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TOWN OF SOUTH KINGSTOWN  
PLANNING BOARD  
PROJECT REVIEW APPLICATION FORM



This Application Form is to be submitted with each stage of review.

APPLICANT INFORMATION

Applicant Name: Keystone LLC  
Name of Primary Contact (if applicant is an organization): Zachary Neill / Nicholas Neill  
Applicant Address: P.O. Box 669 Wakefield RI 02850  
Applicant Phone: 401-585-5829 (Zack) Applicant Email: Zack.neillbros@gmail.com  
401-595-2096 (Nick) Nick.neillbros@gmail.com

OWNER INFORMATION

Owner Name(s): Zachary Neill / Nicholas Neill  
Owner Contact Information: 401-585-5829 / 401-595-2096

PROJECT INFORMATION

Assessor's Plat and Lot of Parcel(s) Proposed for Subdivision/Development: 57-1/LOT 73  
Physical Address or Location of Parcel(s): 82 Main St. Wakefield RI 02879  
Zoning District(s) of Parcel(s): CD Total Size of Development Parcel: 0.15 Acre / 6534.5 FT  
Date of Initial Meeting with Planning Department Staff (before first stage of review): Feb 2025

TYPE OF PROJECT (select all that apply)

- |  |   |
|--|---|
| <input type="checkbox"/> Development Plan Review                                 | <input checked="" type="checkbox"/> Minor Land Development Project  |
| <input type="checkbox"/> Administrative Subdivision                              | <input checked="" type="checkbox"/> Major Land Development Project  |
| <input type="checkbox"/> Minor Subdivision, without street creation or extension | <input type="checkbox"/> Multi-Household Land Development Project   |
| <input type="checkbox"/> Minor Subdivision, with street creation or extension    | <input type="checkbox"/> Flexible Design Residential Project (FDRP) |
| <input type="checkbox"/> Major Subdivision                                       | <input type="checkbox"/> Residential Compound                       |
|  | <input type="checkbox"/> Comprehensive Permit                       |

CURRENT STAGE OF REVIEW (if applicable)

- |  |   |
|--|---|
| <input checked="" type="checkbox"/> Pre-Application Concept Review | <input type="checkbox"/> Release of Performance/Maintenance Guarantee |
| <input type="checkbox"/> Conceptual Master Plan                    | <input type="checkbox"/> Change to an Approved Plan                   |
| <input type="checkbox"/> Preliminary Plan                          | <input type="checkbox"/> Reinstatement or Extension to Approved Plan  |
| <input type="checkbox"/> Final Plan                                | <input type="checkbox"/> Request to Combine Review Stages             |
| <input type="checkbox"/> Recording                                 | <input type="checkbox"/> Other  |

**WAIVERS AND MODIFICATIONS**

Does this application request waiver of or modification to any of the requirements of the Town of South Kingstown Subdivision and Land Development Regulations?  yes\*       no

*\*If yes, a statement describing the specific regulation(s) for which waiver or modification is requested must be included in the application materials.*

**CERTIFICATION OF COMPLETE APPLICATION**

(1) The applicant hereby certifies that all of the materials required by the applicable checklist(s), as determined by Planning Department staff during the initial meeting, have been submitted including a review fee in the amount of \$ 100

(2) The applicant hereby certifies that the plan set and other submitted materials conform to the requirements of the current adopted version of the Town of South Kingstown Subdivision and Land Development Regulations, or, that a written statement has been provided listing all requested waivers and/or modifications of the Regulations.

Zachary D Neill  
Applicant Signature

4/29/2025  
Date

Zachary Neill  
Printed Name

**PROJECT TEAM FORM**

Submittal Date: 5/2/2025

The Project Team Form is to be submitted with each stage of review. If no changes to the Project Team have occurred since the last stage of review, a copy of the previously submitted Form may be submitted with an updated Submittal Date.

**ATTORNEY**

This entity should be copied on all project correspondence

YES  NO

Name: Sayer Regan & Thayer LLP  
Name of Primary Contact (if attorney is an organization): ~~Debra Montesi~~ / Michael Monti  
Address: 343 Main St. Wakefield RI 02879  
Phone: (800) 803-7699 Email: ~~Debra.Montesi@SRT-Law.com~~  
mmonti@SRT-Law.com

**ENGINEER**

This entity should be copied on all project correspondence

YES  NO

Name: Commonwealth Engineering & Consultants, Inc  
Name of Primary Contact (if engineer is an organization): Timothy Behan  
Address: 400 Smith Street, Providence RI 02908  
Phone: 401-273-6600 Ext. 138 Email: tbehan@Commonwealth-eng.com

**SURVEYOR**

This entity should be copied on all project correspondence

YES  NO

Name: East Greenwich Surveyors, LLC  
Name of Primary Contact (if surveyor is an organization): Kirk Andrews  
Address: 1050 Main Street, Suite 31, East Greenwich RI 02818  
Phone: (401) 339-2681 Email: kandrews1684@aol.com

**LANDSCAPE ARCHITECT**

This entity should be copied on all project correspondence

YES  NO

Name: N/A ~~Entwine Landdesign~~  
Name of Primary Contact (if landscape architect is an organization): Alex Lombardi  
Address: \_\_\_\_\_  
Phone: 401-829-9591 Email: EntwineLanddesign11C@gmail.com

**ARCHITECT**

This entity should be copied on all project correspondence

YES  NO

Name: Herk Works  
Name of Primary Contact (if architect is an organization): Dan  
Address: 36 Aquidneck Ave, Middletown RI 02842  
Phone: 401-662-7875 Email: Dan@Herk-Works.com

**OTHER**

This entity should be copied on all project correspondence

YES  NO

Name: \_\_\_\_\_  
Role on Project: \_\_\_\_\_  
Name of Primary Contact (if entity is an organization): \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone: \_\_\_\_\_ Email: \_\_\_\_\_

**OWNER AUTHORIZATION FORM**

Submittal Date: 5/16/2025 <sup>(30)</sup>

Owner Authorization Forms for each owner of the property being considered for subdivision/development is to be submitted with each stage of review. If no changes to the ownership have occurred since the last stage of review, a copy of the previously submitted Form may be submitted with an updated Submittal Date.

I, Zachary D Neill hereby certify that I am an/the owner of property designated as Plat 571, Lot 73, as shown on the Town of South Kingstown Tax Assessor Maps.

I further certify that I am the owner of the development rights for this property.

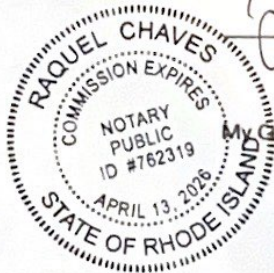
I hereby authorize and am in agreement with the application, signed by Zachary D Neill (applicant), for subdivision or development for the subject property. Said application is to be submitted to the Planning Department of the Town of South Kingstown for review and decision by the Planning Board.

WITNESS its name this 6<sup>th</sup> day of May, 2025

BY Zachary D Neill  
Signature of Owner

STATE OF RHODE ISLAND  
County of Washington

In Wakefield on the 6<sup>th</sup> day of May, 2025 before me personally appeared Zachary D Neill (name) to me known and known by me to the party executing the foregoing instrument and acknowledged said instrument, by him/her executed, to be his/her free act and deed, as Keystone LLC (individual, corporation, trustee, partnership, non-profit, etc.).



[Signature]  
Notary Public

My Commission Expires: 4/13/2026

# Owner authorization form

## OWNER AUTHORIZATION FORM

Submittal Date: 5/28/25

Owner Authorization Forms for each owner of the property being considered for subdivision/development is to be submitted with each stage of review. If no changes to the ownership have occurred since the last stage of review, a copy of the previously submitted Form may be submitted with an updated Submittal Date.

I, Nicholas David Neill hereby certify that I am an/the owner of property designated as Plat 57-1, Lot 73, as shown on the Town of South Kingstown Tax Assessor Maps. I further certify that I am the owner of the development rights for this property.

I hereby authorize and am in agreement with the application, signed by Nicholas D Neill (applicant), for subdivision or development for the subject property. Said application is to be submitted to the Planning Department of the Town of South Kingstown for review and decision by the Planning Board.

WITNESS its name this 29TH day of MAY, 2025

BY: [Signature]  
Signature of Owner

STATE OF RHODE ISLAND

County of WASHINGTON

In WAKEFIELD on the 29TH day of MAY 2025, before me personally appeared NICHOLAS D. NEILL (name) to me known and known by me to the party executing the foregoing instrument and acknowledged said instrument, by him/her executed, to be his/her free act and deed, as KEYSTONE LLC (individual, corporation, trustee, partnership, non-profit, etc.).



[Signature]  
Notary Public

My Commission Expires: JULY 15, 2025

# NARRATIVE REPORT

## Site Description

The subject property is a cleared, relatively flat parcel with an area of 0.15 acres. Existing topographic contours range from an elevation of 53 feet at the rear to 50 feet at the front. The proposed grading plan maintains these elevations, aligning with the accompanying landscape design to ensure minimal disruption to the natural topography.

## Project Overview

Keystone LLC proposes the development of a mixed-use building comprising commercial and residential components. The first floor will accommodate office spaces and light-duty storage facilities within the foot print of the building, while the second floor will consist of two two-bedroom, one-bathroom residential apartments.

## Architectural Design

The exterior façade of the proposed building is designed to harmonize with the architectural character of the surrounding area, emphasizing the shingle-style residential aesthetic prevalent along Main Street. Key design features include a farmer's porch to enhance the residential appeal and align with the town's aesthetic vision. The building design has been refined in response to feedback from the Wakefield Planning Board to ensure compatibility with local preferences and standards.

## Parking and Access

A five-vehicle parking lot, including one ADA-compliant space, is proposed at the rear of the building with access via Hazard Street. This placement reflects the Planning Board's preference for discreet parking solutions that minimize visual impact on Main Street.

## Environmental and Engineering Assessments

Comprehensive soil testing and civil engineering evaluations have been conducted by Avizinis Environmental Services, Inc. and American Engineering, Inc. The soil analysis confirms the site's structural adequacy and drainage capacity, supporting compliance with all applicable Rhode Island Department of Environmental Management (DEM) permitting requirements.

American Engineering, Inc. is actively pursuing the necessary DEM approvals, including an Underground Injection Permit and a Stormwater and Water Quality Permit.

## **Conclusion**

Keystone LLC is committed to delivering a thoughtfully designed mixed-use development that enhances the character of Wakefield's Main Street while meeting the needs of the community. The project aligns with local aesthetic and functional preferences, as guided by the Planning Board, and adheres to all environmental and regulatory standards.



82 Main St  
Minor Land Development Application

# REQUEST FOR WAIVERS & RELIEF

Keystone LLC is formally requesting a variance for the land development project located at 82 Main Street, Wakefield, RI 02879.

## **Dimensional Variance:**

The initial request pertains to a dimensional variance due to insufficient land area as stipulated in Section 401 – Schedule of Dimensional Regulations. The proposed mixed-use structure, which includes one commercial space and two residential units within the Commercial Downtown (CD) zoning district, requires a minimum land area of 10,000 square feet. However, the current lot area is only 6,534 square feet, necessitating a variance of 3,466 square feet.

## **Waiver of DEM Approvals:**

Keystone LLC respectfully requests a waiver for the immediate approval requirement of the DEM Underground Injection Permit and DEM Stormwater and Water Quality Permit for the proposed development at 82 Main Street, Wakefield, RI (Assessor's Plat 57-1, Lot 73). American Engineering, Inc. has submitted these permit applications to the Rhode Island Department of Environmental Management, and we are awaiting approval. This waiver will allow project review to proceed while ensuring compliance with all regulatory requirements.

## REVISIONS TO APPLICATION

Keystone LLC presented the proposed development at 82 Main Street, Wakefield, RI to the Town of South Kingstown Planning Board at a public meeting on May 29, 2025. In response to the Board's feedback, Keystone LLC has incorporated adjustments to the project plan to align with the Board's preferences and community standards

- Reduced number of proposed residential units from 3 units to 2 units
  - This reduced the total required square footage from 11,200sqft to 10,000sqft. Currently seeking relief of 3,466sqft
  - The adjustment also reduced the number of required parking spaces from 6 to 5 which
  - eliminated the need for parking relief
- Redesigned the exterior façade to compliment the historical, shingle style, residential centric aesthetic of the surrounding buildings on Main St.
  - As custom home builder located in South Kingstown, who grew up in South Kingstown, it is important to us to build something that will be a favorable addition to the village's downtown and help the town to grow in a sustainable fashion

# South Kingstown's Comprehensive Land Use Plan

- It is important for us to note that our application has been planned to be in line with South Kingstown's Comprehensive Land Use Plan goals.
- This project is consistent with the Comprehensive Plan's stated goal of providing "additional opportunities for properly located, appropriately sized, and well-designed commercial and mixed-use development that builds upon the historical development patterns." And that the plan specifically recognizes that "opportunities to promote mixed-use development that provides both commercial and residential uses exist along Main Street".
- Other statements from the comprehensive plan's stated goal that aligns with our project
  - Land Use Goal 4 ("The integrity of the Town's villages will be intact, and the village-centric approach to development, which recognizes each village's unique objectives, will be strengthened")
  - Policies 4.3 (to "encourage a mix of commercial activities within the Town's Villages to support a sustainable model of economic and community development")
  - Policies 4.4 (to "provide a diversity of housing within villages that can support a mix of businesses")



April 30, 2025

Zachary Neill  
Neill Brothers Construction  
zack.neillbros@gmail.com

RE: Wetland evaluation | 82 Main Street, Wakefield Rhode Island 02879

Dear Mr. Neill,

On April 29, 2025, Avizinis Environmental Services, Inc., (AES) staff visited the above referenced property to assess whether any regulated freshwater wetlands exist on the property that would interfere with any proposed development of the property.

Wetlands in Rhode Island are regulated by two agencies, the Department of Environmental Management (DEM), or the Coastal Resources Management Council (CRMC). The State of Rhode Island has created predetermined maps that identify which properties are under which regulatory agency. These maps identify that the subject property is within DEM jurisdiction. Therefore, AES has assessed the property consistent with the standards outlined in section 3.21 of the Rules and Regulations Governing the Administration and Enforcement of the Freshwater Wetlands Act (250-RICR-150-15-3).

AES staff found no wetlands or coastal features either within the property itself or within 200 feet of the lot that would incur any jurisdiction onto the property.

Please do not hesitate to contact us with any questions or concerns.

Sincerely,

A handwritten signature in blue ink, appearing to read "E. Avizinis", is written over a light blue horizontal line.

Edward Avizinis, CPSS, PWS | President



**Patrick Grant**  
**Superintendent**  
**Veolia Water Rhode**  
**Island**  
10 High St, Suite K  
Wakefield RI 02879  
TEL 401-228-5912

**VEOLIA**

April 16 , 2025

Neill Brothers - Zachary Neill

Re: Water Availability: 82 Main Street, Wakefield, RI 02879

Dear Zack,

This letter is to inform you that water service is **available** at the above referenced location of **82 Main Street, Wakefield** from the **Veolia Water Rhode Island (VWRI) system**. This letter does not constitute approval for any anticipated volume of water for the dwelling(s) or fire service requirements. A separate **Willingness to Serve** application must be completed in full and approved by our Engineering Department to ensure the availability of the potential volume of water required for the project. Once approved we will issue a **Willingness to Serve** letter to you with the detailed information.

The application is included with this letter. Timeline for review and approval is approximately 10-14 business days once received.

Please contact me at the number above or Michael McManus, Planning Coordinator at 401-789-0271 Extension 1020 if you have any questions.

Respectfully,



**Patrick Grant**



# Town of South Kingstown, RI

Department of Public Services

509 Commodore Perry Highway

Wakefield, RI 02879

Tel: (401) 789-9331

Fax: (401) 782-8068

## SEWER SERVICE ENGINEERING REVIEW REQUEST

Review Requested By: **Keystone LLC**

Property Address: **82 Main Street**

Plat: **57-1**

**73**

Road Status:  Town  Private  State


- SEWER SERVICE IS AVAILABLE AT THIS TIME\* (See Note)
- SEWER SERVICE IS AVAILABLE AT THIS TIME, BUT REQUIRES LATERAL INSTALLATION AT PROPERTY OWNER'S EXPENSE
- SEWER SERVICE IS NOT AVAILABLE AT THIS TIME
- SEWER MAIN EXTENSION REQUIRED
- GREASE TRAP REQUIRED; CONTACT KRYSTAL FURLONG, PRETREATMENT COORDINATOR, AT 788-9771 FOR MORE INFORMATION.
- UTILITIES IN A STATE RIGHT-OF-WAY WILL REQUIRE A RIDOT INSPECTION. APPLICANT SUBJECT TO PAY ALL RIDOT INSPECTION FEES.

**OTHER:**

Sewer work to be performed by a RI Licensed Underground Utility Contractor Use existing sewer lateral on Hazard Avenue that was cut and capped in 2003 as long as it is in good/working condition. No ties taken when lateral was cut and capped, so test pits will be required to find lateral.

Install a Sewer Cleanout at Property line. Install a Sewer Clean Check Valve within 5 feet of face of foundation. Maintain 10' minimum horizontal separation between water and sewer services.

Payment of applicable fees.

  
RICHARD J BOURBONNAIS, PE, Public Services Director  
KATHY PEREZ, Wastewater Superintendent

  
DATE

**\*NOTE:** The Town makes no warranty either written or implied as to the accuracy of lateral installation. Confirmation of lateral is only warranted upon test-pit verification at property owner's expense.

9/23/25

# 82 Main St. Mixed Use 57-1 Lot 73

TOWN OF SOUTH KINGSTOWN MAJOR LAND  
DEVELOPMENT APPLICATION

KEYSTONE LLC

P.O. BOX 669, WAKEFIELD RI 02880

ZACHARY NEILL & NICHOLAS NEILL

104 ROBINSON ST, WAKEFIELD RI 02879 (ZACK)

877 SAUGATUCKET RD, WAKEFIELD RI 02879 (NICK)



82 MAIN ST  
SOUTH KINGSTOWN, RI 02879

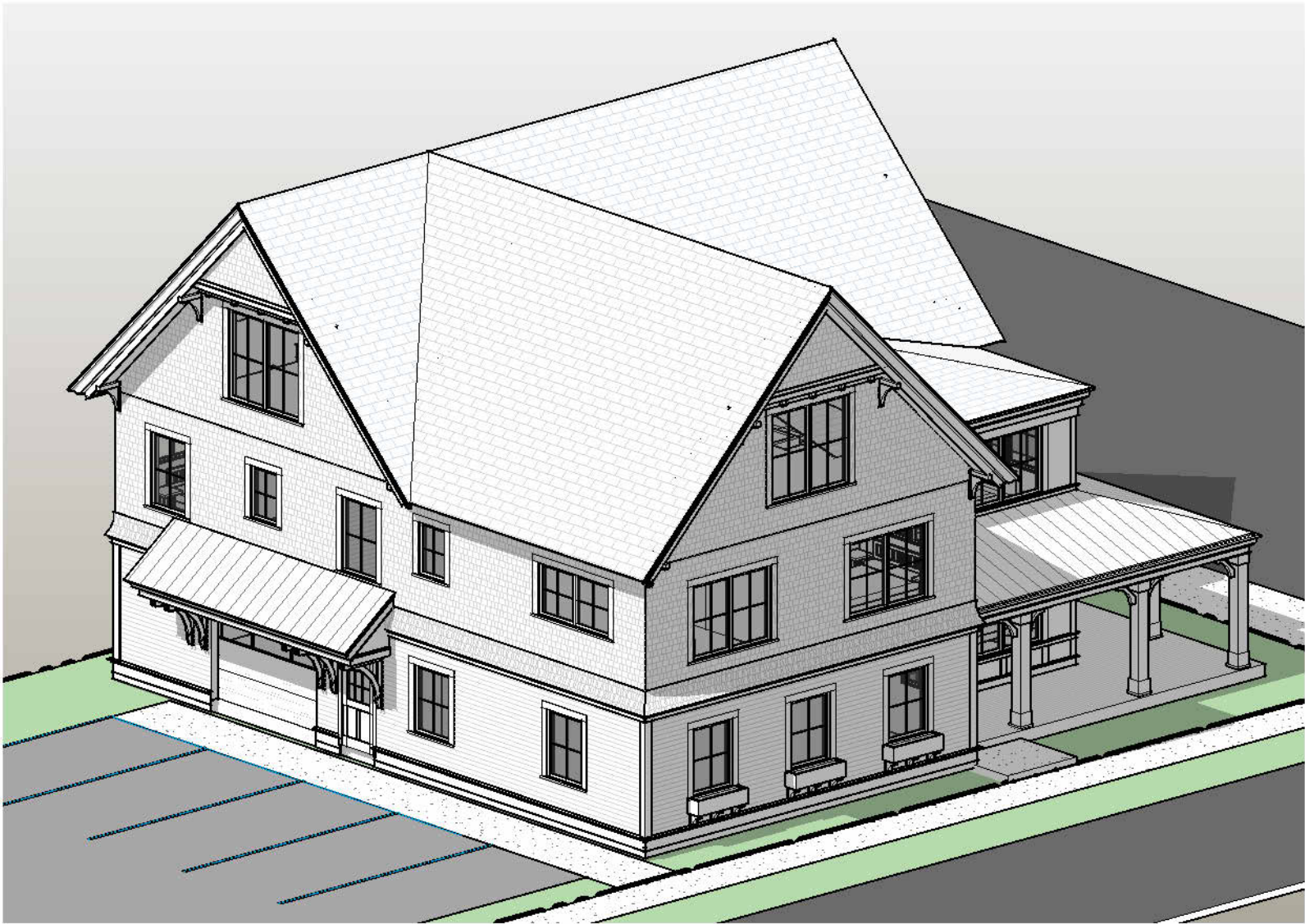
'SD SET'

HERK WORKS

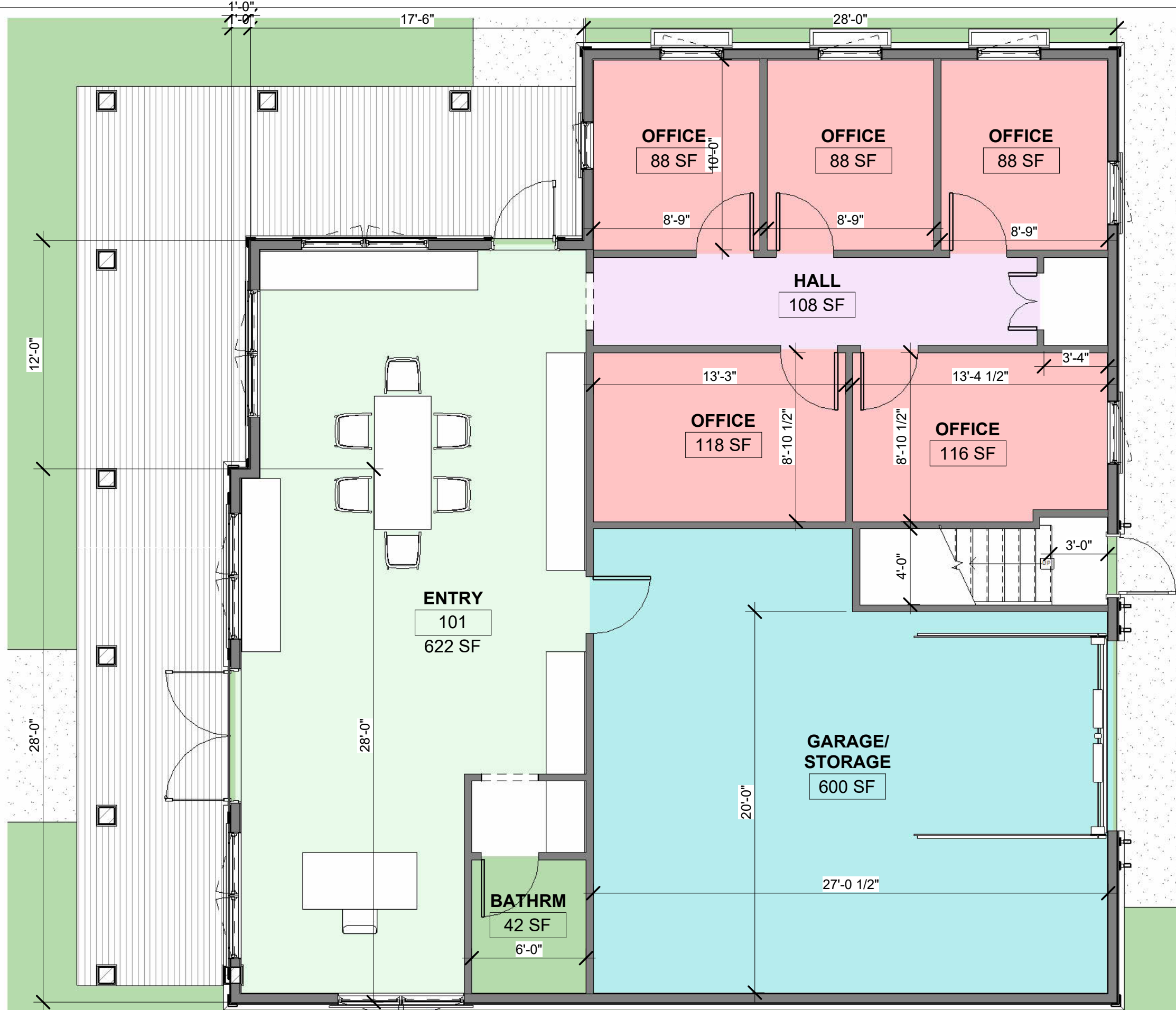
ARCHITECTURE

401.662.7875

DAN@HERK-WORKS.COM







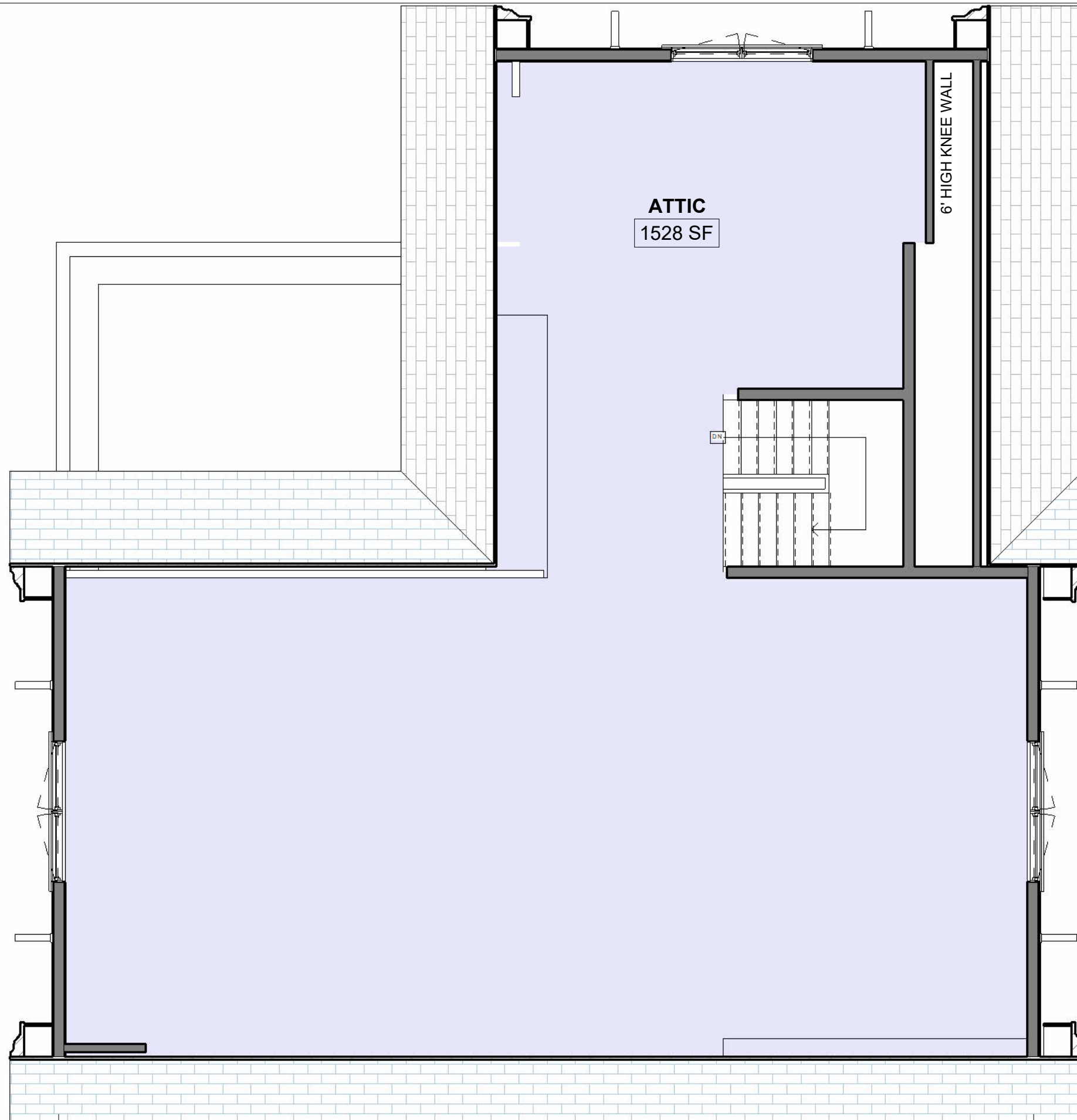
1 1ST FL PLAN  
3/16" = 1'-0"



2ND AND 3RD FLOOR USE = R-3  
 FOR 1 MEANS OF EGRESS:  
 MAX OCCUPANTS OF 20  
 MAX COMMON PATH OF TRAVEL DISTANCE = 125'  
 MUST BE SPRINKLERED

1 A221

1 2ND FL PLAN  
 3/16" = 1'-0"



ATTIC  
1528 SF

6' HIGH KNEE WALL

DN

1 A221

1 3RD FL PLAN  
3/16" = 1'-0"



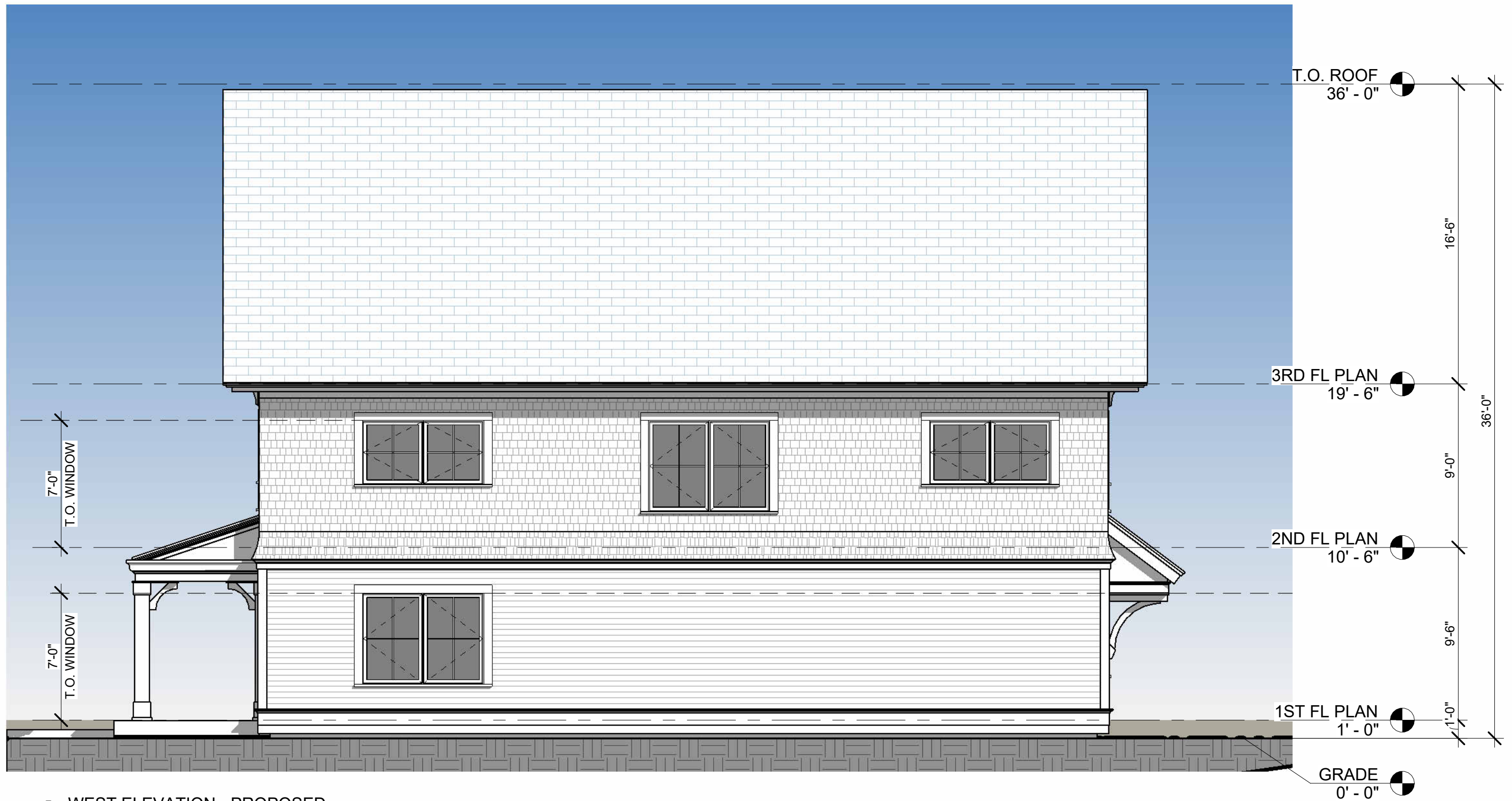
① NORTH ELEVATION - PROPOSED  
 3/16" = 1'-0"



① EAST ELEVATION - PROPOSED  
 3/16" = 1'-0"



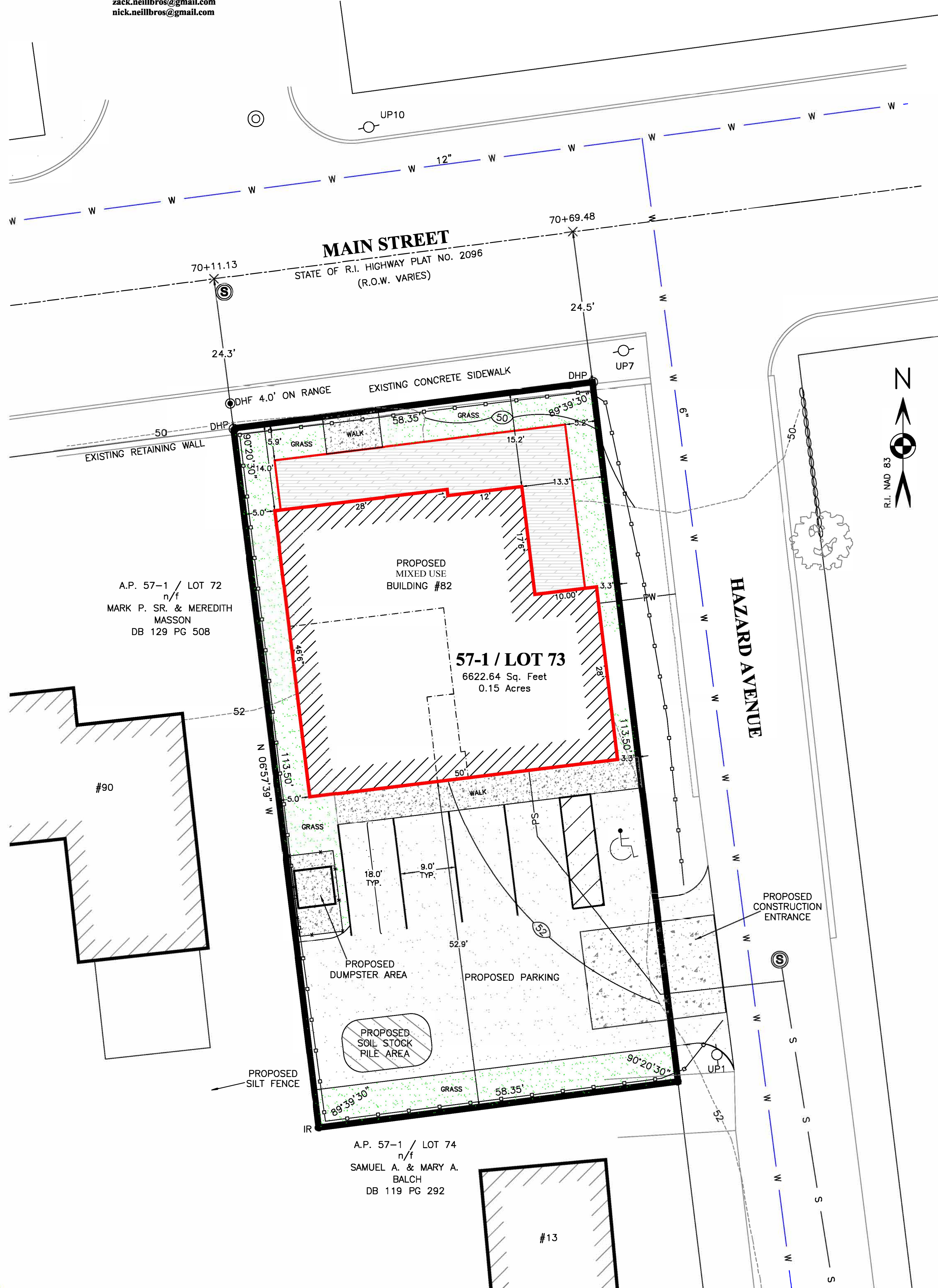
① SOUTH ELEVATION - PROPOSED  
3/16" = 1'-0"



① WEST ELEVATION - PROPOSED  
3/16" = 1'-0"

**OWNERS / APPLICANTS**  
**KEYSTONE, LLC**  
**NICK & ZACK NEILL**  
**PO BOX 669**  
**WAKEFIELD, R.I. 02880**  
**401-595-2096**  
**zack.neillbros@gmail.com**  
**nick.neillbros@gmail.com**

**STREET INDEX**  
**MAIN STREET**  
**HAZARD AVENUE**



**SOIL STABILIZATION & PLANNING PROGRAM**

**ACCEPTABLE PLANNING MATERIALS**  
**LOAM**—THE MATERIAL TO BE FURNISHED SHALL CONSIST OF LOOSE, FRIABLE, SANDY LOAM OR LOAM TOPSOIL FREE OF A MIXTURE OF SUBSOIL, REFUSE, STUMPS, ROOTS, ROCKS, BRUSH, WEEDS, AND OTHER MATERIAL WHICH WILL PREVENT THE FORMATION OF A SUITABLE SEED BED.  
**SEED MIXTURES**—ALL LEGUME SEED SHALL BE INOCULATED WITHIN 24 HOURS BEFORE MIXING AND PLANTING WITH THE APPROPRIATE INOCULUM FOR EACH VARIETY. ALL INOCULUM SHALL BE FRESH AND SHALL BE USED WITHIN THE DATE LIMIT PRESCRIBED BY THE MANUFACTURER.

FOR RELATIVELY FLAT SLOPES:

MIX	% BY WEIGHT
RED FESCUE — CHEWING'S PENNLAWN OR CREEPING	70
KENTUCKY BLUEGRASS	15
COLONIAL BENTGRASS — ASTORIA OR EXETER	5
PERENNIAL RYEGRASS	10
— SEEDING RATE = 100 LBS PER ACRE	

FOR STEEP SLOPES 3:1 OR GREATER

MIX	% BY WEIGHT
RED FESCUE — CHEWING'S PENNLAWN OR CREEPING	70
KENTUCKY BLUEGRASS	15
COLONIAL BENTGRASS — ASTORIA OR EXETER	5
BIRDSFOOT TREFOIL — EMPIRE	15
— SEEDING RATE = 100 LBS PER ACRE	

FOR SOO WATERWAYS, DRAINAGE DITCHES, DRAINAGE BASINS:

MIX	% BY WEIGHT
CREEPING RED FESCUE	50
TALL FESCUE OR REED CANARYGRASS*	50

\* USE REED CANARYGRASS WHERE MOWING IS NOT REQUIRED  
 THE ACCEPTED PLANTING SEASON SHALL BE BETWEEN APRIL 1ST AND OCTOBER 15TH. CONTRACTOR SHOULD COORDINATE ON ALL DISTURBED AREAS. THE CONTRACTOR SHALL PROVIDE A MINIMUM OF FOUR (4) INCHES OF LOAM ON AREAS UP TO 10% IN GRADE. ALL AREAS OVER 10% SHALL RECEIVE A MINIMUM OF SIX (6) INCHES.  
 REFERENCE IS HEREBY MADE TO THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK PUBLISHED BY THE SOIL CONSERVATION SERVICE. THE GUIDELINES SHOWN THEREIN SHOULD BE INCORPORATED INTO THE CONSTRUCTION PRACTICES ON SITE.

**EROSION CONTROL PROGRAM**

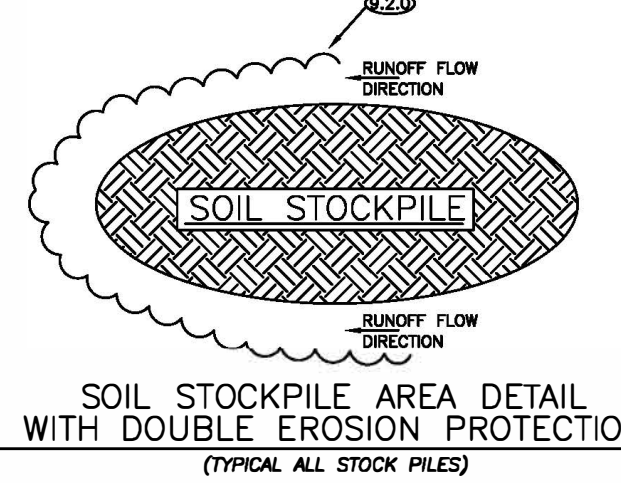
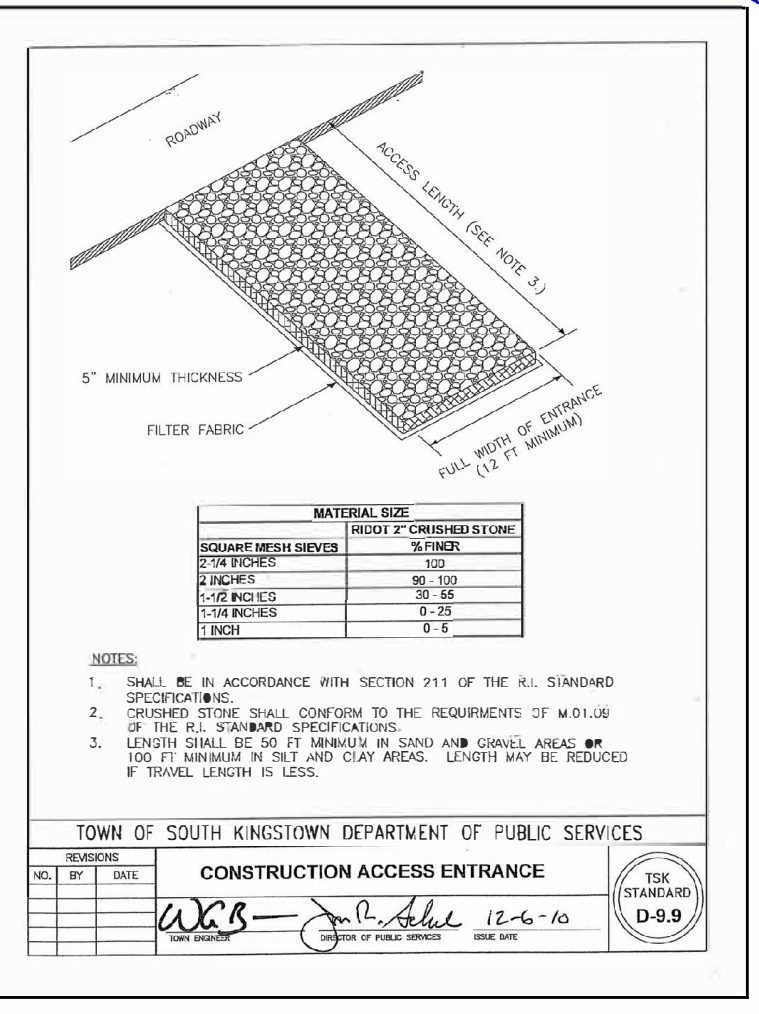
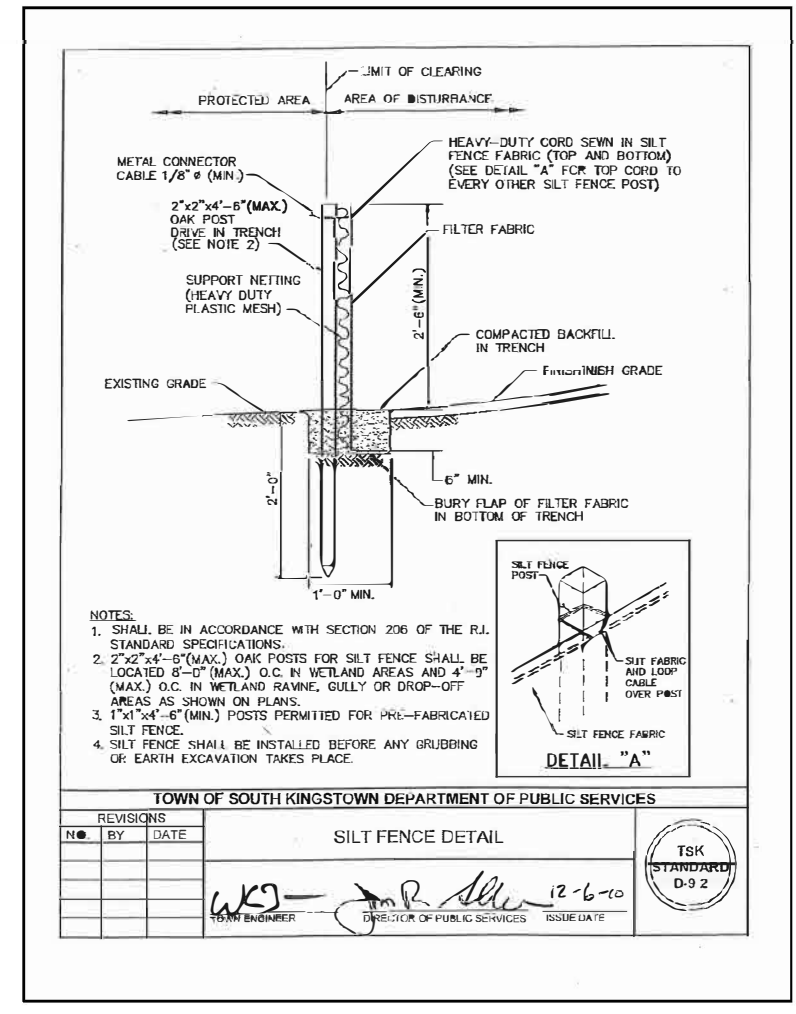
PRIOR TO START OF CONSTRUCTION, HAYBALES, SILT FENCES AND ALL OTHER SPECIFIED EROSION CONTROL FENCES SHALL BE IN PLACE.  
 CRITICAL AREAS SUCH AS WETLAND AREAS, SLOPES AND STREAMS SHALL BE PROTECTED AS PER PLAN AND IN THE PRESENCE OF WETLANDS, THE CONDITIONS OF THE ASSENT ORDER SHALL BE ADHERED TO.  
 THE CONTRACTOR SHALL BE REQUIRED TO ESTABLISH AND FULLY MAINTAIN ALL REQUIRED EROSION AND SEDIMENTATION CONTROLS.

**SEDIMENTATION CONTROL PROGRAM**

ALL EXPOSED SLOPES, INCLUDING STOCKPILES OF MATERIAL, SHALL RECEIVE TEMPORARY SEDIMENTATION AND EROSION CONTROLS. THIS WILL INCLUDE LOAMING AND SEEDING, MULCHING, HAYMATS, ETC. TO STABILIZE THE AREA.  
 ALL DRAINAGE STRUCTURES SHALL BE SURROUNDED BY HAYBALES TO PREVENT INFILTRATION OF SEDIMENTS.  
 SHOULD SEDIMENTS ENTER A CRITICAL AREA (WETLAND BUFFER ZONE, ADJUTING PROPERTY) THE CONTRACTOR SHALL IMMEDIATELY CLEAN AND RESTORE THE EFFECTED AREA.

**GENERAL NOTES**

- IT SHALL BE THE CONTRACTORS SOLE RESPONSIBILITY TO OBTAIN ANY AND ALL PERMITS REQUIRED BY THE STATE AND THE MUNICIPALITY IN WHICH WORK IS BEING PERFORMED PRIOR TO START OF ANY WORK.
- IT SHALL BE THE CONTRACTORS SOLE RESPONSIBILITY TO DOCUMENT EXISTING CONDITIONS OF SURROUNDING PROPERTIES AND TO MAINTAIN THE INTEGRITY OF THE SAME. ANY DAMAGE TO AND THE COST OF REPAIR OF UTILITIES, ROADWAYS STRUCTURES AND SURROUNDING PROPERTY SHALL BE FULLY BORNE BY THE CONTRACTOR.
- ALL WORKMANSHIP AND MATERIALS SHALL MEET OR EXCEED THE LATEST STANDARDS OF THE MUNICIPALITY, AND THE LATEST STATE STANDARDS AND SPECIFICATIONS PUBLISHED FOR ROAD AND BRIDGE CONSTRUCTION.
- CONTACT DIG-SAFE AND UTILITY COMPANIES FOR EXACT ON-SITE LOCATION OF EXISTING UNDERGROUND UTILITIES AT LEAST FORTY EIGHT (48) HOURS PRIOR TO START OF CONSTRUCTION.
- CONTRACTOR SHALL OBTAIN REQUIRED INSPECTION SCHEDULE OF THE MUNICIPALITY, UTILITY COMPANIES AND ALL OTHER REQUIRED PARTIES AND SHALL STRICTLY ADHERE TO THOSE REQUIREMENTS.
- ALL CONTRACTORS SHALL ADHERE TO ALL CONDITIONS OF CONSTRUCTION APPROVALS AND SHALL KEEP A COPY OF ALL APPROVALS ON-SITE DURING CONSTRUCTION. CONTRACTOR SHALL READ ALL APPROVALS PRIOR TO START OF CONSTRUCTION AND SHALL CLARIFY ANY QUESTIONS BEFOREHAND.
- THERE ARE NO WETLANDS ON THIS PARCEL.
- THE UTILITIES SHOWN HEREON ARE THE RESULT OF FIELD LOCATIONS OF VISIBLE STRUCTURES AT THE TIME OF THE FIELD SURVEY AND RECORD PLANS ACQUIRED FROM THE UTILITY COMPANIES. WE ACCEPT NO RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF THE DISTRIBUTION LINES SHOWN HEREON. CALL DIG-SAGE PRIOR TO START OF CONSTRUCTION FOR EXACT UTILITY LOCATIONS.
- CALL SOUTH KINGSTOWN DEPT. OF PUBLIC SERVICES (401) 798-9331 X2250 FOR UTILITY MARKOUTS INCLUDING BUT NOT LIMITED TO SANITARY SEWERS, TOWN WATER SUPPLY & STORM DRAINS.



SOIL STOCKPILE AREA DETAIL WITH DOUBLE EROSION PROTECTION (TYPICAL ALL STOCK PILES)

**EROSION CONTROL NARRATIVE:**

- PROJECT DESCRIPTION: THE PROPOSED PROJECT CONSISTS OF CONSTRUCTING A BUILDING WHICH WILL INCLUDE AN OFFICE ON THE MAIN STREET SIDE OF THE PROPERTY AND A GARAGE FACING HAZARD AVENUE. THE BUILDING WILL BE 25'X70' (1,750.00 SQ.F.).
- WETLANDS: N/A
- LIMIT OF DISTURBANCE: SHALL REMAIN UNDISTURBED.
- ON-SITE SOILS: THE SOILS SITUATED IN THE PROPOSED AREA OF DISTURBANCE ARE CLASSIFIED AS: MU
- SOIL EROSION CONTROLS: THE FOLLOWING SOIL EROSION CONTROLS ARE PROPOSED. 1. SILT FENCE 2. FEMA: THE SITE FALLS IN AN X ZONE (MINIMAL FLOOD HAZARD) SHOWN ON FEMA MAP No. 44089C0203H, 4/3/2020.

**REFERENCES**

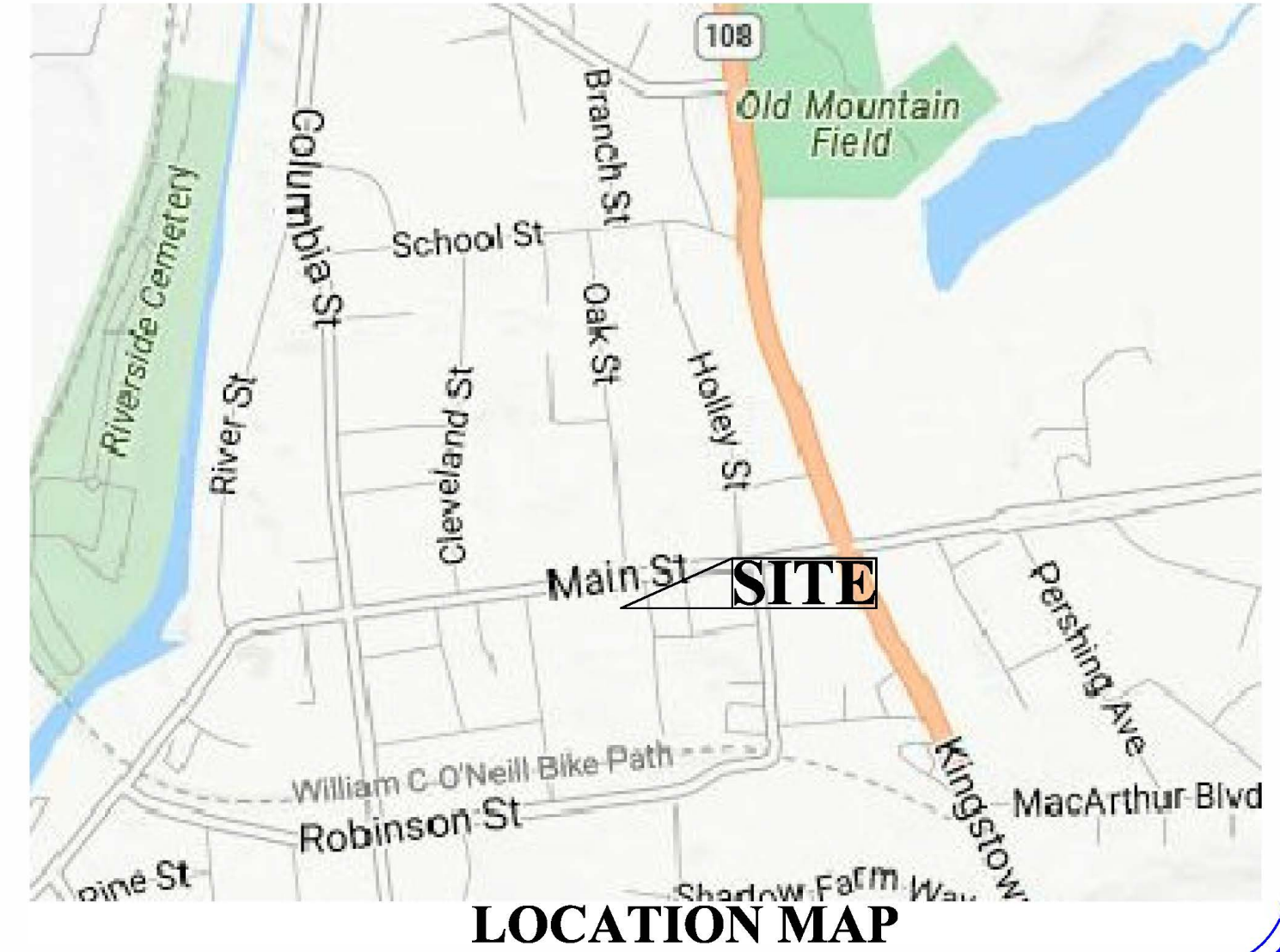
- TOWN OF SOUTH KINGSTOWN DEED BOOK 668, PAGE 413.
- TOWN OF SOUTH KINGSTOWN, R.I. PLAN & PROFILE OF HAZARD AVENUE, LAID OUT AS A PUBLIC HIGHWAY BY WILFRED R. EASTERBROOKS, WILLIAM E. STEDMAN & FRANK J. PRIEST, JULY 1951
- "PLAT OF LAND IN THE TOWN OF SOUTH KINGSTOWN, R.I. PROPERTY OF JOHN C. HENRY, BEING A REPLAT OF LOTS 13, 14 & 15 & IS AS PLATTED BY GEO. T. LANPHEAR FOR MRS. WM. C. CAWELL SURVEYED & PLATTED BY WILFRED R. EASTERBROOKS CIVIL ENGINEER, MAY, 1951"
- R.I. DEPT. OF TRANSPORTATION PLAT No. 2096.
- TOWN OF SOUTH KINGSTOWN, R.I. GIS WEBSITE.
- WWW.BING.COM

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RICR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

TYPE OF BOUNDARY SURVEY:	MEASUREMENT SPECIFICATION:
COMPREHENSIVE BOUNDARY SURVEY	CLASS I
DATA ACCUMULATION SURVEY	CLASS III
TOPOGRAPHICAL SURVEY	CLASS 14

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS TO ESTABLISH THE PERIMETER OF THE PARCEL SO TO PRODUCE A PROPOSED SITE PLAN.

BY: \_\_\_\_\_  
 KIRK D. ANDREWS PLS NO. 1684  
 COA No.: 000A555



LOCATION MAP

**ZONING - CD**

MIN. LOT SIZE:	5,000 S.F.
MIN. FRONT YARD:	50 FEET
MIN. REAR YARD:	0 FEET
MIN. SIDE YARD:	0 FEET
MAX. LOT COVERAGE:	50%
MAX. HEIGHT:	40 FEET

**LEGEND**

UP ##	EXISTING UTILITY POLE
IR •	PROPOSED IRON ROD
DHP/P ⊙	DRILL HOLE FOUND/PROPOSED
—	EXISTING STONE WALL
⊙	EXISTING TREE
— W —	APPROX EXISTING WATER LINE
— S —	APPROX EXISTING SEWER LINE
— PW —	APPROX PROPOSED WATER LINE
— PS —	APPROX PROPOSED SEWER LINE
⊙	EXISTING SEWER MANHOLE
⊙	EXISTING DRAIN MANHOLE
—	PROPOSED SILT FENCE
— 50 —	EXISTING CONTOUR (NAVD88)
— 50 —	PROPOSED CONTOUR

**PROPOSED SITE PLAN**  
 82 MAIN STREET MIXED USE

PREPARED FOR  
**KEYSTONE, LLC**  
**NICK & ZACK NEILL**  
 LOCATION  
 82 MAIN STREET  
 A.P. 57-1 / LOT 73  
 SOUTH KINGSTOWN, RHODE ISLAND

Checked By: **K.D.A.** Drawn By: **E.J.J.**  
 Scale: **1" = 10'** Date: **4-2-2025**

NO.	REVISION	BY	DATE

**E. GREENWICH**  
**SURVEYORS, LLC**  
 LAND SURVEYING AND SITE PLANNING

1050 MAIN STREET SUITE 31  
 EAST GREENWICH, RHODE ISLAND 02818  
 PHONE (401) 339-2681 (401) 368-8574  
 FAX (401) 884-0017 E-MAIL: KANDREWST168@AOL.COM

Sheet **1**  
 of **1** sheets

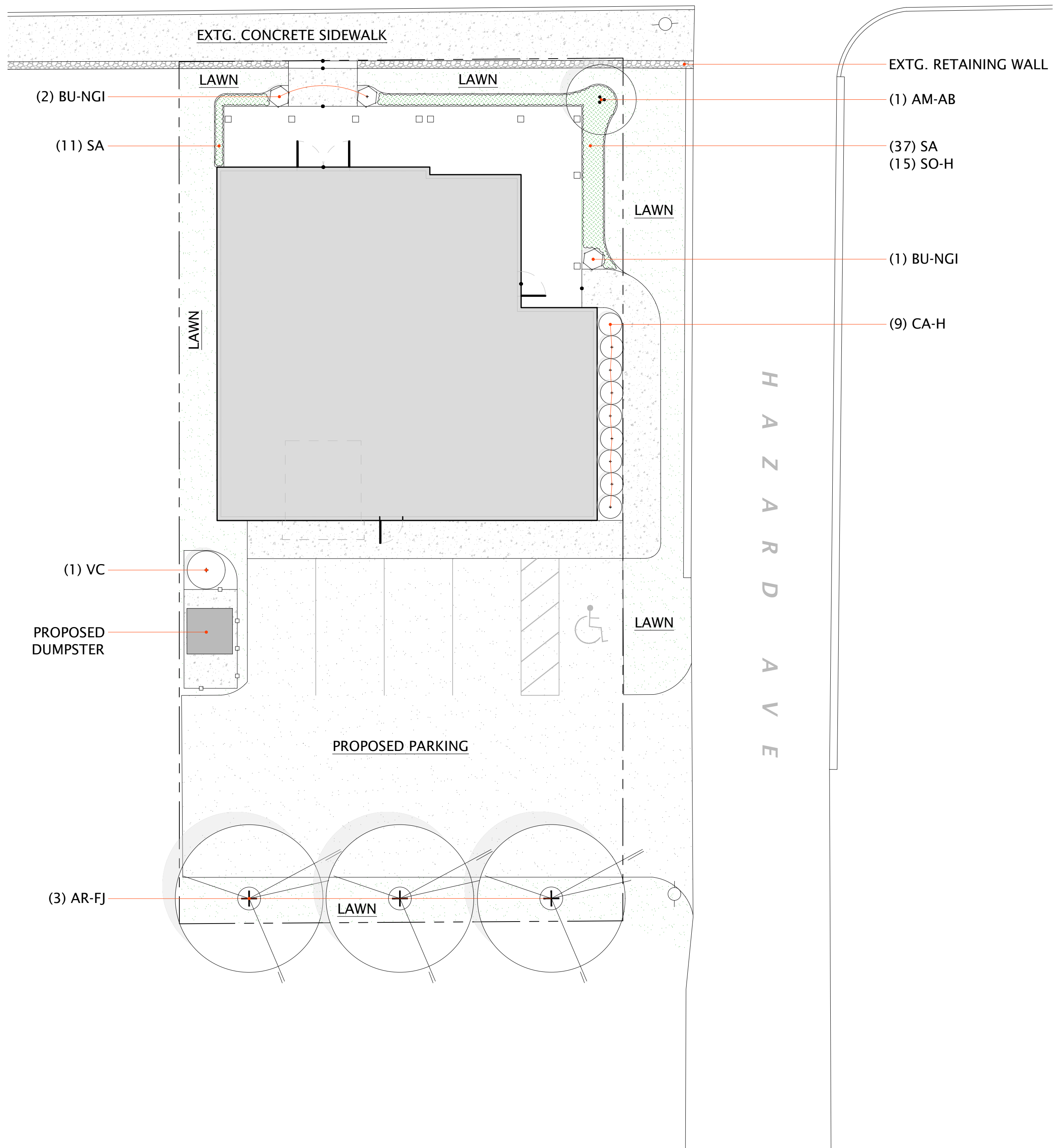




**PLANT SCHEDULE:**

QTY.	SYMB.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT BALL	COMMENT
<b>TREES</b>						
1	AM-AB	Amelanchier x grandiflora 'Autumn Brilliance'	Serviceberry	5/6' ht.	B&B	
3	AR-FJ	Acer rubrum 'Frank's Jr.'	Redpointe Maple	2/2.5" cal.	B&B	
<b>SHRUBS</b>						
3	BU-NGI	Buxus 'NewGen Independence'	Boxwood	3 gal.	Container	
9	CA-H	Clethra alnifolia 'Hummingbird'	Summersweet	3 gal.	Container	
1	VC	Viburnum carlesii	Korean spice viburnum	3/4' ht.	B&B	
<b>PERENNIALS and ORNAMENTAL GRASSES</b>						
48	SA	Sesleria autumnalis	Autumn moor grass	1 gal.	Container	
15	SO-H	Stachys officinalis 'Hummelo'	Bettony	1 gal.	Container	

M A I N R O A D



AMELANCHIER 'AUTUMN BRILLIANCE'



ACER 'FRANK'S JR.'



BUXUS 'NEWGEN INDEPENDENCE'



CLETHRA 'HUMMINGBIRD'



VIBURNUM CARLESII



SESLERIA AUTUMNALIS

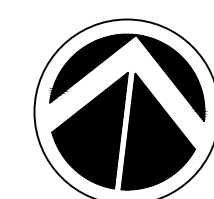


STACHYS 'HUMMELO'

SHEET:

**L1.0**

**PRELIMINARY  
LANDSCAPE  
PLAN**



DATE:

5/28/25

SCALE:

1"=10'-0"

REVISIONS:

**N E I L L B R O T H E R S**  
82 MAIN STREET SOUTH KINGSTOWN, RI 02879



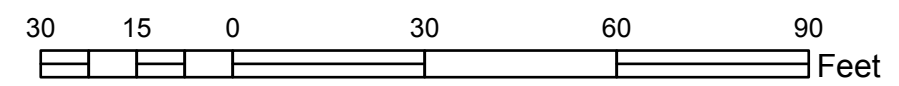


2024 AERIAL MAP  
A.P. 57-1, Lot 73 | 82 Main Street  
South Kingstown, Rhode Island

LEGEND



PROPERTY LINE



- General Notes:
- 1. This map should not be interpreted as a survey quality graphic. It is designed for preliminary planning purposes only. AES recommends consultation with a Professional Land Surveyor for accurate site feature locations.
  - 2. Property lines as depicted on this map have been approximated from plat maps available from the town assessor's online database.
  - 3. Aerial photograph base map and other data layers acquired from the RI DEM and RIGIS database.

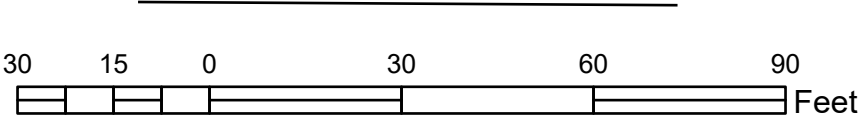
Map created by: Casey Hogan, Environmental Scientist, 4/30/2025



USDA - NRCS SOIL SURVEY MAP  
 A.P. 57-1, Lot 73 | 82 Main Street  
 South Kingstown, Rhode Island

LEGEND

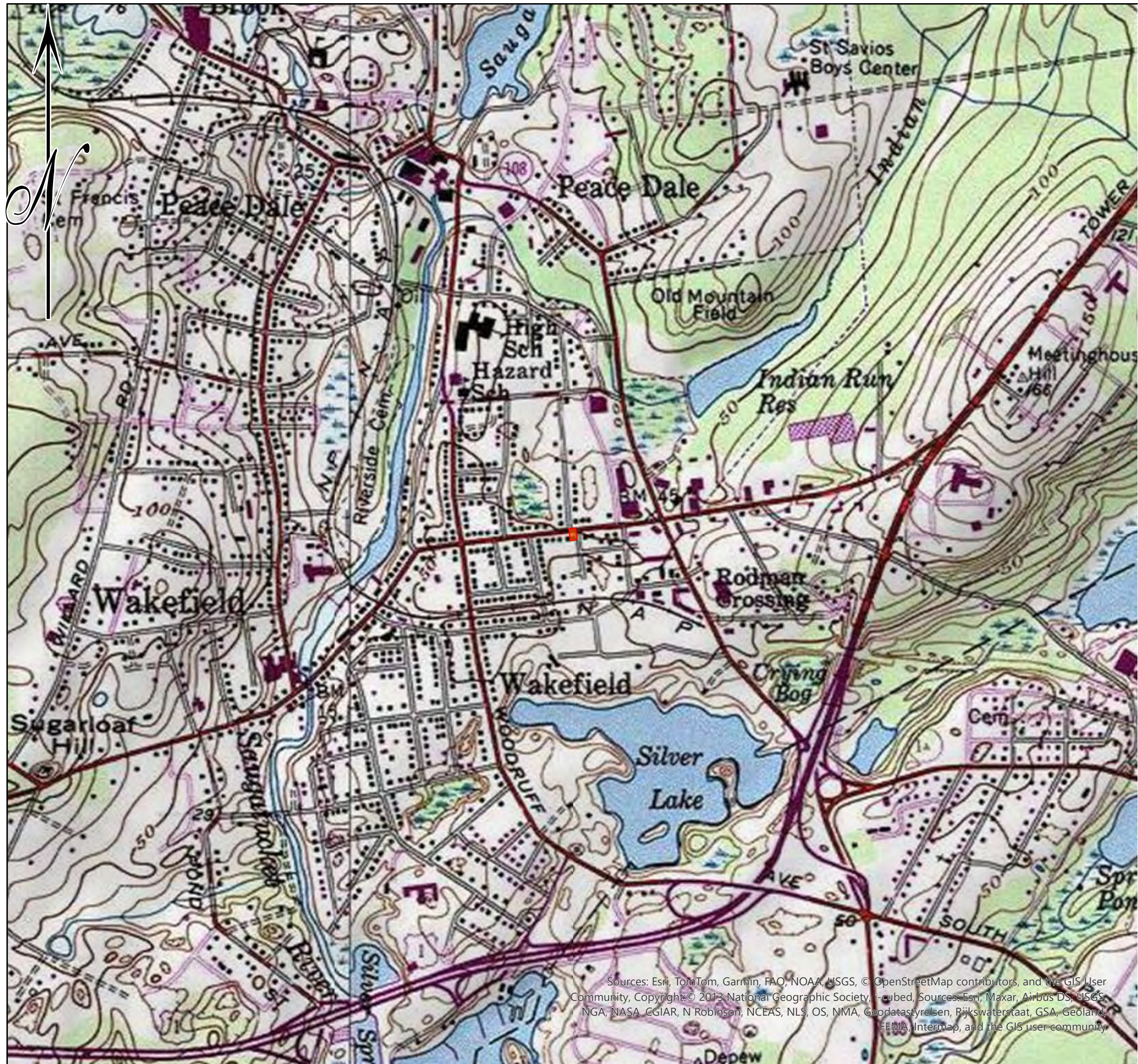
MU - Merrimac-Urban land complex, 0 to 8 percent



- General Notes:
1. This map should not be interpreted as a survey quality graphic. It is designed for preliminary planning purposes only. AES recommends consultation with a Professional Land Surveyor for accurate site feature locations.
  2. Property lines as depicted on this map have been approximated from plat maps available from the town assessor's online database.
  3. Aerial photograph base map and other data layers acquired from the RI DEM and RIGIS database.

Map created by: Casey Hogan, Environmental Scientist, 4/30/2025

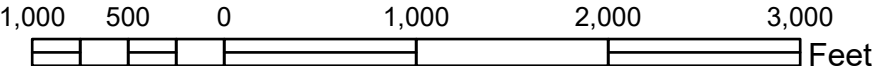
Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community. Sources: Esri, Maxar, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodatastyrelsen, Rijkswaterstaat, GSA, Geoland, FEMA, Intermap, and the GIS user community



USGS TOPOGRAPHIC MAP  
 A.P. 57-1, Lot 73 | 82 Main Street  
 South Kingstown, Rhode Island

LEGEND

 PROPERTY LINE



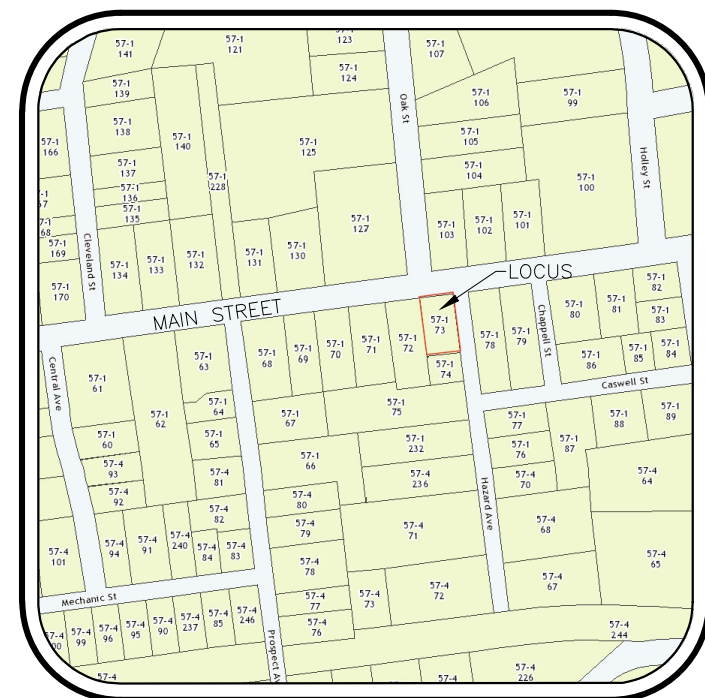
- General Notes:
1. This map should not be interpreted as a survey quality graphic. It is designed for preliminary planning purposes only. AES recommends consultation with a Professional Land Surveyor for accurate site feature locations.
  2. Property lines as depicted on this map have been approximated from plat maps available from the town assessor's online database.
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Map created by: Casey Hogan, Environmental Scientist, 4/30/2025

Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community, Copyright © 2013 National Geographic Society, i-cubed, Sources: Esri, Maxar, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodatastyrelsen, Rijkswaterstaat, GSA, Geoland, FEMA, Intermap, and the GIS user community

# PRELIMINARY PLAN SET

FOR  
KEYSTONE, LLC.



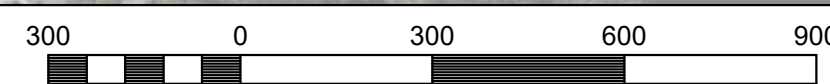
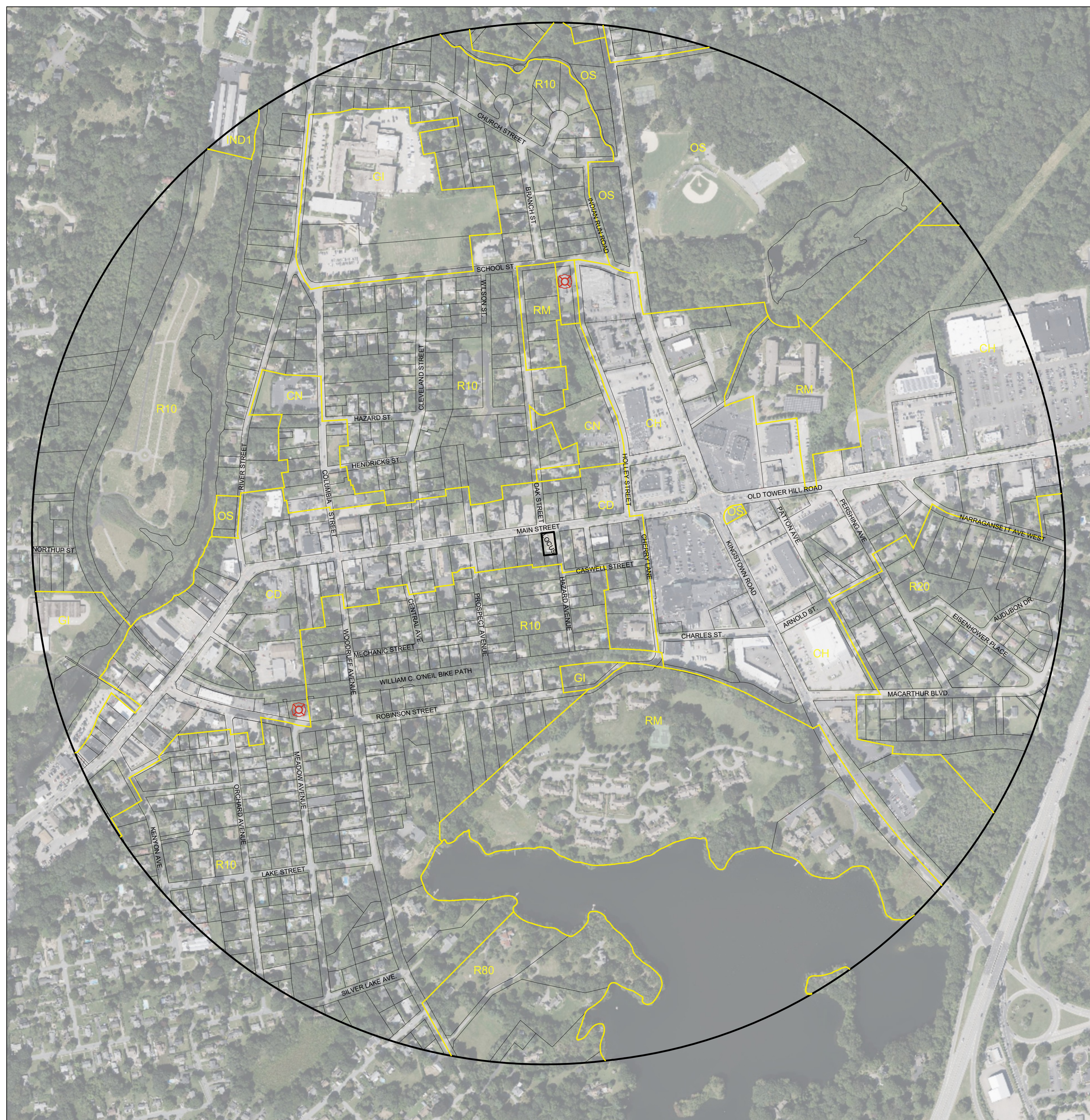
LOCUS MAP  
NOT TO SCALE

BEING A.P. 57-1, LOT 73  
LOT AREA = 0.15 ACRES

**OWNER/APPLICANT INFORMATION**  
KEYSTONE, LLC.  
P.O. BOX 669  
WAKEFIELD, RI 02850

**PARCEL ZONING CD**

MIN. LOT SIZE: 5,000 S.F.  
MIN. FRONTAGE/WIDTH: 50 FEET  
MIN. FRONT YARD: 0 FEET  
MIN. REAR YARD: 0 FEET  
MIN. SIDE YARD: 0 FEET  
MAX. LOT COVERAGE: 50%  
MAX. HEIGHT: 40 FEET



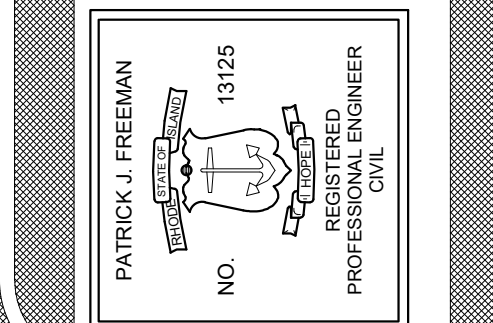
Scale 1" = 300'

**SHEET INDEX**

- 1: HALF MILE RADIUS PLAN
- 2: EXISTING CONDITIONS PLAN
- 3: PROPOSED CONDITIONS PLAN
- 4: GENERAL NOTES AND DETAILS

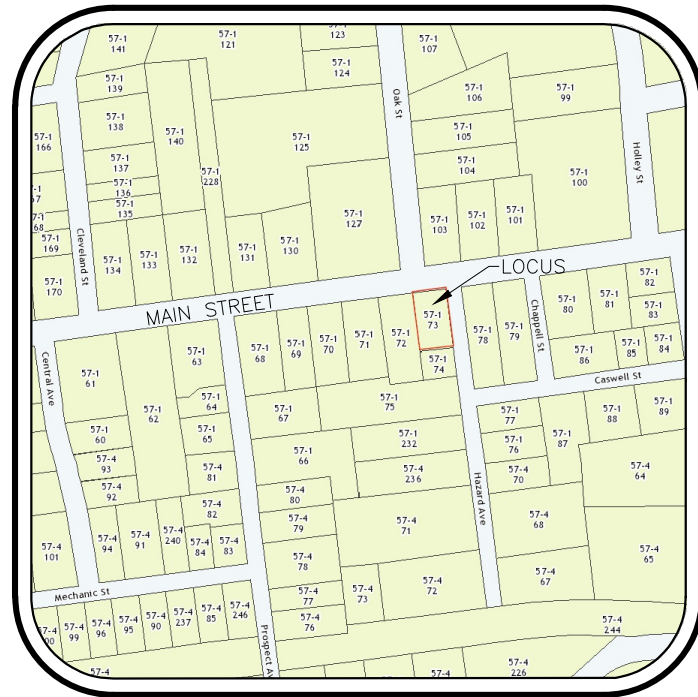
HALF MILE RADIUS PLAN  
FOR  
**KEYSTONE, LLC.**  
LOCATED AT  
A.P. 57-1, LOT 73  
82 MAIN STREET  
SOUTH KINGSTOWN, R.I.

Drawn By: MJC	Checked By: PJF
Scale: 1" = 300'	Date: 09/09/2025
REVISIONS	
NO.	REVISION
BY	DATE



**AMERICAN ENGINEERING, INC.**  
Professional Engineering & Land Surveying  
400 South County Trail - Suite A 201  
Exeter, Rhode Island 02822  
DCotta@AmericanEngineeringRI.com  
Phone (401) 294-4090 / Fax (401) 294-3825

Sheet  
**1**  
of 4 sheets  
Drawing No. 125222



LOCUS MAP  
NOT TO SCALE

BEING A.P. 57-1, LOT 73  
LOT AREA = 0.15 ACRES

**NOTES:**

- PROPERTY LINE AND BASEMAP DATA HAS BEEN PROVIDED BY E. GREENWICH SURVEYORS, LLC.
- UNDERGROUND UTILITIES HAVE NOT BEEN LOCATED / VERIFIED. CONTACT DIGSAFE PRIOR TO ANY EXCAVATION.
- THERE ARE NO AREAS OF EXISTING, ACTIVE AGRICULTURAL USE.
- NO AREAS OF PRIME AGRICULTURAL SOILS AND/OR FARMLAND SOILS OF STATEWIDE IMPORTANCE ARE LOCATED ON SITE.
- NO HISTORIC CEMETERIES WERE FOUND ON SITE.
- NO UNIQUE HISTORIC FEATURES WERE FOUND ON SITE.
- NO UNIQUE NATURAL FEATURES WERE FOUND ON SITE.
- THE SITE IS NOT LOCATED IN A NATURAL HERITAGE AREA, CRMC SAMP, TOWN OF S.K. GROUNDWATER PROTECTION OVERLAY DISTRICT, AN OWTS CRITICAL RESOURCE AREA, OR DRINKING WATER SUPPLY WATERSHED.
- THE SITE IS LOCATED IN THE SAUGATUCKET RIVER WATERSHED WHICH IS DEFINED AS A TMDL WATERSHED FOR PATHOGENS (FECAL COLIFORM)
- NO BUILDINGS ARE LOCATED ON SITE THAT ARE LISTED ON THE NATIONAL REGISTER OF HISTORIC PLACES.
- TOPOGRAPHY BASED ON 2022 USGS LIDAR.

**TESTHOLE & PERCOLATION DATA**

TH 1 - SHWT @ 48" FROM O.G.  
TH 2 - SHWT @ 72" FROM O.G. (12" of Fill)

**FEMA DETERMINATION**

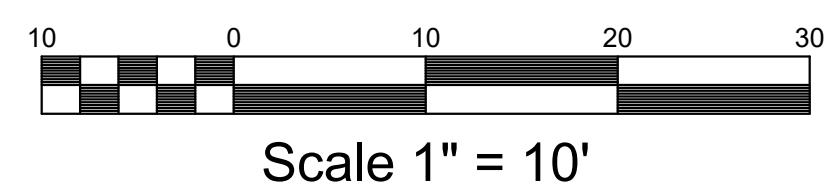
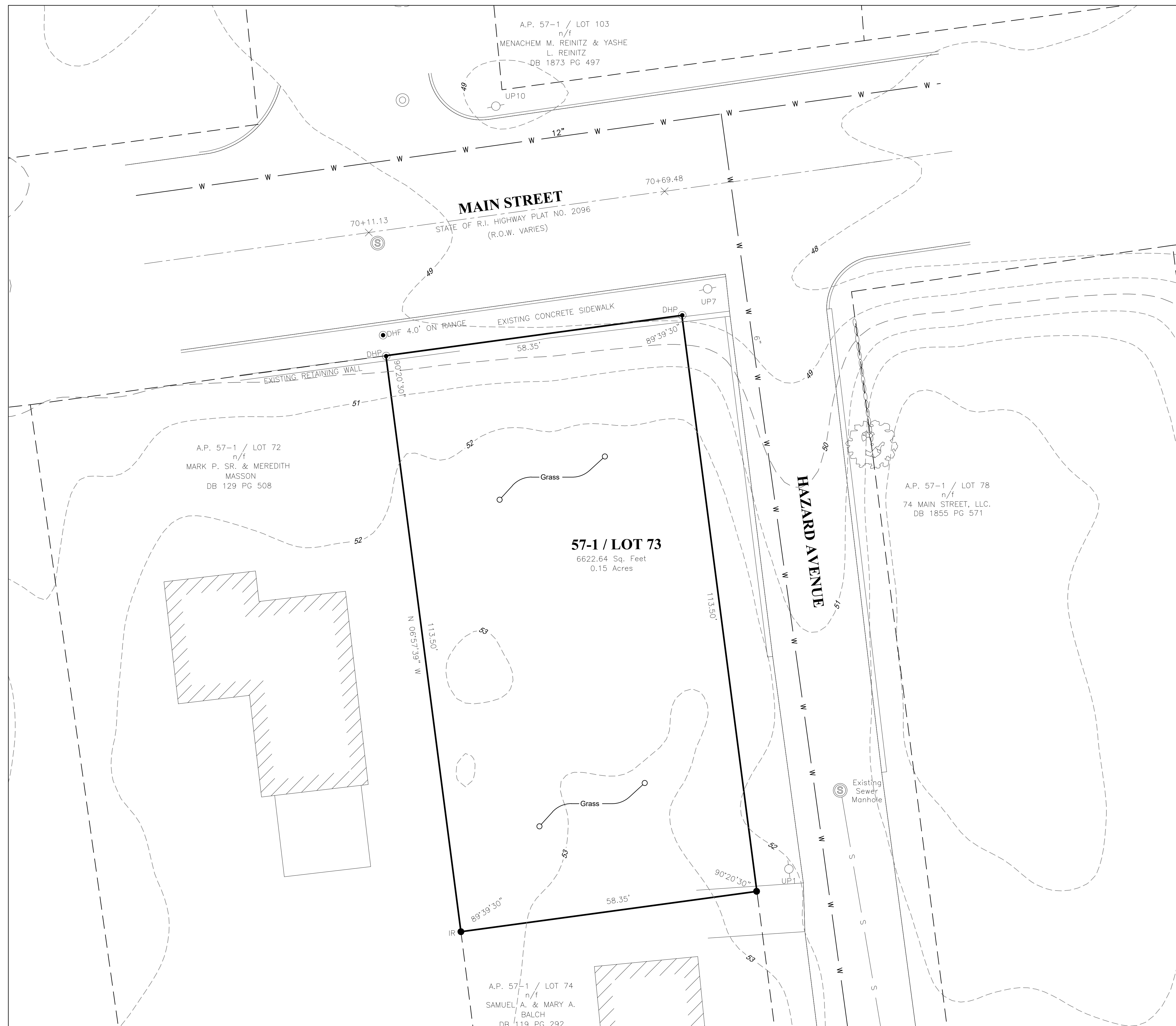
ZONE "X" - AREA OF MINIMAL CHANCE ANNUAL FLOODING  
PANEL NO. - 44009C0203 K  
EFFECTIVE - APRIL 3, 2020

**PARCEL ZONING CD**

MIN. LOT SIZE: 5,000 S.F.  
MIN. FRONTAGE/WIDTH: 50 FEET  
MIN. FRONT YARD: 0 FEET  
MIN. REAR YARD: 0 FEET  
MIN. SIDE YARD: 0 FEET  
MAX. LOT COVERAGE: 50%  
MAX. HEIGHT: 40 FEET

**Soil Classification:**

The entire site falls within soil classification MU - Merrimac-Urban land complex. This complex consists of well drained Merrimac soils and areas of Urban land. The complex is on terraces and outwash plains in densely populated areas of the State, mainly in the areas of Providence and Warwick. Areas are irregular in shape and mostly range from 10 to 400 acres. Slopes are mainly about 1 percent but range from 0 to 15 percent. The complex is about 40 percent Merrimac soils, 40 percent Urban land, and 20 percent other soils. The soils and urban land are so intermingled that it was not practical to map them separately. Typically the Merrimac soils have a surface layer of dark brown sandy loam 8 inches thick. The subsoil is yellowish brown and dark yellowish brown sandy loam 17 inches thick. The substratum is light yellowish brown gravelly sand to a depth of 60 inches or more. Urban land consists of areas covered by streets, parking lots, buildings, and other urban structures. Included with this complex in mapping are areas, up to 10 acres in size, of Udorthents, excessively drained Hinckley and Windsor soils, well drained Agawam and Enfield soils, and moderately well drained Sudbury and Ninigret soils. Also included are areas of darker colored soils. The permeability of the Merrimac soils is moderately rapid in the surface layer and upper part of the subsoil, moderately rapid to rapid in the lower part of the subsoil, and rapid in the substratum. The available water capacity is moderate. Runoff is slow to medium on the Merrimac soils. The soil is extremely acid through medium acid. This complex is mainly used for home sites, shopping centers, industrial parks, and other urban purposes. The home sites mostly range from 5,000 to 50,000 square feet. Onsite septic systems in this complex need careful design and installation to prevent pollution of ground water. Slopes of excavated areas are commonly unstable. Lawn grasses, shallow-rooted trees, and shrubs require watering in the summer. The use of straw bale sediment barriers and quickly establishing plant cover help to control erosion during construction. Areas of this complex require onsite investigation and evaluation for most uses. Capability subclass and wood land group not assigned.

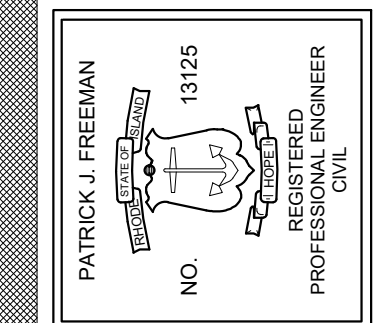


EXISTING CONDITIONS PLAN  
FOR  
**KEYSTONE, LLC.**  
LOCATED AT  
A.P. 57-1, LOT 73  
82 MAIN STREET  
SOUTH KINGSTOWN, R.I.

Checked By: **PJF**  
Date: **09/09/2025**

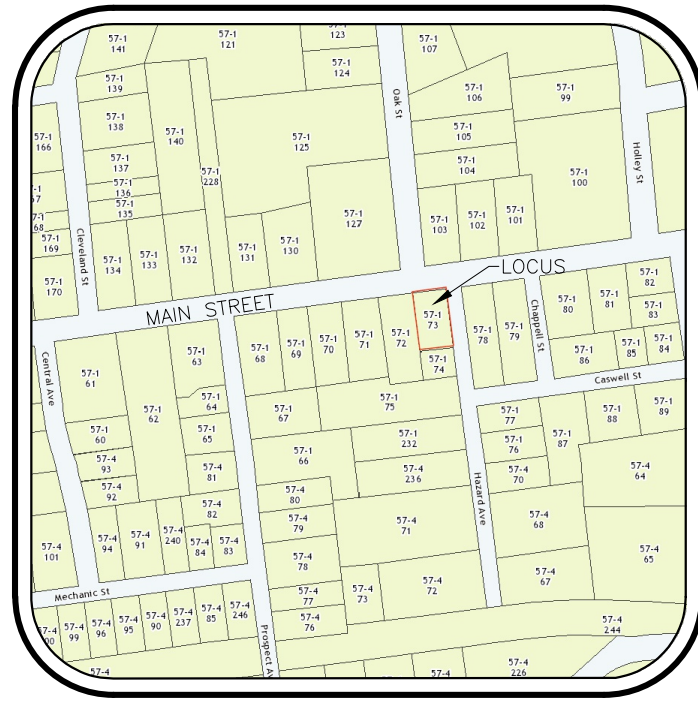
Drawn By: **MJC**  
Scale: **1" = 10'**

NO.	REVISION	BY	DATE
	REVISIONS		



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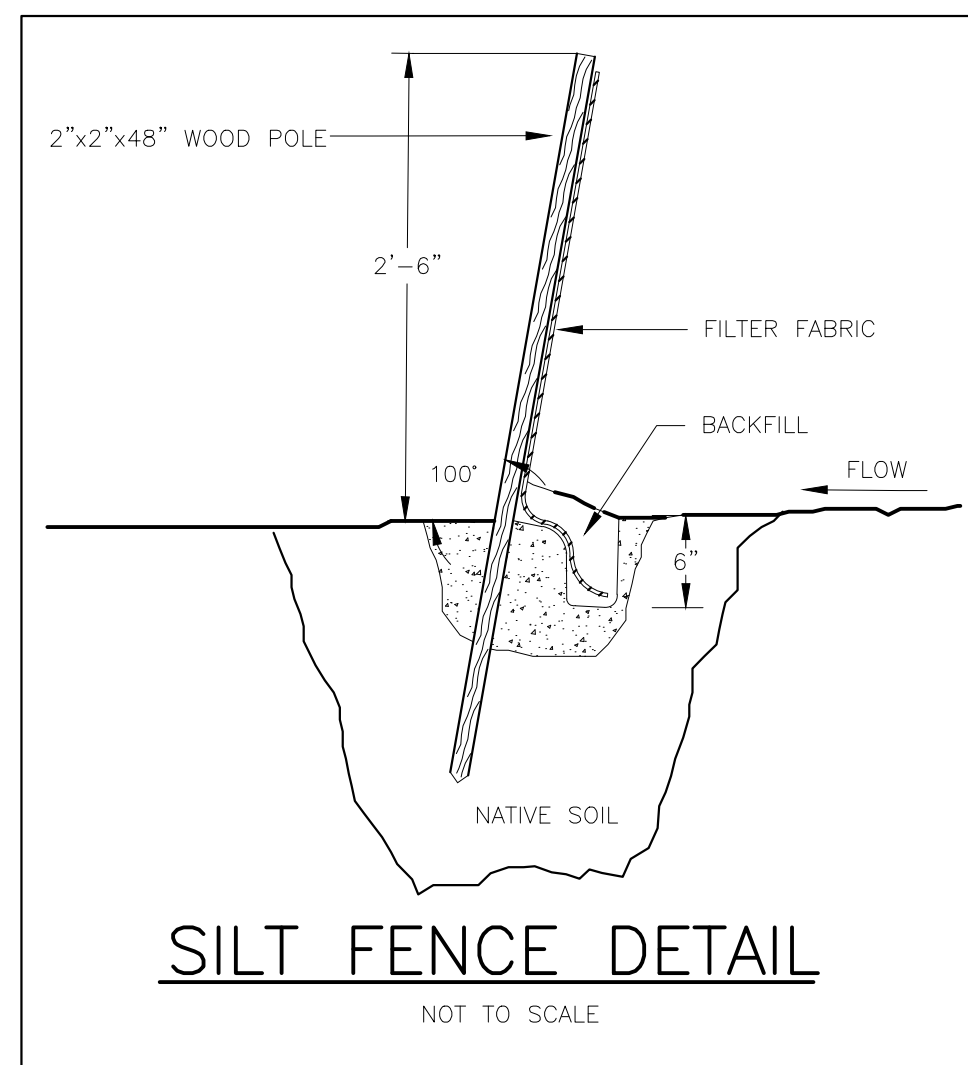
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**2**  
of 4 sheets  
Drawing No. 125222



LOCUS MAP  
NOT TO SCALE

BEING A.P. 57-1, LOT 73  
LOT AREA = 0.15 ACRES

Area Of Stone	917 sf
Depth Of Stone	2'-4"
Rows Of Stormtech Chambers	8
Stormtech Chambers Per Row	4
Inv. In From CB	(1) 49.50 (2) 49.50
Top Of Chamber	50.83
Bottom Of Chamber	49.50
Top Of Stone	51.33
Bottom Of Stone	49.00
Water Table	46.00
Min. Cover	52.50



**NOTES:**

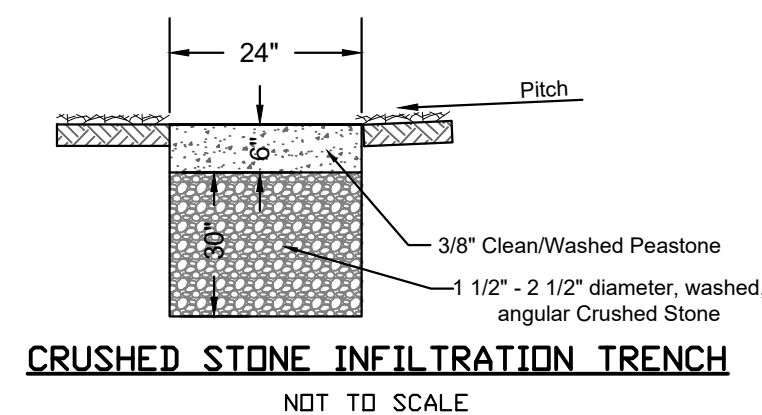
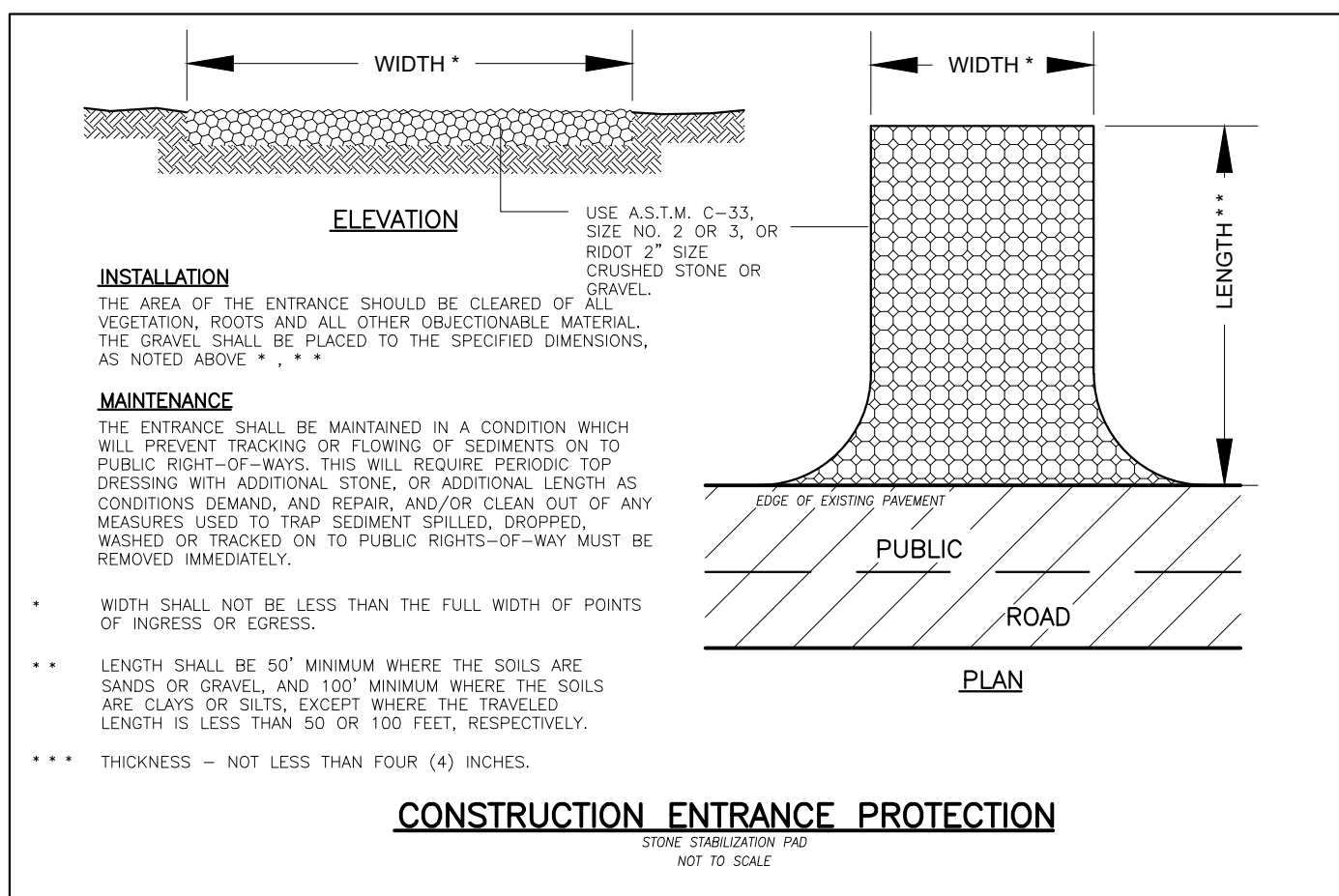
- PROPERTY LINE AND BASEMAP DATA HAS BEEN PROVIDED BY E. GREENWICH SURVEYORS, LLC.
- UNDERGROUND UTILITIES HAVE NOT BEEN LOCATED / VERIFIED. CONTACT DIGSAFE PRIOR TO ANY EXCAVATION.
- THREE (3) 2-BEDROOM RESIDENTIAL UNITS ARE PROPOSED.
- PROPOSED 12" DRAIN PIPE TO BE ADS N-12 OR EQUIVALENT.
- TOPOGRAPHY BASED ON 2022 USGS LIDAR

**TESTHOLE & PERCOLATION DATA**

TH 1 - SHWT @ 48" FROM O.G.  
TH 2 - SHWT @ 72" FROM O.G. (12" of Fill)

**FEMA DETERMINATION**

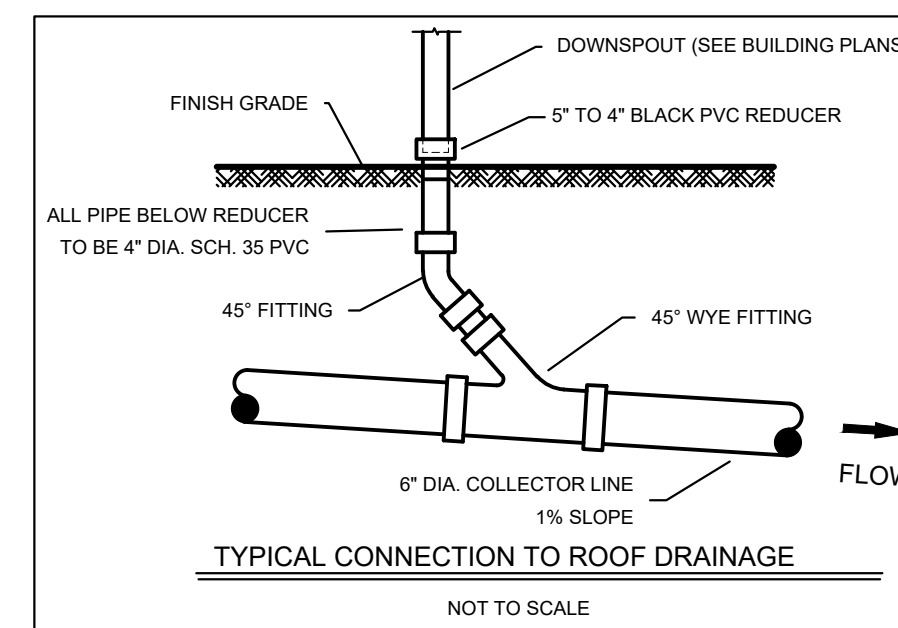
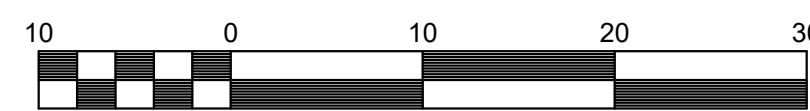
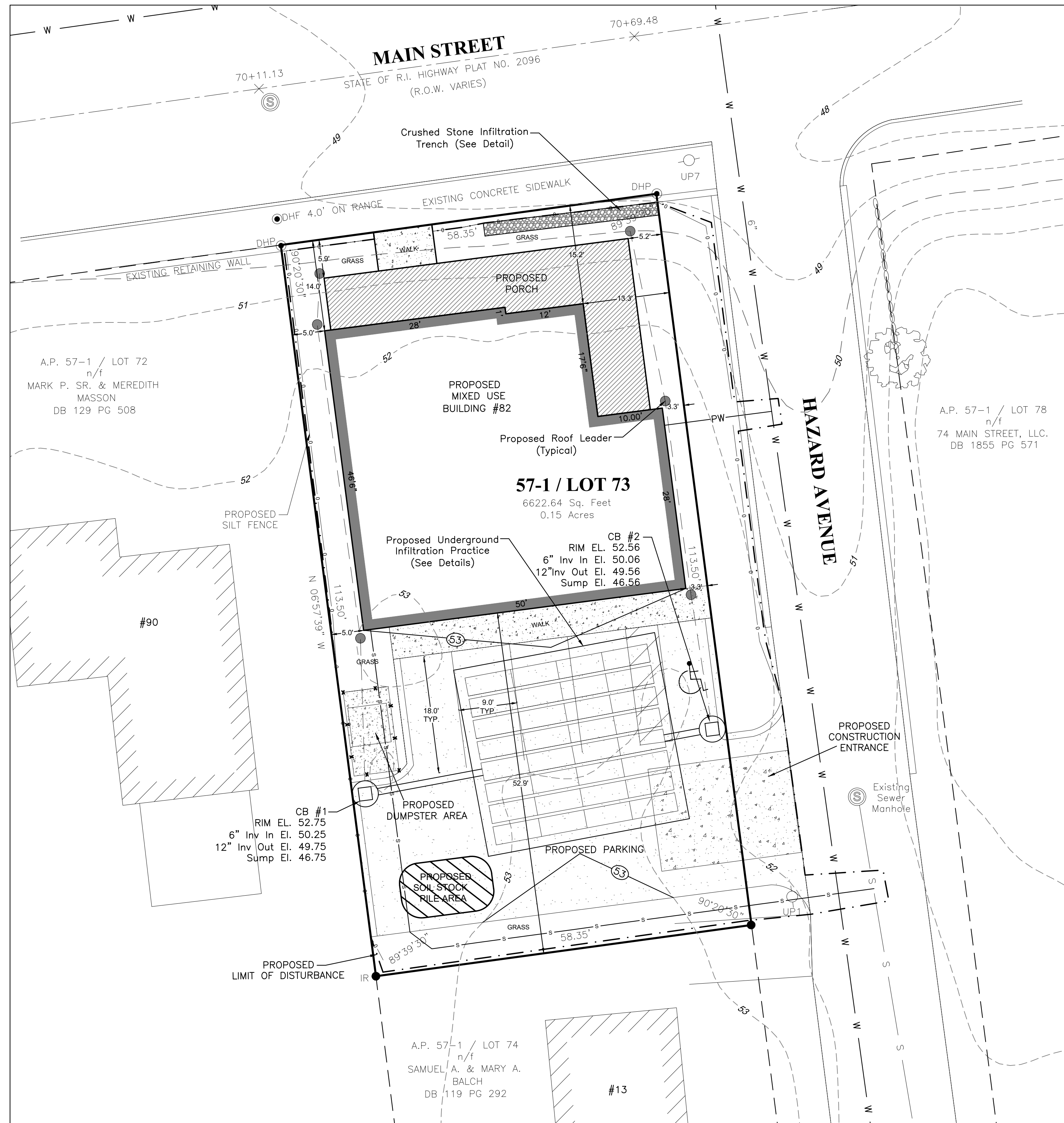
ZONE "X" - AREA OF MINIMAL CHANCE ANNUAL FLOODING  
PANEL NO. - 44009C0203 K  
EFFECTIVE - APRIL 3, 2020



**INFILTRATION TRENCH MAINTENANCE NOTES:**

- THE PEASTONE DIAPHRAGM SHALL BE MAINTAINED ON A CONTINUAL BASIS, AS NEEDED. ANY OBSERVED CLOGGING OF THE SURFACE SHALL BE RECIFIED IN A TIMELY MANNER.
- THE PROPOSED INFILTRATION TRENCH SHALL BE INSPECTED ANNUALLY TO ENSURE THAT DESIGN INFILTRATION RATES ARE BEING MET.
- IF THE TRENCH FAILS TO INFILTRATE STORMWATER RUNOFF WITHIN 2-3 DAYS FOLLOWING A STORM EVENT, THE STONE WILL NEED TO BE REMOVED. ANY SILT OR DEBRIS REMOVED TO NATIVE SOIL, AND THE STONE REPLACED TO THE ORIGINAL DESIGN SPECIFICATIONS.

STONE TRENCH VOLUME CALCULATIONS:  
VOLUME REQUIRED TO MITIGATE INCREASE IN RUNOFF VOLUME PRODUCED BY THE 10-YEAR STORM EVENT = 53 CF  
27' Long X 2' Wide X 3' Deep X 33% Voids = 53.5 C.F. PROVIDED



**EROSION CONTROL & SOIL STABILIZATION PROGRAM**

- DENUDED SLOPES SHALL NOT BE UNATTENDED OR EXPOSED FOR EXCESSIVE PERIODS OF TIME SUCH AS THE INACTIVE WINTER SEASON.
- ALL DISTURBED SLOPES EITHER NEWLY CREATED OR EXPOSED PRIOR TO OCTOBER 15, SHALL BE SEEDED OR PROTECTED BY THAT DATE FOR ANY WORK COMPLETED DURING EACH CONSTRUCTION PERIOD.
- THE TOPSOIL SHALL HAVE A SANDY LOAM TEXTURE RELATIVELY FREE OF SUBSOIL MATERIAL, STONES, ROOTS, LIMBS OF SOIL, TREE LIMBS, TRASH OR CONSTRUCTION DEBRIS, AND SHALL CONFORM WITH R. I. STANDARD SPECIFICATION M. 20.
- THE SEED MIX SHALL BE INOCULATED WITHIN 24 HOURS, BEFORE MIXING AND PLANTING, WITH APPROPRIATE NODULUM FOR EACH VARIETY.
- THE DESIGN MIX SHALL BE COMPRISED OF THE FOLLOWING: PERMANENT SEEDING MIXTURES: A - MOWED AREA: ALL FLAT OR SLOPES LESS THAN 3:1

MIXTURE	% BY WT.	SEEDING DATES
RED FESCUE	75	APRIL 1 - JUNE 15
KENTUCKY BLUEGRASS	15	AUG. 15 - OCT. 15
COLONIAL BENTGRASS	5	
PERENNIAL RYEGRASS	5	

**PERMANENT SEEDING MIXTURES:**

MIXTURE	% BY WT.	SEEDING DATES
RED FESCUE	75	APRIL 1 - JUNE 15
PERENNIAL RYEGRASS	5	AUG. 15 - OCT. 15
COLONIAL BENTGRASS	5	
BIRDSFOOT TREFLOE	15	

- TEMPORARY TREATMENTS SHALL CONSIST OF A HAY, STRAW OR FIBER MULCH OR PROTECTIVE COVERS SUCH AS A MAT OR FIBER LINING (BURLAP, JUTE, FIBERGLASS NETTING, EXCELSIOR BLANKETS). THEY SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY THE ENGINEER.
- HAY OR STRAW APPLICATIONS SHOULD BE IN THE AMOUNT OF 3000-4000 LBS/AC.
- ALL HAYBALES OR TEMPORARY PROTECTION SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED. IF NEEDED, TEMPORARY SEEDING CAN BE USED TO HELP MINIMIZE EROSION. A TEMPORARY SEEDING GUIDE MUST BE INCLUDED AS A REFERENCE. THE FOLLOWING SPECIES ARE RECOMMENDED:

SPECIES	LBS/ACRE	LBS/1,000 SQ. FT.	SEEDING DATES
ANNUAL RYEGRASS	60	1.5	MAR. 15 - JUNE 15
PERENNIAL SUDAN GRASS	40	1.0	MAY 15 - AUGUST 15
MILLET	40	1.0	MAY 15 - AUGUST 15
WINTER RYE	120	3.0	AUGUST 15 - JUNE 15
OATS	120	3.0	MAR. 15 - JUNE 15
WEEDING LOVEGRASS	20	0.5	MAY 1 - JUNE 30

- THE CONTRACTOR MUST REPAIR AND OR RESEED ANY AREAS THAT DO NOT DEVELOP WITHIN THE PERIOD OF ONE YEAR AND HE SHALL DO SO AT NO ADDITIONAL EXPENSE.
- THE NORMAL ACCEPTABLE SEASONAL SEEDING DATES ARE APRIL 1ST THRU OCT. 15TH.
- ALL FILL SHALL BE THOROUGHLY COMPACTED UPON PLACEMENT IN STRICT CONFORMANCE WITH THE R.I.D.P.W. STANDARD SPECIFICATIONS SECTION 202.
- STABILIZATION OF ONE FORM OR ANOTHER AS DESCRIBED ABOVE SHALL BE ACHIEVED WITHIN 15 DAYS OF FINAL GRADING.
- STOCKPILES OF TOPSOIL SHALL NOT BE LOCATED NEAR WATERWAYS OR WETLANDS. THEY SHALL HAVE SIDE SLOPES NO GREATER THAN 30% AND STOCKPILES SHALL ALSO BE SEEDED AND/OR STABILIZED.
- ON BOTH STEEP AND LONG SLOPES CONSIDERATION SHOULD BE GIVEN TO "CRIMPING" OR "TRACKING" TO TACK DOWN MULCH APPLICATIONS.
- REFERENCE THE SEDIMENTATION CONTROL PROGRAM AND ORDER OF PROCEDURE FOR PROPER COORDINATION.

**SEDIMENTATION CONTROL PROGRAM**

- ALL DISTURBED AREAS SUBJECT TO EROSION TENDENCIES WHETHER THEY ARE NEWLY FILLED OR EXCAVATED SHALL RECEIVE SUITABLE SLOPE PROTECTION.
- DURING CONSTRUCTION, THE CONTRACTOR AND/OR DESIGNER SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND RUNOFF FLOW DURING STORMS AND PERIODS OF RAINFALL.
- CARE SHALL BE TAKEN SO AS TO PREVENT ANY UNSUITABLE MATERIAL FROM ENTERING EITHER EXISTING OR PROPOSED DRAINAGE OR SEWER STRUCTURES.
- SEDIMENTATION CONTROL DEVICES SHALL BE INSPECTED PERIODICALLY AND AFTER PERIODS OF RAINFALL. SUCH DEVICES SHALL BE REPAIRED OR REPLACED AS NEEDED.
- CARE SHALL BE TAKEN SO AS NOT TO PLACE 'REMOVED SEDIMENTS' WITHIN THE PATH OF EXISTING, NEWLY CREATED (BOTH TEMPORARY AND PERMANENT) OR PROPOSED WATERCOURSES OR THOSE AREAS SUBJECT TO STORM WATER FLOW.
- ADDITIONAL HAYBALES, SILT FENCE OR SANDBAGS SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER.
- REFERENCE THE 'RHODE ISLAND EROSION AND SEDIMENT CONTROL HANDBOOK' PREPARED BY THE U.S. DEPT. OF AGRICULTURE, SOIL CONSERVATION SERVICE, 1989, WITH ANY AMENDMENTS, AS A GUIDE.

**ORDER OF PROCEDURE**

- IMMEDIATELY UPON COMPLETION OF THE CLEARING AND GRUBBING OPERATION AND PRIOR TO ANY GRADING, TEMPORARY HAYBALES, SILT FENCE OR SANDBAGS SHALL BE PLACED OUTSIDE THE LIMITS OF DISTURBANCE AS SHOWN ON THE PLANS. (I.E. ALONG NEW ROADWAYS, STREAMBANKS, CRITICAL AREAS, ETC.)
- ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE PERIODICALLY CLEANED AND MAINTAINED AS PER THE RESPECTIVE PROGRAMS DURING THE CONSTRUCTION.
- IF WORK PROGRESS IS TO BE INTERRUPTED AT ANY TIME, REFERENCE EROSION AND SEDIMENTATION CONTROL PROGRAMS FOR TEMPORARY CONTROL.

**MAINTENANCE AND RESPONSIBILITY**

- THE CONSTRUCTION SUPERINTENDENT SHALL HAVE THE SOLE RESPONSIBILITY FOR THE DESIGN IMPLEMENTATION. HE SHALL ALSO BE RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION WORKERS AND SUB-CONTRACTORS ARE AWARE OF THE PROVISIONS OF THE PLAN AND THE ENGINEER'S REPORT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL ASPECTS OF THE DESIGN PRIOR TO FINAL APPROVAL BY THE TOWN. DURING THAT TIME, ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHOULD BE CHECKED ON A WEEKLY BASIS AS WELL AS AFTER EACH SIGNIFICANT RAINFALL. ALL SUCH MEASURES SHOULD BE CLEANED OR REPLACED AS NECESSARY.
- REPLANTING, REGRADING OR OTHER REPAIRS NEEDED AS A RESULT OF EROSION AND SEDIMENTATION SHOULD BE DONE PROMPTLY.

**NOTES:**

- ALL EROSION CONTROL MEASURES TO REMAIN FOR 3 CONSECUTIVE MOWINGS.
- CONTRACTOR TO CALL PUBLIC WORKS PRIOR TO CONSTRUCTION AND AGAIN FOR FINAL INSPECTION.
- THIS SITE AS DESIGNED WILL HAVE NO ADVERSE EFFECT ON ABUTTING PROPERTIES ASSUMING EROSION CONTROL PLAN IS IMPLEMENTED.
- FOR DRIVEWAYS SLOPING DOWN TOWARD THE ROAD HAYBALES TO BE SET ACROSS DRIVEWAY AT THE END OF DAY.
- CONSTRUCTION TO COMMENCE IMMEDIATELY FOLLOWING APPROVAL AND WILL TAKE APPROXIMATELY 6 MONTHS TO COMPLETE.

**GENERAL NOTES**

- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY AND ALL PERMITS REQUIRED BY THE STATE OF RHODE ISLAND AND THE MUNICIPALITY PRIOR TO COMMENCING ANY WORK.
- IT SHALL ALSO BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE INTEGRITY OF ALL EXISTING UTILITIES, STRUCTURES, AND ABUTTING PROPERTIES. THE COST OF ANY REPAIR OR REPLACEMENT OF DAMAGED ITEMS SHALL BE BORNE BY THE CONTRACTOR.
- THE CONTRACTOR SHALL COORDINATE ALL WORK WITH THE MUNICIPAL ENGINEERING DEPARTMENT AND ALL UTILITY INSTALLATIONS AND INSPECTIONS WITH THE APPROPRIATE UTILITY CO. A 48 HOUR ADVANCE NOTICE IS REQUIRED BEFORE WORK COMMENCEMENT.
- ALL WORK WITHIN THE STATE'S ROW WILL CONFORM TO RIDO'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2013 (AMENDED AUGUST 2013 AND STANDARD DETAILS, JUNE 15, 1998 AS AMENDED BY REVISION).
- ALL TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES 2009, INCLUDING ALL REVISIONS.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR QUANTITY TAKE OFF IN COMPUTING ANY ESTIMATES.
- EMBANKMENT SLOPES AND ALL DISTURBED AREAS ARE TO RECEIVE 4" OF TOPSOIL AND SEED. SEE EROSION CONTROL PROGRAM DETAILS.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION INDICATED ON THESE PLANS, THAT INCLUDES ANY CONSTRUCTION TO BRING UTILITIES TO THE SITE, ANY REPAIRS, ANY TRENCHING REQUIRED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL TEMPORARY SEDIMENTATION AND SOIL EROSION CONTROL MEASURES.
- THE LOCATION OF EXISTING UTILITIES AS SHOWN ARE APPROXIMATE AND SHOULD BE VERIFIED BY THE CONTRACTOR WITH THE APPROPRIATE UTILITY COMPANIES. CALL DIG-SAFE (888)944-7233.
- IN ALL EXCAVATION AND PLACEMENT OF FILL THE CONTRACTOR SHALL PERFORM THE WORK IN FULL COMPLIANCE WITH THE R.I. STANDARD SPECIFICATION SECTION 202.
- ALL CONSTRUCTION AND UTILITY WORK SHALL CONFORM TO THE LATEST MUNICIPAL STANDARDS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN, COMPREHEND AND IMPLEMENT THESE REQUIREMENTS PROPERLY.

PROPOSED CONDITIONS PLAN

FOR  
**KEYSTONE, LLC.**  
LOCATED AT  
A.P. 57-1, LOT 73  
82 MAIN STREET  
SOUTH KINGSTOWN, R.I.

Checked By: P.JF

Date: 09/09/2025

Drawn By: MJC

Scale: 1" = 10'

NO.

REVISION

BY

DATE

PATRICK J. FREEMAN  
13125  
REGISTERED PROFESSIONAL ENGINEER  
CIVIL

**AMERICAN ENGINEERING, INC.**  
Professional Engineering & Land Surveying  
400 South County Trail - Suite A 201  
Exeter, Rhode Island 02822  
DCotta@AmericanEngineeringRI.com  
Phone (401) 294-4090 / Fax (401) 294-3825

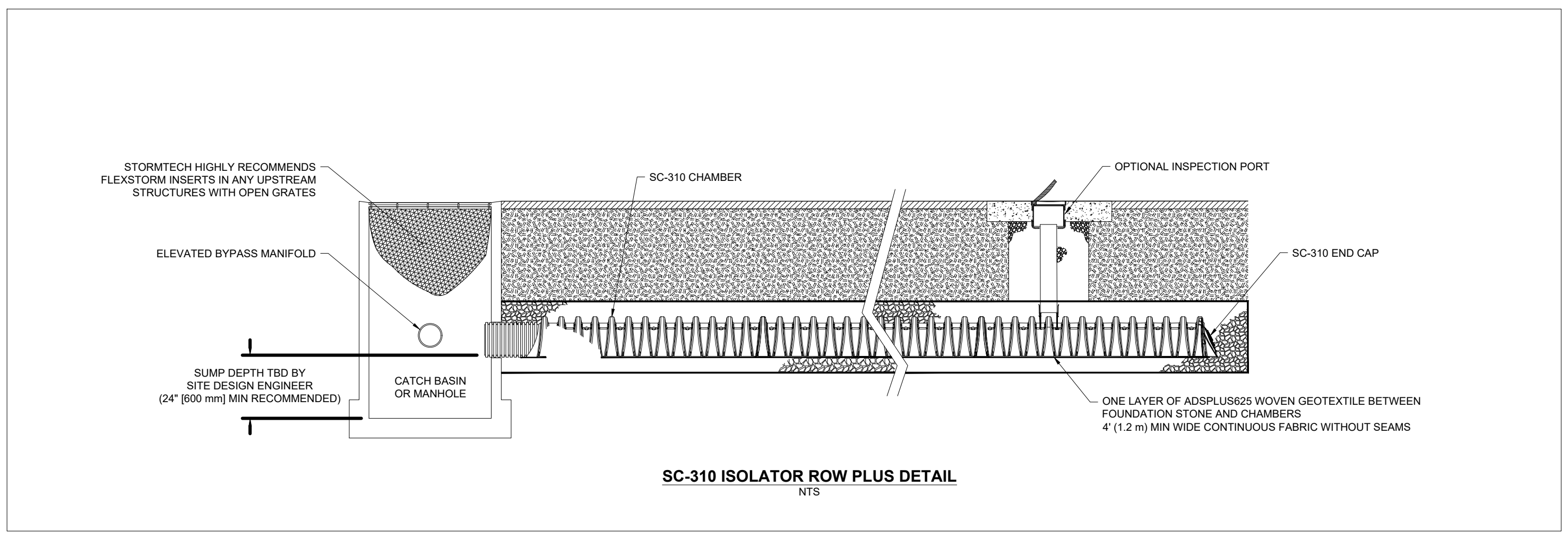
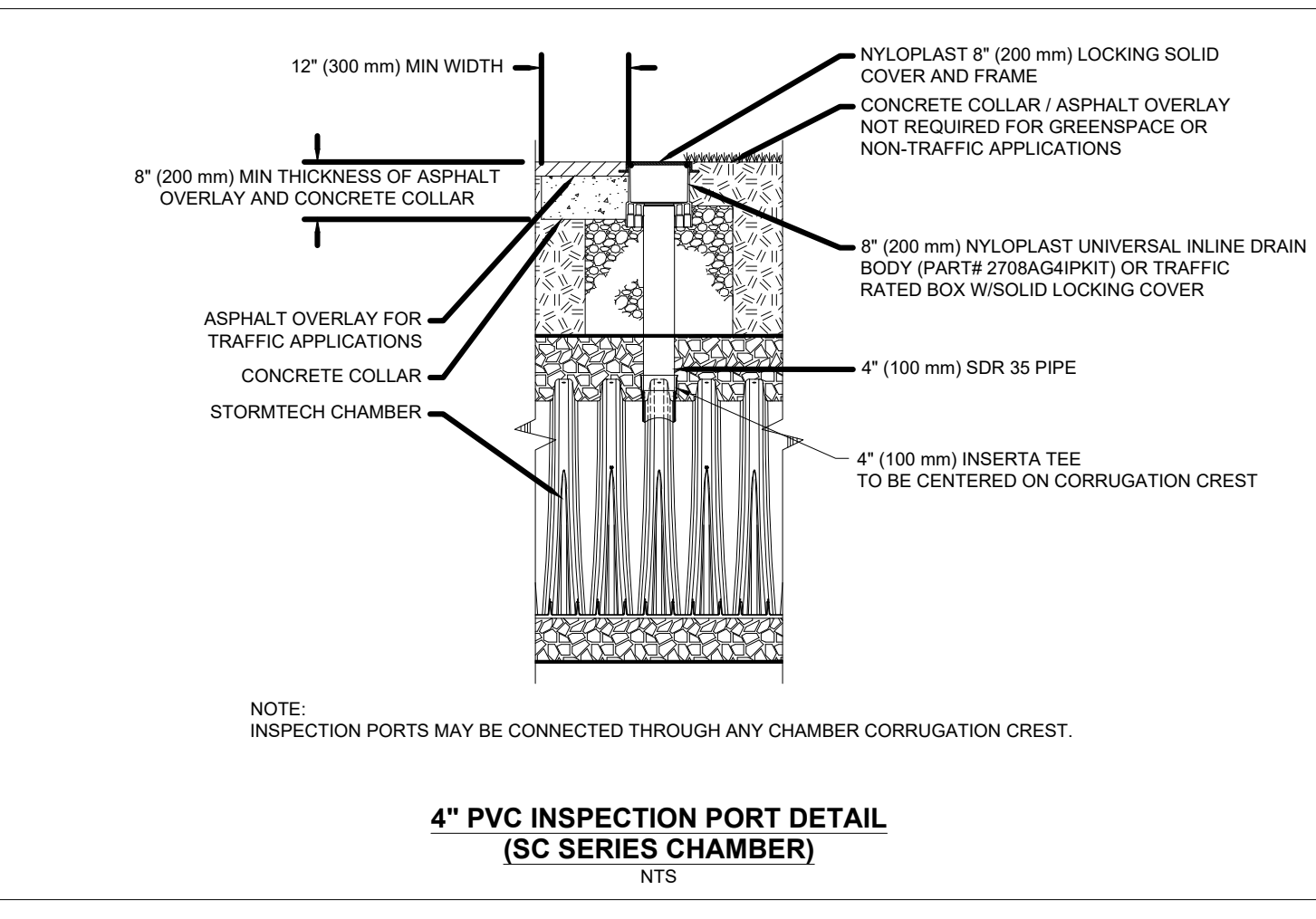
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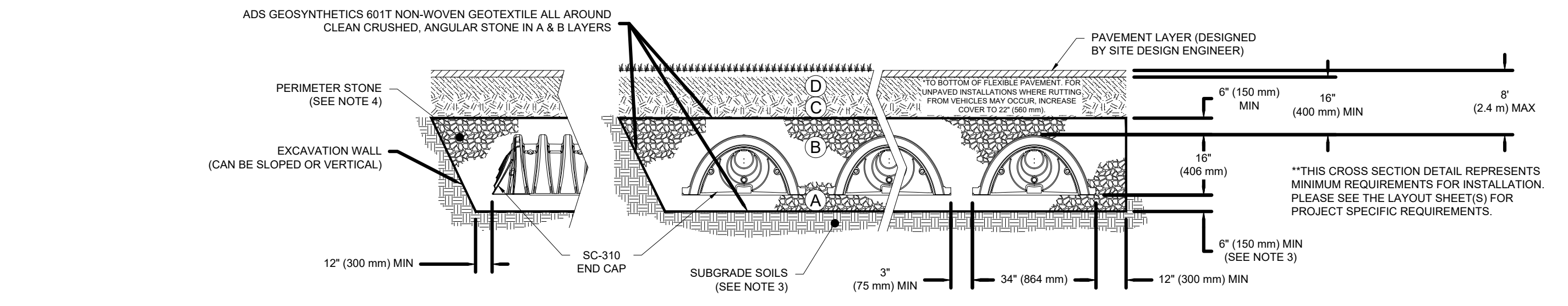
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**ACCEPTABLE FILL MATERIALS: STORMTECH SC-310 CHAMBER SYSTEMS**

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	<b>FINAL FILL:</b> FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	ANY SOIL/ROCK MATERIALS, NATIVE SOILS, OR PER ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS.	3.25
C	<b>INITIAL FILL:</b> FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 16" (400 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, <35% FINES OR PROCESSED AGGREGATE. MOST PAVEMENT SUBBASE MATERIALS CAN BE USED IN LIEU OF THIS LAYER.	AASHTO M43 <sup>1</sup> 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10
B	<b>EMBEDMENT STONE:</b> FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	CLEAN, CRUSHED, ANGULAR STONE OR RECYCLED CONCRETE <sup>2</sup>	AASHTO M43 <sup>1</sup> 3, 357, 4, 467, 5, 56, 57
A	<b>FOUNDATION STONE:</b> FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	CLEAN, CRUSHED, ANGULAR STONE OR RECYCLED CONCRETE <sup>2</sup>	AASHTO M43 <sup>1</sup> 3, 357, 4, 467, 5, 56, 57

PLEASE NOTE:  
 1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE.  
 2. STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6" (150 mm) MAX LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.  
 3. WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION REQUIREMENTS.  
 4. ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.  
 5. WHERE RECYCLED CONCRETE AGGREGATE IS USED IN LAYERS 'A' OR 'B' THE MATERIAL SHOULD ALSO MEET THE ACCEPTABILITY CRITERIA OUTLINED IN TECHNICAL NOTE 6.20 "RECYCLED CONCRETE STRUCTURAL BACKFILL".



**NOTES:**  
 1. CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2922 (POLYETHYLENE) OR ASTM F2418 (POLYPROPYLENE), STANDARD SPECIFICATION FOR CORRUGATED WALL STORMWATER COLLECTION CHAMBERS.  
 2. SC-310 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".  
 3. THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS. REFERENCE STORMTECH DESIGN MANUAL FOR BEARING CAPACITY GUIDANCE.  
 4. PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.  
 5. REQUIREMENTS FOR HANDLING AND INSTALLATION:  
 • TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.  
 • TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 2" (50 mm).  
 • TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, ALL THE ARCH STIFFNESS CONSTANT AS DEFINED IN SECTION 6.2.8 OF ASTM F2922 SHALL BE GREATER THAN OR EQUAL TO 325 LBS/FT<sup>2</sup>.  
 AND TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.

**MAINTENANCE AND RESPONSIBILITY**

- THE CONSTRUCTION SUPERINTENDENT SHALL HAVE THE SOLE RESPONSIBILITY FOR THE DESIGN IMPLEMENTATION. THEY SHALL ALSO BE RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION WORKERS AND SUB-CONTRACTORS ARE AWARE OF THE PROVISIONS OF THE PLAN AND THE ENGINEER'S REPORT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL ASPECTS OF THE DESIGN PRIOR TO FINAL APPROVAL BY THE TOWN. DURING THAT TIME, ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHOULD BE CHECKED ON A WEEKLY BASIS AS WELL AS AFTER EACH SIGNIFICANT RAINFALL. ALL SUCH MEASURES SHOULD BE CLEANED OR REPLACED AS NECESSARY.
- REPLANTING, REGRADING OR OTHER REPAIRS NEEDED AS A RESULT OF EROSION AND SEDIMENTATION SHOULD BE DONE PROMPTLY.
- ALL VEGETATION NOT SURVIVING AT LEAST ONE FULL GROWING SEASON SHALL BE REPLACED AT THE OWNERS EXPENSE.
- UPON PROJECT COMPLETION, THE PROPERTY OWNER SHALL ADHERE TO THE FOLLOWING MAINTENANCE RECOMMENDATIONS:  
 A. MOWING:  
 THE MOWING OF GRASS IN AND AROUND THE BASIN SHOULD BE DONE AT LEAST ONCE PER GROWING SEASON, PREFERABLY AFTER AUGUST 15 TO PROTECT GROUND NESTING BIRDS AND OTHER ANIMALS. MORE FREQUENT MOWINGS WILL BE REQUIRED FOR BASINS MAINTAINED AS RECREATIONAL OR OPEN SPACE FACILITIES. TRASH AND LITTER MUST BE REMOVED DURING MOWING OPERATIONS.  
 B. INSPECTIONS:  
 THE STRUCTURAL INTEGRITY OF THE BASIN, ESPECIALLY ANY IMPOUNDING STRUCTURES, SHOULD BE INSPECTED ON AN ANNUAL BASIS. IN ADDITION, THE INLETS FOR THE BASIN SHOULD ALSO BE INSPECTED ANNUALLY. ANY DEFICIENCIES MUST BE CORRECTED IMMEDIATELY AFTER OBSERVATION. THE BASIN AND ALL STRUCTURES SHOULD BE INSPECTED MORE OFTEN DURING THE FIRST YEAR OF OPERATION, ESPECIALLY AFTER LARGE STORMS, TO ENSURE PROPER STABILIZATION AND FUNCTION.  
 C. EMBANKMENT SUBSIDENCE:  
 • EROSION  
 • CRACKING  
 • TREE GROWTH  
 • OUTLET & SPILLWAY CONDITION  
 • SEDIMENT ACCUMULATION  
 • SLOPE STABILITY  
 ANY DEFICIENCY NOTED DURING THE INSPECTION WILL BE IMMEDIATELY REPAIRED OR REPLACED. IF ENCOUNTERED, TRASH, DEBRIS, ETC. SHOULD BE REMOVED FROM THE DRAINAGE SYSTEM AT LEAST TWICE A YEAR.  
 RESEEDING OF ANY ERODED OR BARE SPOTS IN OR AROUND THE BASIN MUST BE DONE IMMEDIATELY FOLLOWING EXAMINATIONS TO PREVENT SUBSEQUENT SOIL EROSION. MAINTAINING A FULLY VEGETATED BASIN WITH HEALTHY GRASS IS PARAMOUNT TO A SUCCESSFULLY OPERATING FACILITY.  
 D. SEDIMENT REMOVAL:  
 FOLLOWING CONSTRUCTION, THE PONDS, BASINS, AND DRAINAGE SYSTEMS ARE TO BE CLEANED OF ACCUMULATED SEDIMENT PRIOR TO ACCEPTANCE BY THE TOWN AND THEN ONCE EVERY TEN YEARS. THE RESULTING POND CONDITION AFTER SEDIMENT REMOVAL MUST BE THE ORIGINAL DESIGN CONDITIONS. ALL REMOVED SEDIMENT IS TO BE TESTED TO DETERMINE POLLUTANT CONTENT. THE SEDIMENT IS TO BE PROPERLY DISPOSED IN UPLAND AREAS BASED UPON THE TEST RESULTS AND LOCAL, STATE AND FEDERAL REGULATIONS.  
 E. CATCH BASINS, MANHOLES AND DRAIN LINES:  
 AN INSPECTION MUST OCCUR ON AN ANNUAL BASIS BY QUALIFIED PERSONNEL TO ENSURE PROPER OPERATION. THE INSPECTION SHOULD, AS A MINIMUM, CONCENTRATE ON THE FOLLOWING:  
 • DAMAGE TO GRATE/COVER  
 • EVIDENCE OF STANDING WATER  
 • DEBRIS REMOVAL  
 • STRUCTURAL ALIGNMENT/INTEGRITY  
 ANY DEFICIENCY NOTED DURING THE INSPECTION WILL BE IMMEDIATELY REPAIRED OR REPLACED.

**EROSION CONTROL & SOIL STABILIZATION PROGRAM**

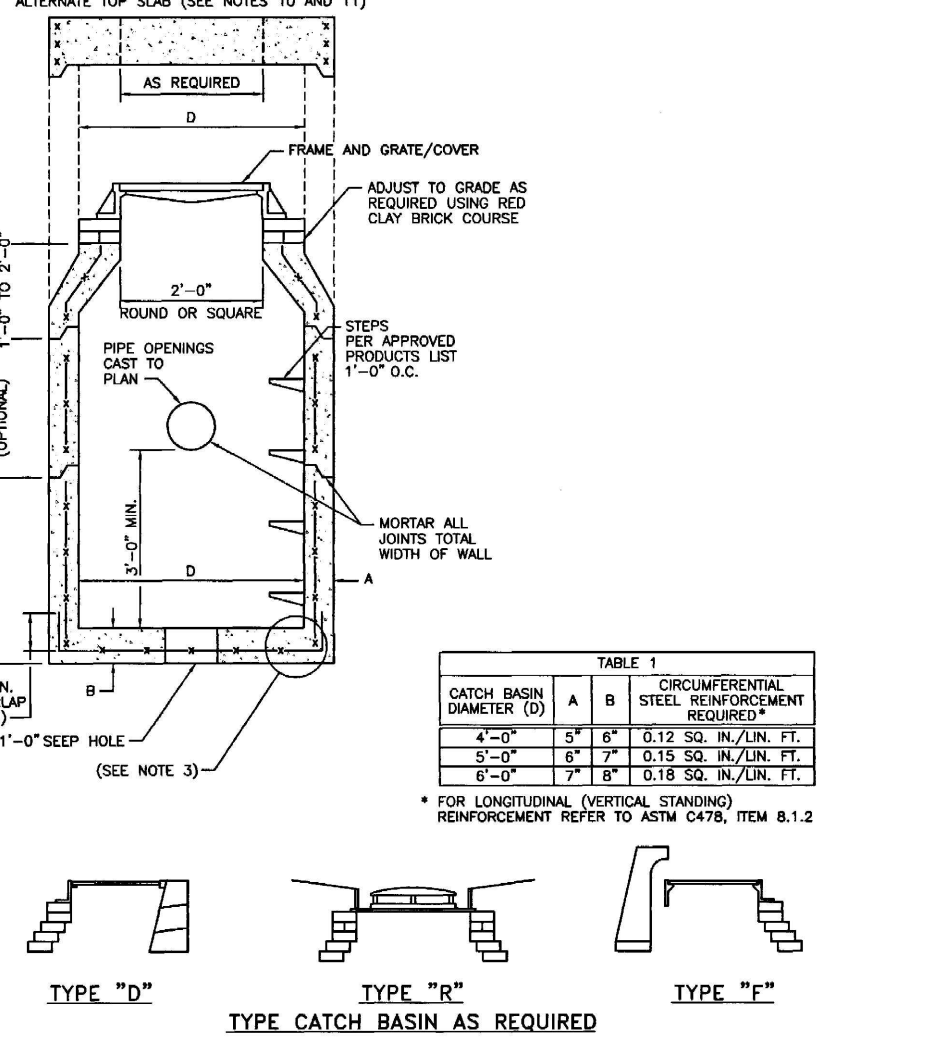
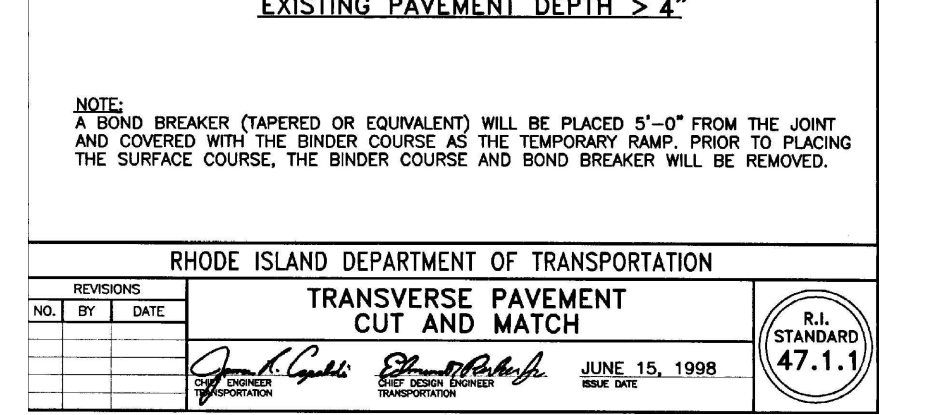
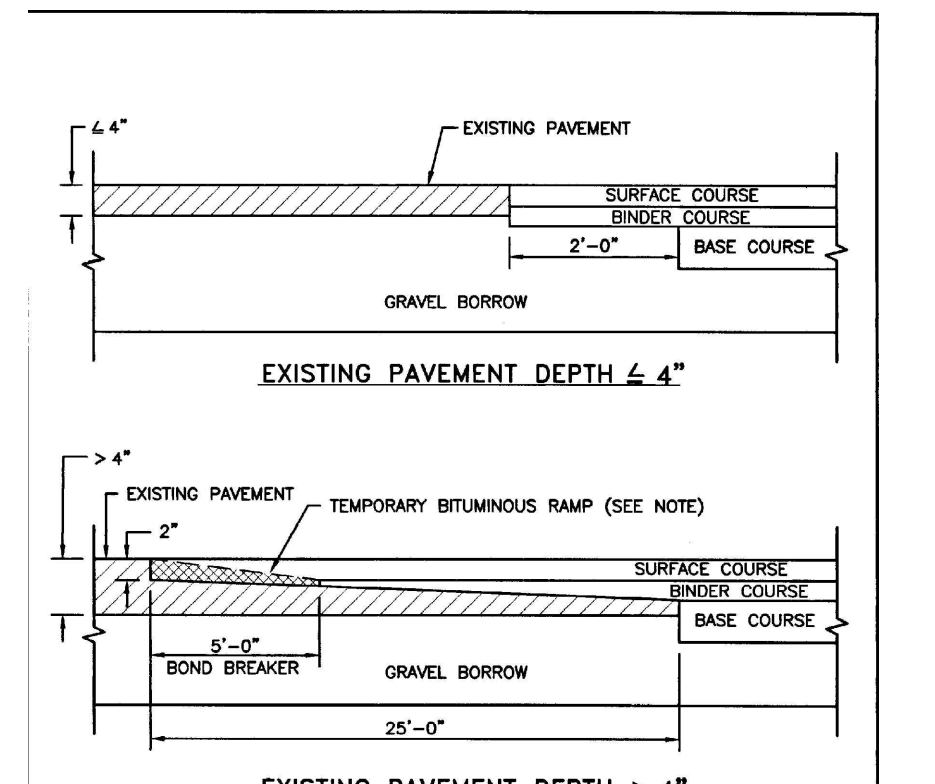
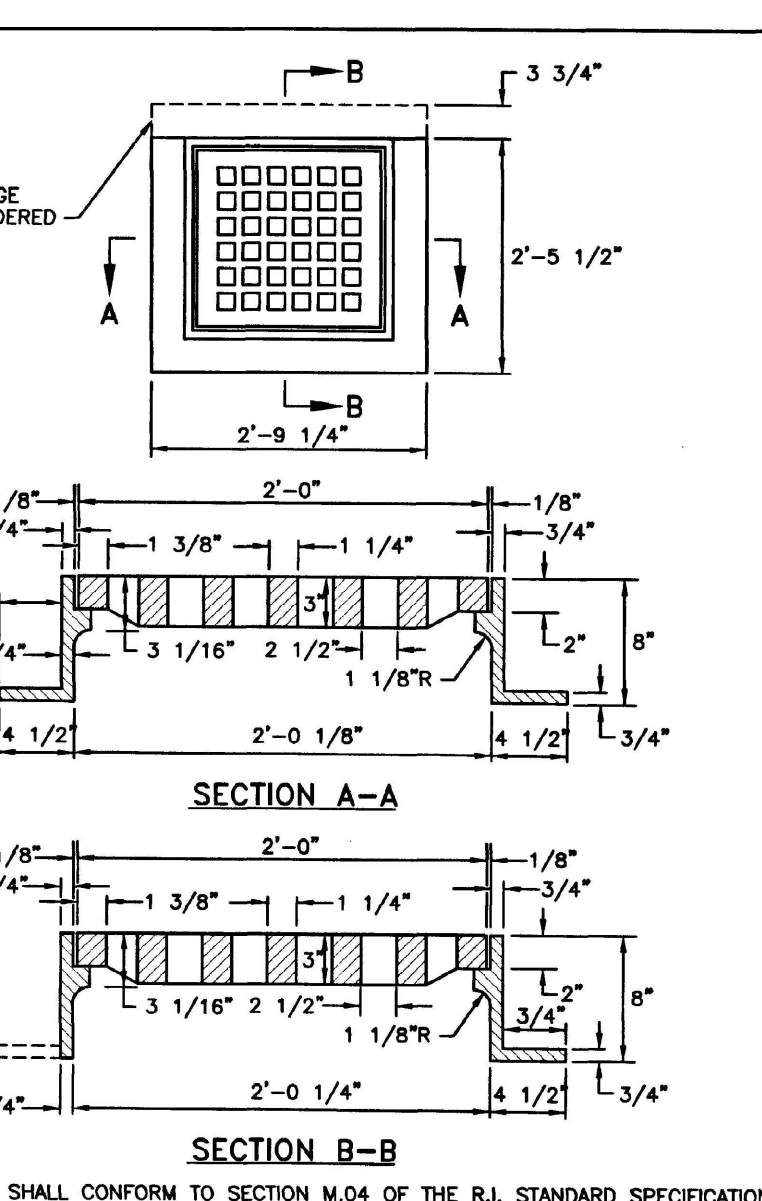
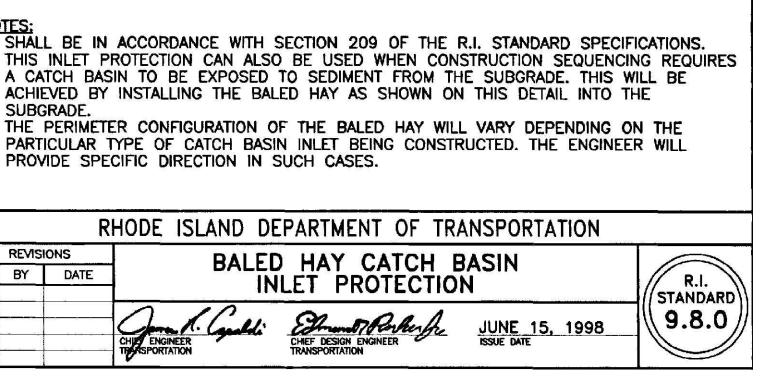
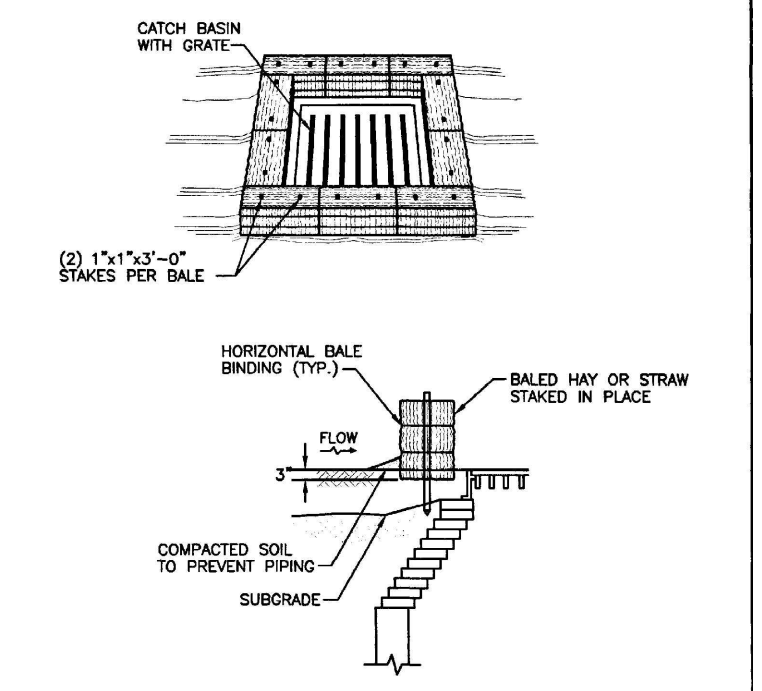
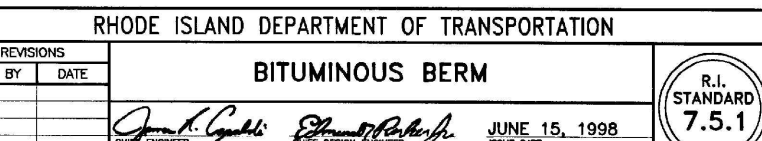
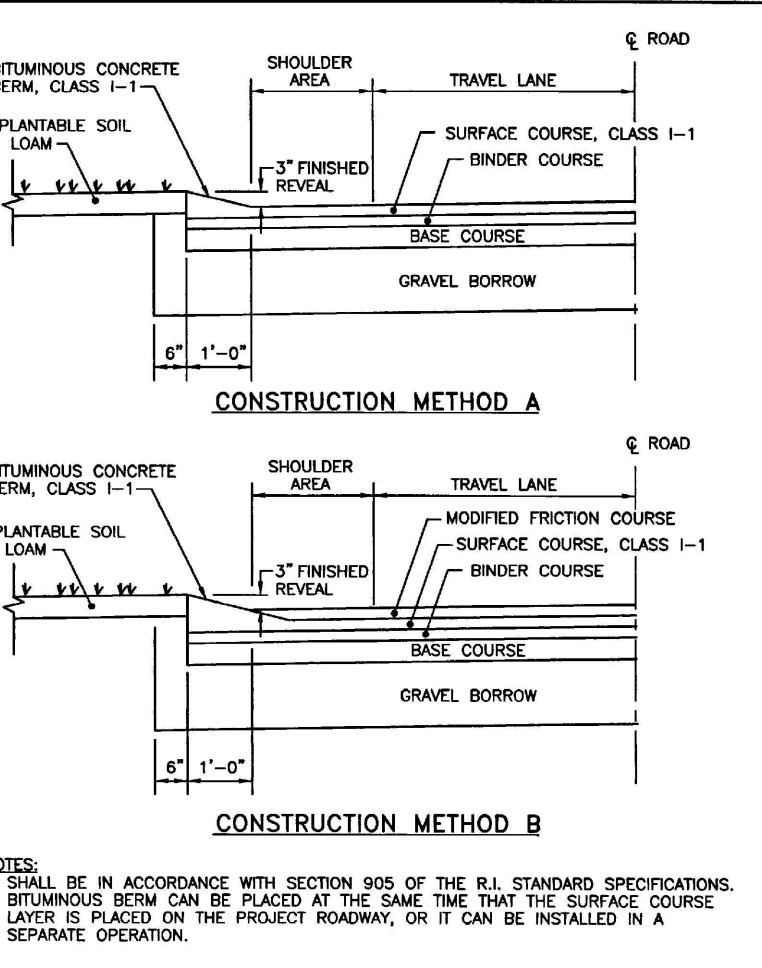
- DENUDED SLOPES SHALL NOT BE UNATTENDED OR EXPOSED FOR EXCESSIVE PERIODS OF TIME SUCH AS THE INACTIVE WINTER SEASON.
- ALL DISTURBED SLOPES EITHER NEWLY CREATED OR EXPOSED PRIOR TO OCTOBER 15 SHALL BE SEEDING OR COVERED BY THAT DATE FOR ANY WORK COMPLETED DURING EACH CONSTRUCTION PERIOD.
- THE TOPSOIL SHALL HAVE A SANDY LOAM TEXTURE RELATIVELY FREE OF SUBSOIL. PERMANENT SEEDING MIXTURES SHALL BE A MINIMUM OF 0.12 SD, 0.12 IN, 0.12 FT. (BOTH WAYS).
- THE SEED MIX SHALL BE INOCULATED WITHIN 24 HOURS, BEFORE MIXING AND PLANTING, WITH APPROPRIATE INOCULUM FOR EACH VARIETY.
- THE DESIGN MIX SHALL BE COMPRISED OF THE FOLLOWING: PERMANENT SEEDING MIXTURES: A - MOVED AREA: ALL FLAT OR SLOPES LESS THAN 3:1  
 TOTAL 100%KRAE  
 RED RESCUE 75 % BY WT. SEEDING DATES APRIL 1 - JUNE 15  
 KENTUCKY BLUEGRASS 15 % BY WT. SEEDING DATES AUG. 15 - OCT. 15  
 COLONIAL BENTGRASS 5 % BY WT. SEEDING DATES APRIL 1 - JUNE 15  
 PERENNIAL RYEGRASS 5 % BY WT. SEEDING DATES AUG. 15 - OCT. 15  
 PERMANENT SEEDING MIXTURES:  
 B - UNMOVED AREA OR INFREQUENTLY MOWED: FLAT OR SLOPES GREATER THAN 3:1  
 MIXTURE % BY WT. SEEDING DATES APRIL 1 - JUNE 15  
 RED RESCUE 75 % BY WT. SEEDING DATES APRIL 1 - JUNE 15  
 PERENNIAL RYEGRASS 5 % BY WT. SEEDING DATES AUG. 15 - OCT. 15  
 COLONIAL BENTGRASS 5 % BY WT. SEEDING DATES APRIL 1 - JUNE 15  
 BIRDFOOT TREFLOIL 15 % BY WT. SEEDING DATES AUG. 15 - OCT. 15  
 TOTAL 100%KRAE
- TEMPORARY TREATMENTS SHALL CONSIST OF A HAY, STRAW OR FIBER MULCH OR PROTECTIVE COVERS SUCH AS A MAT OR FIBER LINING (BURLAP, JUTE, FIBERGLASS NETTING, EXCELSDOR BLANKETS). THEY SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY THE ENGINEER.
- HAY OR STRAW APPLICATIONS SHOULD BE IN THE AMOUNT OF 3000-4000 LBS/AC.
- ALL HAYBALS OR TEMPORARY PROTECTION SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED. IF NEEDED, TEMPORARY SEEDING CAN BE USED TO HELP MINIMIZE EROSION. A TEMPORARY SEEDING GUIDE MUST BE INCLUDED AS A REFERENCE. THE FOLLOWING SPECIES ARE RECOMMENDED:  
 SPECIES LBS/ACRE LBS/1,000 SQ. FT. SEEDING DATES  
 ANNUAL RYEGRASS 60 1.5 MAR. 15 - JUNE 15  
 PERENNIAL RYEGRASS 40 1.0 MAY 15 - AUGUST 15  
 SUDAN GRASS 40 1.0 MAY 15 - AUGUST 15  
 MILLET 40 1.0 MAY 15 - AUGUST 15  
 WINTER RYE 120 3.0 AUGUST 15 - JUNE 15  
 OATS 120 3.0 MAR. 15 - JUNE 15  
 WHEENING LOVEGRASS 20 0.5 MAY 1 - JUNE 30
- THE CONTRACTOR MUST REPAIR AND OR RESEED ANY AREAS THAT DO NOT DEVELOP WITHIN THE PERIOD OF ONE YEAR AND HE SHALL DO SO AT NO ADDITIONAL EXPENSE.
- THE NORMAL ACCEPTABLE SEASONAL SEEDING DATES ARE APRIL 1ST THRU OCT. 15TH.
- ALL FILL SHALL BE THOROUGHLY COMPACTED UPON PLACEMENT IN STRICT CONFORMANCE WITH THE RIDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (2004 EDITION, AMENDED MARCH 2018), SECTION 202.03.3
- STABILIZATION OF ONE FORM OR ANOTHER AS DESCRIBED ABOVE SHALL BE ACHIEVED WITHIN 15 DAYS OF FINAL GRADING.
- STOCKPILES OF TOPSOILS SHALL NOT BE LOCATED NEAR WATERWAYS OR WETLANDS. THEY SHALL HAVE SLOPE SLOPES NO GREATER THAN 30% AND STOCKPILES SHALL ALSO BE SEEDED AND/OR STABILIZED.
- ON BOTH STEEP AND LONG SLOPES CONSIDERATION SHOULD BE GIVEN TO "CRIMPING" OR TRACKING TO TACK DOWN MULCH APPLICATIONS.
- REFERENCE THE SEDIMENTATION CONTROL PROGRAM AND ORDER OF PROCEDURE FOR PROPER COORDINATION.

**SEDIMENTATION CONTROL PROGRAM**

- ALL DISTURBED AREAS SUBJECT TO EROSION TENDENCIES WHETHER THEY ARE NEWLY FILLED OR EXCAVATED MUST RECEIVE SUITABLE SLOPE PROTECTION.
  - CARE SHALL BE TAKEN SO AS TO PREVENT ANY UNSUITABLE MATERIAL FROM ENTERING EITHER EXISTING OR PROPOSED DRAINAGE OR SEWER STRUCTURES.
  - SEDIMENTATION CONTROL DEVICES SHALL BE INSPECTED PERIODICALLY AND AFTER PERIODS OF RAINFALL. SUCH DEVICES SHALL BE REPAIRED OR REPLACED AS NEEDED.
  - CARE SHALL BE TAKEN SO AS NOT TO PLACE "REMOVED SEDIMENTS" WITHIN THE PATH OF EXISTING NEWLY CREATED (BOTH TEMPORARY AND PERMANENT) OR PROPOSED BOX CULVERTS OR OTHER AREAS SUBJECT TO STORM WATER FLOW.
  - ADDITIONAL HAYBALS, SILT FENCE OR SANDBAGS SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER.
  - REFERENCE THE "RHODE ISLAND EROSION AND SEDIMENT CONTROL HANDBOOK" PREPARED BY THE U.S. DEPT. OF AGRICULTURE, SOIL CONSERVATION SERVICE, 1989, WITH ANY AMENDMENTS, AS A GUIDE.
- ORDER OF PROCEDURE**
- IMMEDIATELY UPON COMPLETION OF THE CLEARING AND GRUBBING OPERATION AND PRIOR TO ANY GRADING, TEMPORARY HAYBALS, SILT FENCE OR SANDBAGS SHALL BE PLACED OUTSIDE THE LIMITS OF DISTURBANCE AS SHOWN ON THE PLANS. (I.E. ALONG NEW ROADWAYS, STREAMBANKS, CRITICAL AREAS, ETC.)
  - ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE PERIODICALLY CLEANED AND MAINTAINED AS PER THE RESPECTIVE PROGRAMS DURING THE CONSTRUCTION.
  - IF WORK PROGRESS IS TO BE INTERRUPTED AT ANY TIME, REFERENCE EROSION AND SEDIMENTATION CONTROL PROGRAMS FOR TEMPORARY CONTROL.

**GENERAL NOTES**

- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY AND ALL PERMITS REQUIRED BY THE STATE OF RHODE ISLAND AND THE MUNICIPALITY PRIOR TO COMMENCING ANY WORK.
- IT SHALL ALSO BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE INTEGRITY OF ALL EXISTING UTILITIES, STRUCTURES, AND ABUTTING PROPERTIES. THE COST OF ANY REPAIR OR REPLACEMENT OF DAMAGED ITEMS SHALL BE BORNE BY THE CONTRACTOR.
- THE CONTRACTOR SHALL COORDINATE ALL WORK WITH THE MUNICIPAL ENGINEERING DEPARTMENT AND ALL UTILITY INSTALLATIONS AND INSPECTIONS WITH THE APPROPRIATE UTILITY CO. A 48 HOUR ADVANCE NOTICE IS REQUIRED BEFORE WORK COMMENCEMENT.
- ALL WORK WITHIN THE STATES ROW WILL CONFORM TO RIDOT'S STANDARDS.
- SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2013 AMENDED AUGUST 2013 AND STANDARD DETAILS, JUNE 15, 1998 AS AMENDED BY REVISION.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR QUANTITY TAKE OFF IN COMPUTING ANY ESTIMATES.
- EMBAKMENT SLOPES AND ALL DISTURBED AREAS ARE TO RECEIVE 4" OF TOPSOIL AND SEED. SEE EROSION CONTROL PROGRAM DETAILS.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION INDICATED ON THESE PLANS, THAT INCLUDES ANY CONSTRUCTION TO BRING UTILITIES TO THE SITE, ANY REPAIRS, ANY TRENCHING REQUIRED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL TEMPORARY SEDIMENTATION AND SOIL EROSION CONTROL MEASURES.
- THE LOCATION OF EXISTING UTILITIES AS SHOWN ARE APPROXIMATE AND SHOULD BE VERIFIED BY THE CONTRACTOR WITH THE APPROPRIATE UTILITY COMPANIES. CALL DIG-SAFE 1(800)225-4977
- IN ALL EXCAVATION AND PLACEMENT OF FILL THE CONTRACTOR SHALL PERFORM THE WORK IN FULL COMPLIANCE WITH THE R.I. STANDARD SPECIFICATION SECTION 202.



GENERAL NOTES AND DETAILS FOR  
**KEYSTONE, LLC.**  
 LOCATED AT  
 A.P. 57-1, LOT 73  
 82 MAIN STREET  
 SOUTH KINGSTOWN, R.I.

Checked By: P/JF  
 Drawn By: MJC  
 Scale: AS SHOWN  
 Date: 09/09/2025  
 REVISIONS  
 NO. REVISION BY DATE

PATRICK J. FREEMAN  
 13125  
 NO. 13125  
 PROFESSIONAL ENGINEER  
 CIVIL

**AMERICAN ENGINEERING, INC.**  
 Professional Engineering & Land Surveying  
 400 South County Trail - Suite A 201  
 Exeter, Rhode Island 02822  
 DCotta@AmericanEngineeringRI.com  
 Phone (401) 294-4080 / Fax (401) 294-3625

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 Job No. 125222