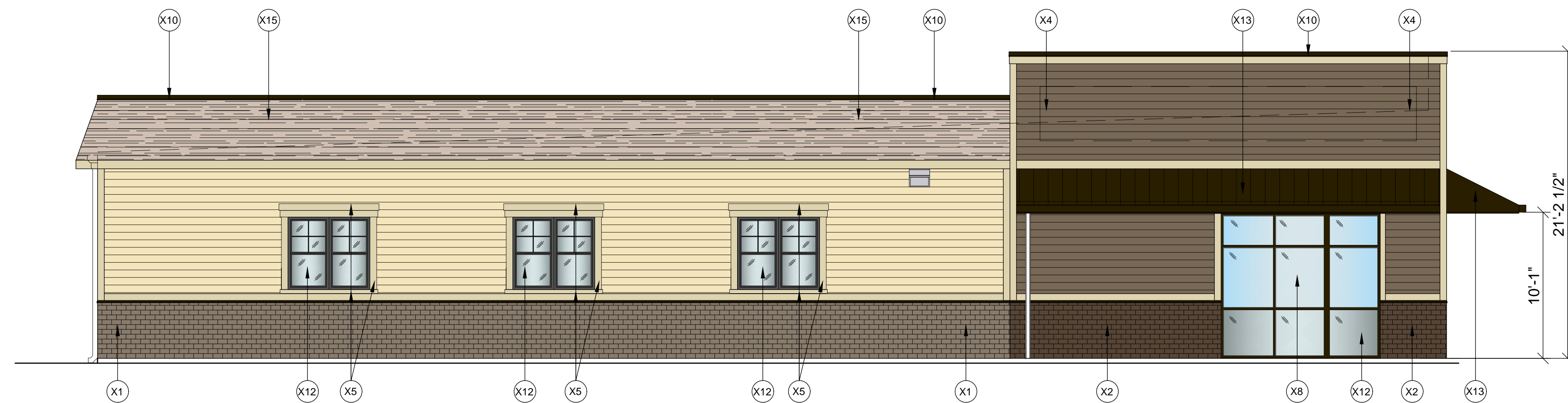
Dollar General -
 South Kingstown 20236



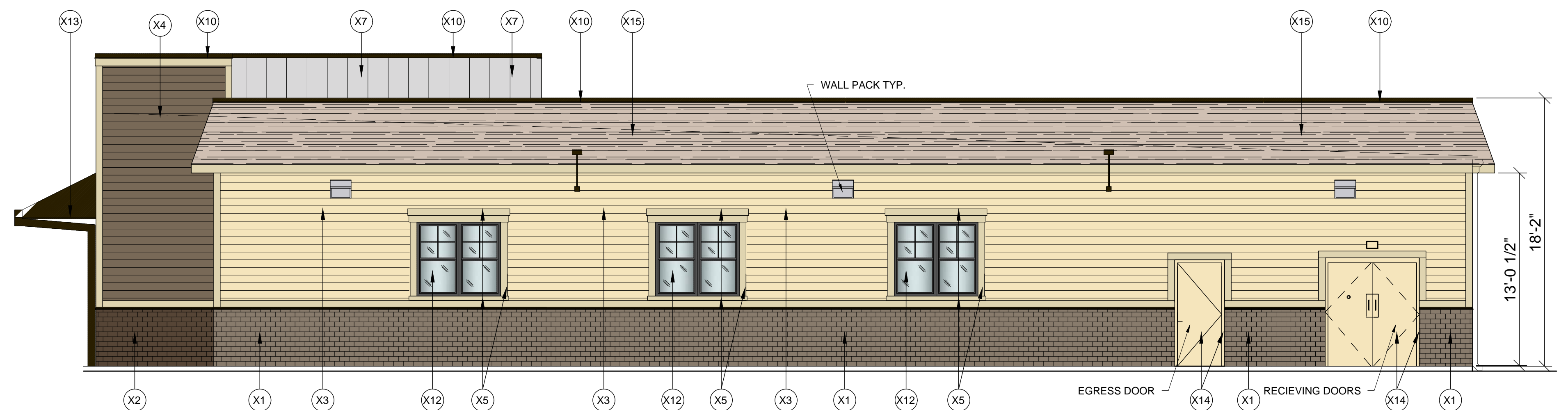
1 PROPOSED FRONT ELEVATION
SCALE: 1/8"-1'-0"

2 PROPOSED REAR ELEVATION
SCALE: 1/8"-1'-0"

TAG	MATERIAL/ MFG.	COLOR/ NO.	NOTES
X1	THIN BRICK WAINSCOT	COLOR: SW 7032 WARM STONE	PAINTED
X2	THIN BRICK WAINSCOT	COLOR: SW 7041 VAN DYKE BROWN	PAINTED
X3	HARDIE BOARD LAPBOARD	COLOR: SAIL CLOTH	PREFINISHED
X4	HARDIE BOARD LAPBOARD	COLOR: TIMBERBARK	PREFINISHED
X5	HARDIE BOARD TRIM BOARD	COLOR: NAVAJO BEIGE	PREFINISHED
X6	METAL PANEL CLADDING	COLOR: PARCHMENT	FINISH BY PEMB
X7	STANDARD METAL ROOF PANEL	COLOR: GALVALUME	FINISH BY PEMB
X8	STANDARD ENTRY DOORS/ STOREFRONT	COLOR: DARK BRONZE	PRE-FINISHED
X9	MTL GUTTERS, DOWNSPOUTS	COLOR: PARCHMENT	FINISH BY PEMB
X10	MTL COPING	COLOR: DARK BRONZE	FINISH BY PEMB
X11	MTL COPING	COLOR: PARCHMENT	FINISH BY PEMB
X12	SPANDREL WINDOWS	FRAME COLOR: DARK BRONZE	PREFINISHED LT GREY SPANDREL
X13	MTL AWNING	COLOR: DARK BRONZE	FINISH BY PEMB
X14	MTL DOOR & FRAME	COLOR: PAINTED TO MATCH (2)	PAINTED
X15	ARCH ASPHALT SHINGLES	COLOR: WEATHER WOOD	GAF TIMBERLINE 30 YEAR SHINGLE



3 PROPOSED SIDE ELEVATION (KINGSTOWN RD RT 108)
SCALE: 1/8"-1'-0"



4 PROPOSED SIDE ELEVATION
SCALE: 1/8"-1'-0"