



# MAJOR LAND DEVELOPMENT SITE PLAN REVIEW PLANS

FOR:

# SOUTH KINGSTOWN HIGH SCHOOL

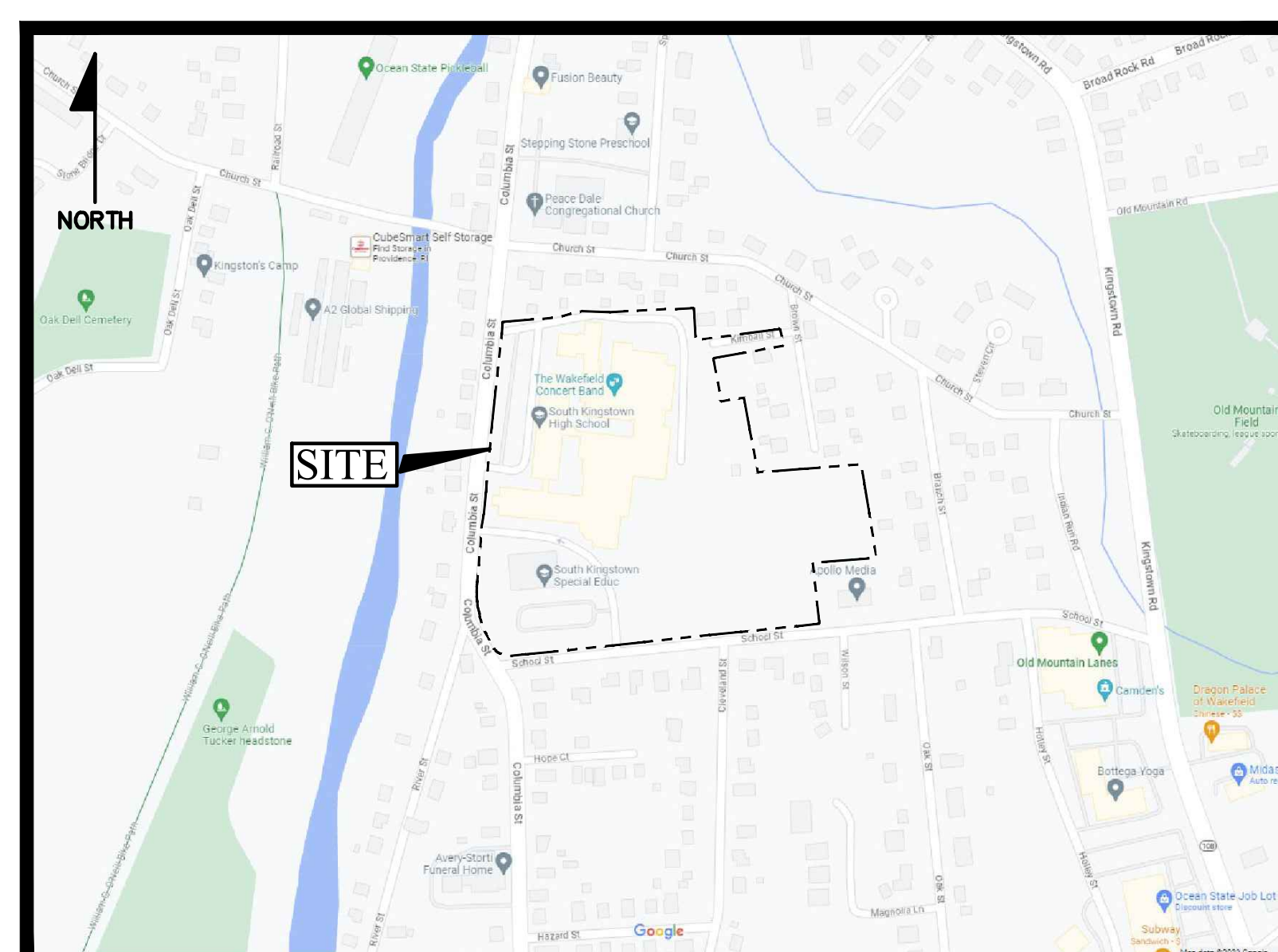
A.P. 49-4 LOT 14 & AP 57-1 LOT 209  
215 COLUMBIA STREET & 153 SCHOOL STREET  
SOUTH KINGSTOWN, R.I. 02879

PREPARED FOR:

## TOWN OF SOUTH KINGSTOWN

SOUTH KINGSTOWN SCHOOL DEPARTMENT

307 CURTIS CORNER RD,  
SOUTH KINGSTOWN, RI 02879



LOCUS MAP  
NOT TO SCALE

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PREPARED BY:



GAI Pn. 7458-00



MAJOR LAND DEVELOPMENT  
SOUTH KINGSTOWN HIGH SCHOOL  
A.P. 49-4 LOT 14 & AP 57-1 LOT 209  
215 COLUMBIA STREET & 153 SCHOOL STREET  
SOUTH KINGSTOWN, R.I. 02879  
PREPARED FOR:  
TOWN OF SOUTH KINGSTOWN  
SOUTH KINGSTOWN SCHOOL DEPARTMENT  
307 CURTIS CORNER RD.  
SOUTH KINGSTOWN, RI 02879  
ZONING:  
ZONE: EDUCATION & INSTITUTION - ED INSTITUTION  
1000-1000-0000  
Zone "X"  
Panel No. 4489C(1)03R  
Effective Date: 4/1/2020

PRELIMINARY STAGE  
APRIL, 2025

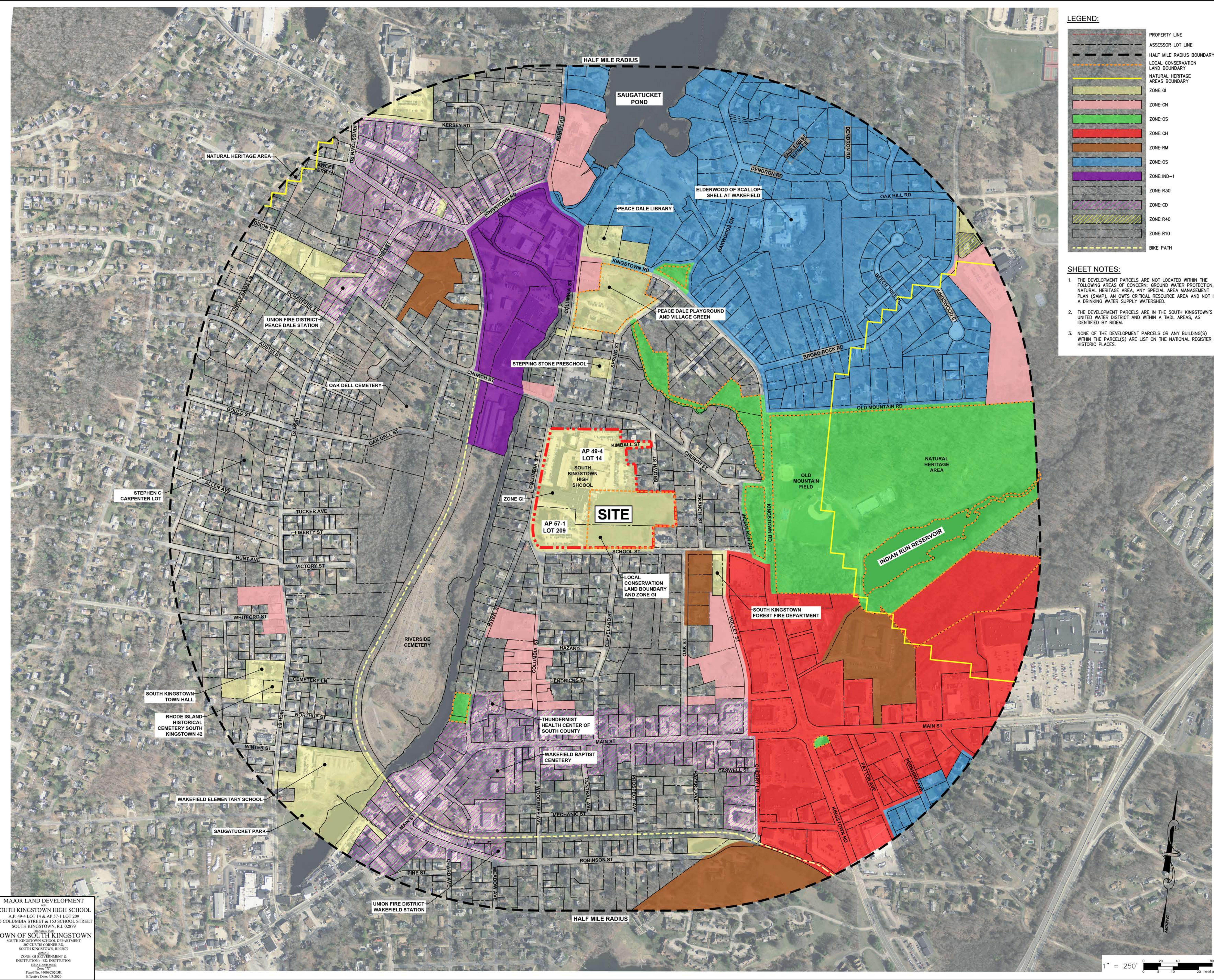
A

B

C

D

E



**LEGEND:**

	PROPERTY LINE
	ASSESSOR LOT LINE
	HALF MILE RADIUS BOUNDARY
	LOCAL CONSERVATION LAND BOUNDARY
	NATURAL HERITAGE AREAS BOUNDARY
	ZONE: GI
	ZONE: CN
	ZONE: OS
	ZONE: CH
	ZONE: RM
	ZONE: OS
	ZONE: IND-1
	ZONE: R30
	ZONE: CD
	ZONE: R40
	ZONE: R10
	BIKE PATH

- SHEET NOTES:**
1. THE DEVELOPMENT PARCELS ARE NOT LOCATED WITHIN THE FOLLOWING AREAS OF CONCERN: GROUND WATER PROTECTION, NATURAL HERITAGE AREA, ANY SPECIAL AREA MANAGEMENT PLAN (SAMP), AN OWTS CRITICAL RESOURCE AREA AND NOT IN A DRINKING WATER SUPPLY WATERSHED.
  2. THE DEVELOPMENT PARCELS ARE IN THE SOUTH KINGSTOWN'S UNITED WATER DISTRICT AND WITHIN A TMDL AREA, AS IDENTIFIED BY RIDEM.
  3. NONE OF THE DEVELOPMENT PARCELS OR ANY BUILDING(S) WITHIN THE PARCEL(S) ARE LIST ON THE NATIONAL REGISTER OF HISTORIC PLACES.

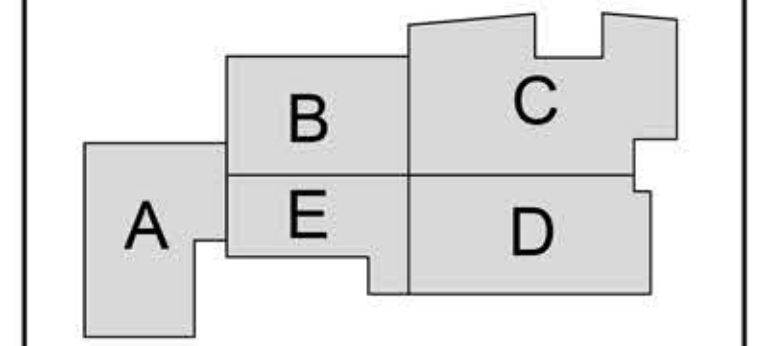
**SLAM**  
The S/L/A/M Collaborative

One Cedar Street  
Suite 201  
Providence, RI 02903  
Phone: 401.563.7046  
www.slamcoll.com

Drawn **KYY**  
Checked **SSH**



South Kingstown School District  
South Kingstown High School  
215 Columbia Street  
South Kingstown, RI 02879



**KEYPLAN**

Number	Date	Issued For
1	4/17/25	PROPERTY LABEL PER PLANNING

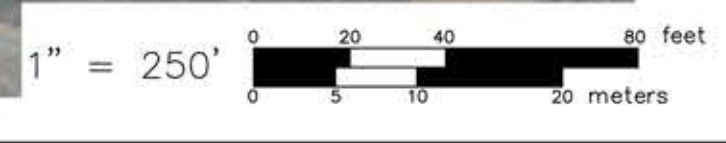
VICINITY MAP

Date **[04/25/2025]** Drawing Number  
Scale **AS SHOWN** **G-1**  
Proj. Number **[7458.00]**

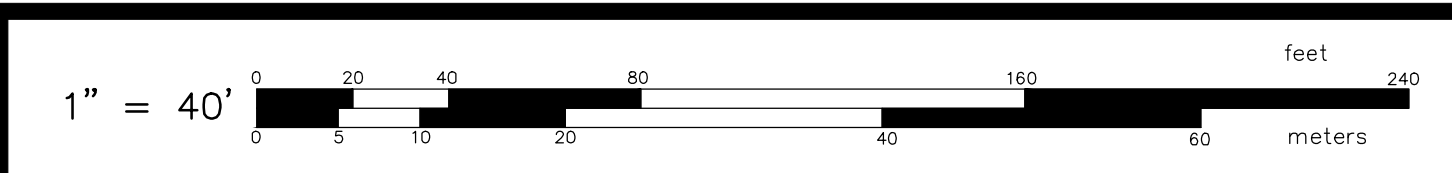
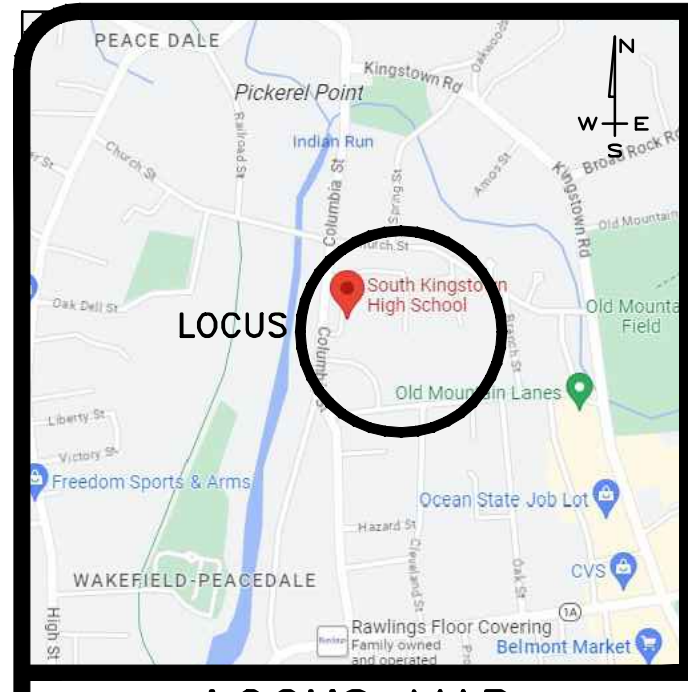
MAJOR LAND DEVELOPMENT  
SOUTH KINGSTOWN HIGH SCHOOL  
A.P. 49-4 LOT 14 & AP 57-1 LOT 209  
215 COLUMBIA STREET & 153 SCHOOL STREET  
SOUTH KINGSTOWN, RI 02879

TOWN OF SOUTH KINGSTOWN  
SOUTH KINGSTOWN SCHOOL DEPARTMENT  
SOUTH KINGSTOWN SCHOOL DISTRICT  
397 CURTIS CORNER RD.  
SOUTH KINGSTOWN, RI 02879

ZONE: GI (GOVERNMENT & INSTITUTION) - ED INSTITUTION  
Title No. 440000000K  
Effective Date: 4/3/2020



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**SOIL LEGEND:**

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
MU	Merimac-Urban land complex, 0 to 8 percent slopes	A	5.5	34.5%
UD	Urbanshorts-Urban land complex	A	7.0	43.8%
Ur	Urban land		3.4	21.7%

**STREET INDEX**  
 COLUMBIA STREET  
 SCHOOL STREET  
 KIMBALL STREET  
 BROWN STREET

**PARCEL DATA**  
 A.P. 49-4, LOT 14 &  
 A.P. 57-1, LOT 209  
 N/F  
 TOWN OF SOUTH KINGSTOWN  
 DEED BK. 58 / PG. 178  
 & BK. 27 / PG. 192  
 #215 COLUMBIA STREET  
 & #153 SCHOOL STREET  
 TOTAL LOT AREA:  
 679,716 S.F.± OR  
 15.60 ACRES±

**CERTIFICATION:**  
 THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 435-RICR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

**TYPE OF BOUNDARY SURVEY**  
 BOUNDARY SURVEY  
 DATA ACCUMULATION SURVEY  
 TOPOGRAPHY SURVEY

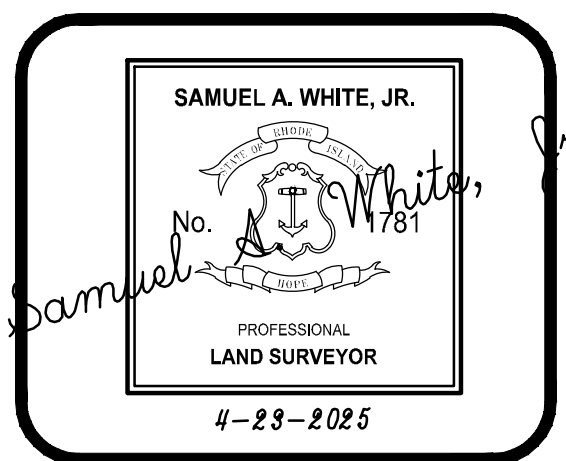
**MEASUREMENT SPECIFICATION**  
 CLASS I  
 CLASS III  
 CLASS T-3

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS: TO PROVIDE A TOPOGRAPHIC AND A BOUNDARY SURVEY FOR ASSESSOR'S PLAT 49-4, LOT 14 AND ASSESSOR'S PLAT 57-1 LOT 209 IN SOUTH KINGSTOWN, RHODE ISLAND.

BY: Samuel A. White, Jr.  
 SAMUEL A. WHITE LICENSE NO. 1781  
 LS A59-COA

**TOPOGRAPHIC AND EXISTING CONDITION SURVEY FOR SOUTH KINGSTOWN HIGH SCHOOL & SPECIAL EDUCATION**  
 AP 49-4 LOT 14 AND AP 57-1 LOT 209  
 SITUATED ON  
 215 COLUMBIA STREET  
 & 153 SCHOOL STREET  
 WAKEFIELD, RHODE ISLAND  
 PREPARED FOR  
**STUDIO JAED**

NO.	REVISION	BY	DATE
1	CONSERVATION AREA	LFA	03-12-25
2	INVERTS	LFA	04-23-25



**GAROFALO**  
 GAROFALO & ASSOCIATES, INC.  
 CIVIL & STRUCTURAL ENGINEERS/SURVEYORS  
 LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

85 COLLISS STREET  
 P.O. BOX 6145  
 PROVIDENCE, R.I. 02940  
 TEL. 401-273-6000

JOB NO. 7458.00	DRAWN BY LFA
DWG. NO. 7458-00-ECS	CALCS BY LFA
SCALE: 1"=40'	APPROVED SAW
	DATE: APRIL, 2025

SHEET  
**ECS-1**  
 1 OF 2 SHEETS



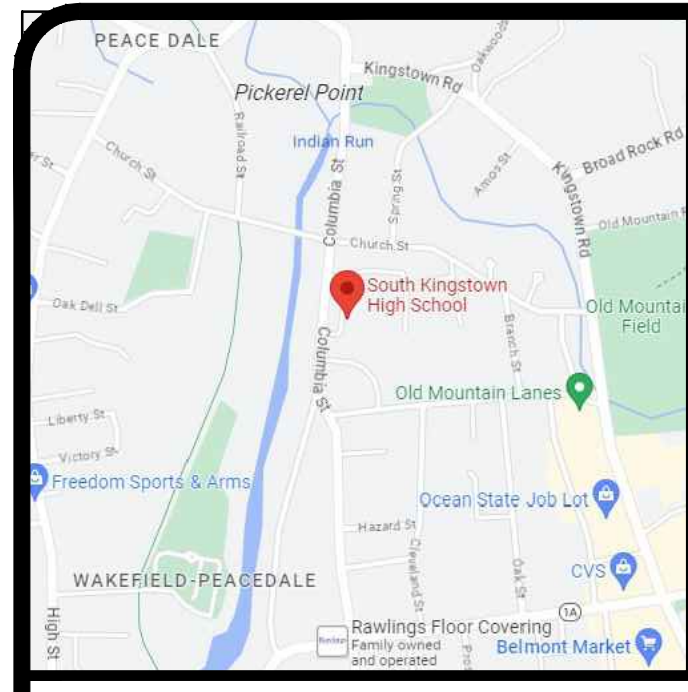
**MAJOR LAND DEVELOPMENT**  
 SOUTH KINGSTOWN HIGH SCHOOL  
 A.P. 49-4 LOT 14 & AP 57-1 LOT 209  
 215 COLUMBIA STREET & 153 SCHOOL STREET  
 SOUTH KINGSTOWN, R.I. 02879

**TOWN OF SOUTH KINGSTOWN**  
 SOUTH KINGSTOWN SCHOOL DEPARTMENT  
 307 CURIES CORNER RD.  
 SOUTH KINGSTOWN, RI 02879

ZONE - G1 GOVERNMENT & INSTITUTION - I1 INSTITUTION  
 EMS 11.000.0201  
 03/01/2015

Parcel No. 440993201X  
 Effective Date 4/2/2020

MATCH LINE SHEET 3



**LOCUS MAP**  
N.T.S.

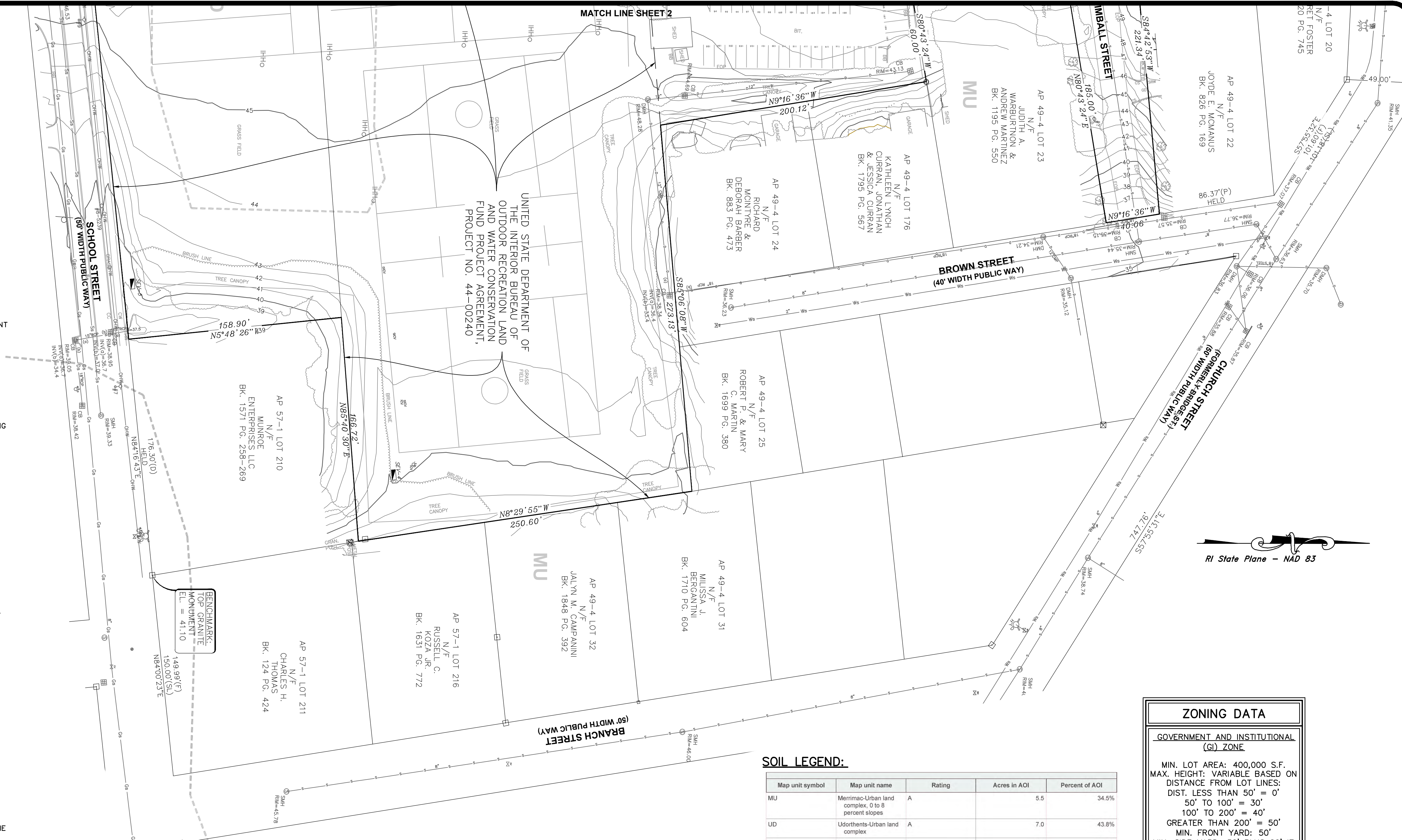
**GENERAL LEGEND & ABBREVIATIONS**

- EXISTING GRANITE MONUMENT
- EXISTING IRON PIPE
- BOLLARD
- CATCH BASIN
- CURB NILE
- DRAIN MANHOLE
- ELECTRIC HANDHOLE
- FLAG POLE
- GAS GATE
- GUY WIRE
- HANDICAP PARKING STRIPING
- HYDRANT
- IRRIGATION HANDHOLE
- LIGHT POLE
- MANHOLE (UNKNOWN)
- SIGN
- SEWER MANHOLE
- SEWER CLEAN OUT
- TELEPHONE MANHOLE
- UTILITY POLE
- WATER GATE
- WATER SHUTOFF
- BITUMINOUS BERM
- BRICK WALK
- CONCRETE CURB
- CONCRETE DRIVEWAY
- CONC.
- CONCRETE
- CP CONCRETE PAD
- CONCRETE RETAINING WALL
- CS COBBLE STONE
- CW CONCRETE WALK
- DYL DOUBLE YELLOW LINE
- ESP EDGE OF PAVEMENT
- FYL FIRE YELLOW LINE
- GD GRAVEL DRIVE
- HW HEAD WALL
- INVERT
- SWL SINGLE WHITE LINE
- SYL SINGLE YELLOW LINE
- SPOT GRADE ELEVATION
- SRW STONE RETAINING WALL
- STONE WALK
- SW WITH
- NLY NORTHERLY
- Ely EASTERLY
- Sly SOUTHERLY
- Wly WESTERLY
- NELY NORTHEASTERLY
- SELY SOUTHEASTERLY
- SWLY SOUTHWESTERLY
- NWLY NORTHWESTERLY
- ASSESSORS LINE
- LOCUS PROPERTY LINE
- STREET LINE
- SURVEY TIE LINE
- CHAIN LINK FENCE
- GUARD RAIL
- PVC FENCE
- WOOD RAIL FENCE
- STONE WALL
- DRAIN LINE
- GAS PAINT LINE
- GAS SCALE LINE
- OVERHEAD WRES
- SEWER LINE
- TELEPHONE LINE
- VERIZON PAINT LINE
- WATER PAINT LINE
- WATER SCALE LINE
- EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR
- TREE LINE
- SOIL BOUNDARY LINE

**MAJOR LAND DEVELOPMENT**  
SOUTH KINGSTOWN HIGH SCHOOL  
A.P. 49-4 LOT 14 & AP 57-1 LOT 209  
215 COLUMBIA STREET & 153 SCHOOL STREET  
SOUTH KINGSTOWN, R.I. 02879

**TOWN OF SOUTH KINGSTOWN**  
SOUTH KINGSTOWN SCHOOL DEPARTMENT  
397 CURETS CORNER RD.  
SOUTH KINGSTOWN, RI 02879

ZONE: G1 GOVERNMENT & INSTITUTION - 1B INSTITUTION  
DATE: 11/01/2015  
FILE: 440990203K  
EFFECTIVE DATE: 4/1/2020



UNITED STATES DEPARTMENT OF THE INTERIOR BUREAU OF LAND AND WATER RECREATION LAND FUND PROJECT AGREEMENT, PROJECT NO. 44-00240

**ZONING DATA**

GOVERNMENT AND INSTITUTIONAL (G1) ZONE

MIN. LOT AREA: 400,000 S.F.  
MAX. HEIGHT: VARIABLE BASED ON DISTANCE FROM LOT LINES:  
DIST. LESS THAN 50' = 0'  
50' TO 100' = 30'  
100' TO 200' = 40'  
GREATER THAN 200' = 50'

MIN. FRONT YARD: 50'  
MIN. SIDE YARD: 50' PLUS 20' IF ABUTS RESIDENTIAL ZONING  
MIN. REAR YARD: 50' PLUS 20' IF ABUTS RESIDENTIAL ZONING  
BUILDING COVERAGE: 25%

\* PLEASE REFER TO ZONING REGS. FOR ADDITIONAL INFORMATION.

**SOIL LEGEND:**

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
MU	Merimac-Urban land complex, 0 to 8 percent slopes	A	5.5	34.5%
UD	Udorthens-Urban land complex	A	7.0	43.8%
Ur	Urban land		3.4	21.7%

- PLAN REFERENCES:**
- TOWN OF SOUTH KINGSTOWN MAP OF BRANCH STREET FROM BRIDGE STREET TO HIGH SCHOOL STREET, AS LAIDOUT BY GEORGE H. BULLOCK, EDMUND WALKER AND HERBERT R. WEBSTER, COMMITTEE, SCALE - 1"=40', OCTOBER 10TH 1903, BY LEON L. HOLLAND, CIVIL ENGINEER, WAKEFIELD, R.I., BOOK 1, PAGE 44.
  - PLAT AND PROFILE OF BROWN STREET IN SOUTH KINGSTOWN, R.I. AS LAIDOUT BY HENRY P. CHAMPLIN, WILLIAM H. TULLY AND FRANK A. FAGAN, COMMITTEE, DEC., 1934, SCALE 1"=20', BY LEON L. HOLLAND, CIVIL ENGINEER, BOOK 8 PAGE 564.
  - TOWN OF SOUTH KINGSTOWN MAP OF BRIDGE STREET (CHURCH STREET) FROM THE INTERSECTION OF BRIDGE AND SPRING STREETS TO KINGSTOWN ROAD, AS LAIDOUT BY ROBERT H. GARDNER, EDMUND WALKER AND HERBERT W. FISON, COMMITTEE, SCALE - 1"=100', JANUARY 10TH 1903, BY LEON L. HOLLAND, CIVIL ENGINEER, WAKEFIELD, R.I., BOOK 2 PAGE 124.
  - TOWN OF SOUTH KINGSTOWN, R.I. PLAT OF COLUMBIA STREET AS LAIDOUT BY DAVID REID, EDMUND LYONS AND JOHN R. CARPENTER, COMMITTEE, SURVEYED AUG.-OCT. 1930, SCALE 1"=80', BY LEON L. HOLLAND, CIVIL ENGINEER, BOOK 7 PAGES 500 AND 504.
  - TOWN OF SOUTH KINGSTOWN MAP OF HIGH SCHOOL STREET FROM COLUMBIA STREET TO KINGSTOWN ROAD, AS LAIDOUT BY ROBERT H. GARDNER, EDMUND WALKER AND HERBERT W. FISON, COMMITTEE, SCALE - 1"=100', JANUARY 10TH 1903, BY LEON L. HOLLAND, CIVIL ENGINEER, WAKEFIELD, R.I., BOOK 1 PAGE 52.
  - RELOCATION OF HIGH SCHOOL STREET EAST FROM BRANCH ST. TO KINGSTOWN ROAD, SCALE 1"=50' JUNE 1935, SOUTH KINGSTOWN, R.I. BY EARL C. WHALEY, SURVEYOR, BOOK 8 PAGE 585.
  - TOWN OF SOUTH KINGSTOWN PLAT SHOWING LAND BETWEEN COLUMBIA ST. AND WEST, CHURCH ST., ON THE NORTH, BRANCH ST., ON THE EAST AND HIGH SCHOOL ST., ON THE SOUTH, JANUARY 31, 1947, BY LEON L. HOLLAND, CIVIL ENGINEER, BOOK 10 PAGE 752.
  - PLAT OF LAND BELONGING TO ROWLAND HAZARD IN SOUTH KINGSTOWN, R.I. SCALE 80 FEET TO THE INCH, JUNE 1894, BY GEO. T. LANPHEAR, SURV., BOOK 34 PAGE 477.
  - PLAT OF HOUSE LOTS IN PEACE DALE, R.I. OWNED BY MRS. SUSAN A. BROWN, SCALE - 40'=1", APRIL 3RD 1895, BY LEON L. HOLLAND SURVEYOR, BOOK 10 PAGE 752.

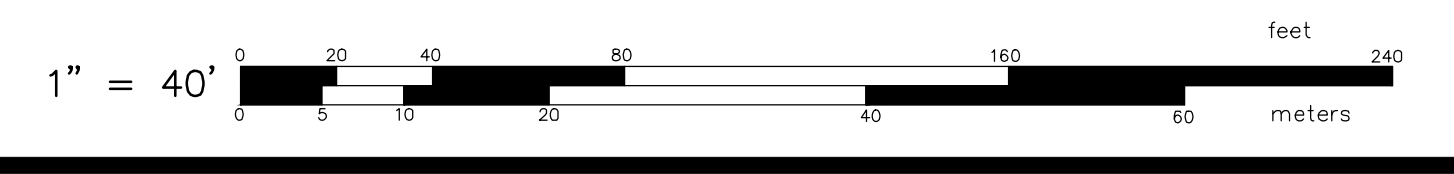
**CERTIFICATION:**  
THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 435-RICR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

TYPE OF BOUNDARY SURVEY: BOUNDARY SURVEY  
DATA ACCUMULATION SURVEY: TOPOGRAPHY SURVEY

MEASUREMENT SPECIFICATION:  
CLASS I  
CLASS II  
CLASS 1-3

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS: TO PROVIDE A TOPOGRAPHIC AND A BOUNDARY SURVEY FOR ASSESSOR'S PLAT 49-4 LOT 14 AND ASSESSOR'S PLAT 57-1 LOT 209 IN SOUTH KINGSTOWN, RHODE ISLAND.

By: *Samuel A. White, Jr.*  
SAMUEL A. WHITE LICENSE NO. 1781  
LS A59-COA

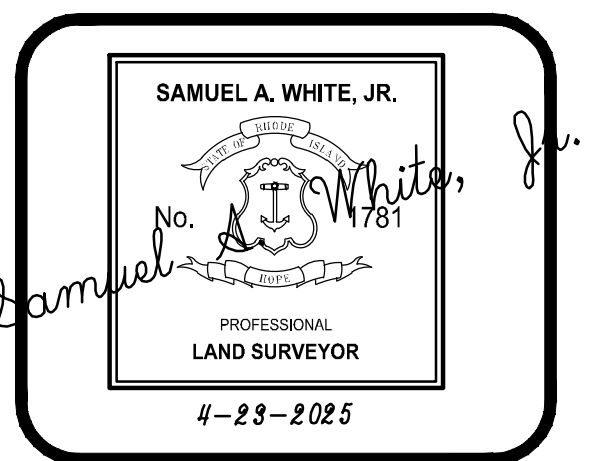


**TOPOGRAPHIC AND EXISTING CONDITION SURVEY**  
FOR  
**SOUTH KINGSTOWN HIGH SCHOOL & SPECIAL EDUCATION**  
AP 49-4 LOT 14 AND AP 57-1 LOT 209

SITUATED ON  
**215 COLUMBIA STREET & 153 SCHOOL STREET**  
WAKEFIELD, RHODE ISLAND

PREPARED FOR  
**STUDIO JAED**

NO.	REVISION	BY	DATE
1	CONSERVATION AREA	LFA	03-12-25
2	INVERTS	LFA	04-23-25



**GAROFALO**  
GAROFALO & ASSOCIATES, INC.  
CIVIL & STRUCTURAL ENGINEERS/SURVEYORS  
LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

85 COLLISS STREET  
P.O. BOX 6145  
PROVIDENCE, R.I. 02940  
TEL. 401-273-6000

JOB NO. 7458-00	DRAWN BY LFA
DWG. NO. 7458-00-ECS	CALCS BY LFA
SCALE: 1"=40'	APPROVED SAW
	DATE: APRIL, 2025

SHEET  
**ECS-2**  
2 OF 2 SHEETS

GENERAL CONSTRUCTION NOTES:

- 1. AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE TRAILER AT ALL TIMES. DEVIATIONS OR CHANGES WILL NOT BE ALLOWED UNLESS BY WRITTEN APPROVAL FROM THE ENGINEER.
2. SITEWORK CONSTRUCTION SHALL NOT COMMENCE UNTIL ALL APPROVALS FROM THE TOWN OF SOUTH KINGSTOWN AND RIDGES/WOC FROM RIDEM HAVE BEEN SECURED. CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITS OBTAINED FOR SITE WORK.
3. THE CONTRACTOR MUST RETAIN THE SERVICES OF A REGISTERED LAND SURVEYOR IN THE STATE OF RHODE ISLAND TO LAYOUT ON THE GROUND ALL NEW ELEMENTS OF WORK, IF ANY WORK IS INSTALLED PRIOR TO THE ABOVE REQUIREMENT AND IF ANY WORK IS NOT SATISFACTORY TO THE ENGINEER, THE CONTRACTOR MUST REPLACE THE WORK AT NO ADDITIONAL COST TO THE OWNER.
4. THE CONTRACTOR SHALL VERIFY THE PROPOSED LAYOUT WITH ITS RELATIONSHIP TO THE EXISTING SITE SURVEY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, SITE CONDITIONS AND MATERIAL SPECIFICATIONS AND SHALL NOTIFY THE OWNER AND ENGINEER OF ANY ERRORS, OMISSIONS OR DISCREPANCIES BEFORE COMMENCING, INSTALLING OR PROCEEDING WITH WORK.
5. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES AND TO TAKE WHATEVER NECESSARY MEASURES NEEDED TO PROVIDE FOR THEIR PROTECTION. THE SURVEYORS HAS DILIGENTLY ATTEMPTED TO LOCATE AND INDICATE ALL EXISTING UNDERGROUND UTILITIES AND FACILITIES ON THE DRAWINGS. HOWEVER, THE INFORMATION SHOWN IS FOR THE CONTRACTORS CONVENIENCE ONLY. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS OF UTILITIES SHOWN OR NOT SHOWN. THE CONTRACTOR SHALL MAKE EXPLORATORY EXCAVATIONS AND LOCATE ANY EXISTING UTILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION, VERIFY ALL DIMENSIONS, SITE CONDITIONS AND MATERIALS. THE CONTRACTOR MUST CONTACT THE LOCAL UTILITY COMPANIES FOR EXACT LOCATION OF UTILITIES PRIOR TO THE START OF ANY CONSTRUCTION AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCY BEFORE START OF ANY WORK. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR AND REPLACE ANY AND ALL DAMAGE MADE TO UTILITIES BY THE CONTRACTOR.
6. THE CONTRACTOR MUST NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITIES IN THE AREA OF PROPOSED CONSTRUCTION, EXCAVATION OR BLASTING AT LEAST THREE WORKING DAYS, BUT NOT MORE THAN TEN WORKING DAYS PRIOR TO THE START OF ANY CONSTRUCTION, EXCAVATION OR BLASTING. ALL WATER, SEWER, GAS AND ALL OTHER UTILITIES MUST BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.
7. METHODS AND MATERIALS USED IN THE CONSTRUCTION OF IMPROVEMENTS SHALL CONFORM TO THE CURRENT CONSTRUCTION STANDARDS AND SPECIFICATIONS FOR THE TOWN OF SOUTH KINGSTOWN AND THE STATE OF RHODE ISLAND DEPARTMENT OF TRANSPORTATION, THE STATE OF RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, FEBRUARY 2025 EDITION WITH ALL REVISIONS AND ADDENDA, AND THE RHODE ISLAND STANDARD DETAILS 1998 EDITION (AMENDED FEBRUARY 24, 2025) WITH ALL REVISIONS ARE MADE A PART HEREOF, AS IF ATTACHED HERETO).
8. ALL IMPROVEMENTS INDICATED HEREON MUST COMPLY WITH THE 'AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG)'. NOTE THAT THE DETAIL CONTAINED WITHIN THIS PLAN MAY NOT SHOW THE DETAIL NECESSARY TO CONSTRUCT WALKWAYS, RAMPS AND SPACES TO COMPLY WITH THE ADAAG REQUIREMENTS BUT THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE LEVEL OF CARE NECESSARY TO BE CERTAIN THAT THE CONSTRUCTED PRODUCT MEETS THESE STANDARDS.
9. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY PAVEMENT, DRIVEWAYS, SIDEWALKS, WALL, CURBS, ETC. DAMAGED DURING CONSTRUCTION WITH MATCHING MATERIALS.
10. THE CONTRACTOR AGREES THAT HE WILL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE PROJECT SITE CONDITIONS THROUGHOUT CONSTRUCTION, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONJUNCTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT.
11. ALL MATERIALS USED FOR CONSTRUCTION MUST BE NEW AND FREE OF DEFECTS. USED OR SALVAGED MATERIAL WILL NOT BE ALLOWED UNLESS WRITTEN APPROVAL FROM THE OWNER IS OBTAINED BY THE CONTRACTOR.
12. AT ALL TIME THE CONTRACTOR MUST MAINTAIN ACCESS FOR EMERGENCY VEHICLES AROUND AND TO ALL BUILDINGS. (I.E. IN TIMES OF RAIN OR SNOW, ROADS MUST BE ABLE TO CARRY A FIRE TRUCK BY BEING PAVED OR HAVING A CRUSHED STONE BASE, ETC.). WIDTH OF EMERGENCY VEHICLE ACCESS MUST BE A MINIMUM OF 20 FEET WIDE. ACCESS TO BUILDINGS THAT HAVE A FIRE SPRINKLER SYSTEM OR STANDPIPE MUST BE WITHIN 40 FEET OF THE FIRE DEPARTMENT CONNECTION (FDC). NFPA 1141 3-1.
13. NECESSARY BARRICADES, LIGHTS, SIGNS AND OTHER TRAFFIC CONTROL METHODS AS MAYBE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC MUST BE PROVIDED AND MAINTAINED THROUGHOUT CONSTRUCTION BY THE CONTRACTOR.
14. HIGH INTENSITY LIGHTING FACILITIES MUST BE SO ARRANGED THAT THE SOURCE OF ANY LIGHT IS CONCEALED FROM PLUM. ADJACENT RESIDENTIAL PROPERTY AND DOES NOT INTERFERE WITH TRAFFIC. (REFER TO ELECTRICAL SITE PLANS FOR DETAILS.)
15. ALL RI HIGHWAY BOUNDS AND PERMANENT SURVEY MARKERS SHALL BE PROTECTED THROUGHOUT CONSTRUCTION.
16. ALL TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES 2023 EDITION, INCLUDING ALL REVISIONS.
17. PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR IS REQUIRED TO DEVELOP AND IMPLEMENT A PLAN FOR THE TEMPORARY CONTROL OF VEHICULAR AND PEDESTRIAN TRAFFIC FOR WORK WITHIN PUBLIC STREET RIGHT-OF-WAY AT THE SITE EGRESS. CONTRACTOR SHALL OBTAIN APPROVAL OF SAID PLAN FROM APPROPRIATE STATE AND COMMUNITY PUBLIC SAFETY OFFICIALS.
18. WHEN IT IS NECESSARY TO CLOSE OFF A STREET, THE FIRE DEPARTMENT AND POLICE DEPARTMENT SHALL BE NOTIFIED BY THE CONTRACTOR.
19. PRECAST STRUCTURES MAY BE USED AT CONTRACTOR'S OPTION. SHOP DRAWINGS OF PRECAST STRUCTURES SHALL BE REVIEWED BY THE ENGINEER AND APPROVED BEFORE USE.
20. IF ANY EXISTING STRUCTURES AND/OR UTILITIES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, EITHER ON THE PROJECT SITE, ADJACENT PROPERTIES, OR WITHIN STATE RIGHT-OF-WAY, IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
21. REFER TO ARCHITECTURAL, STRUCTURAL, AND MECHANICAL PLANS FOR ALL BUILDING INFORMATION.
22. ALL CURB RADI ARE 3' UNLESS OTHERWISE NOTED ON THE SITE PLAN.

SURVEY REFERENCE:

- 1. THE EXISTING CONDITIONS SHOW HEREIN ARE TAKEN FROM PLAN TITLE "TOPOGRAPHY AND EXISTING CONDITION SURVEY" FOR SOUTH KINGSTOWN HIGH SCHOOL & SPECIAL EDUCATION, AP 49-4 LOT 14 AND AP 57-1 LOT 209, SITUATED ON 215 COLUMBIA STREET & 153 SCHOOL STREET, WAKEFIELD, RI. PREPARED FOR STUDIO JAE. PREPARED BY GAROFALO & ASSOCIATES INC. JOB NUMBER: 7458-00, DWG: 7458-00-ECS. DATED APRIL 23, 202.
2. THE PROJECT SITE IS LOCATED WITHIN ZONE "X" (AREA OF MINIMAL FLOODING) AS SHOWN ON F.E.M.A. FLOOD INSURANCE RATE MAP FOR THE TOWN OF SOUTH KINGSTOWN, WASHINGTON COUNTY, RHODE ISLAND, COMMUNITY MAP NO. 44009C0203K, HAVING AN EFFECTIVE DATE OF APRIL 3, 2020.
3. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE, THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. (PLEASE CONTACT DISSAFE PRIOR TO CONSTRUCTION @ 1-888-344-7233)
4. HORIZONTAL DATUM: RHODE ISLAND STATE PLANE - NAD 83
VERTICAL DATUM: NAVD 88
\*DATUM WAS DERIVED BY OBSERVED GPS ORTHOMETRIC HEIGHTS VARIATIONS BETWEEN LOCAL BENCHMARKS MAY APPLY.

GENERAL UTILITY NOTES:

- 1. THE CONTRACTOR SHALL NOTIFY DIG-SAFE (1-888-344-7233) AND ALL LOCAL AUTHORITIES & UTILITY COMPANIES TO VERIFY LOCATIONS OF UTILITIES WITHIN THE AREA 72 HOURS PRIOR TO BEGINNING ANY EXCAVATION OR DEMOLITION FOR THE PURPOSE OF COORDINATING THE MARKING OF UNDERGROUND UTILITIES. LOCATION AND DEPTHS OF EXISTING UTILITIES SHOWN ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY, LOCATE AND PROTECT EXISTING UTILITIES IN THE FIELD WHETHER OR NOT SHOWN ON THE DRAWINGS.
2. ALL WORK SHALL BE IN COMPLETE ACCORDANCE WITH ALL APPLICABLE STATE, FEDERAL AND LOCAL CODES, AND ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY THE OWNER/DEVELOPER. THE CONTRACTOR SHALL REFER TO THE SOUTH KINGSTOWN WATER DIVISION FOR RULES & REGULATIONS FOR THE SERVICE INSTALLATION & EXTENSION REQUIREMENTS OF WATER LINES.
3. THE CONTRACTOR SHALL COORDINATE LOCATION AND INSTALLATION OF ALL UNDERGROUND UTILITIES AND APPURTENANCES TO MINIMIZE DISTURBANCE OF CURBING, PAVING AND COMPACTED SUBGRADE. THE CONTRACTOR SHALL NOTIFY THE TOWN ENGINEER & ALL LOCAL UTILITY COMPANIES 48 HOURS BEFORE EACH PHASE OF CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY INFORM THE ENGINEER OF ANY DISCREPANCIES OR ERRORS DISCOVERED IN THE PLANS.
4. BEDDING REQUIREMENTS SPECIFIED HEREIN ARE TO BE CONSIDERED AS MINIMUMS FOR RELATIVELY DRY, STABLE EARTH CONDITIONS. ADDITIONAL BEDDING SHALL BE REQUIRED FOR ROCK TRENCHES AND WET AREA. CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO PROVIDE SUCH ADDITIONAL BEDDING AS MAY BE REQUIRED TO PROPERLY CONSTRUCT THE WORK.
5. THE CONTRACTOR SHALL REMOVE ANY ABANDONED FOUNDATIONS, UTILITY STRUCTURES, BURIED DEBRIS ETC. WHICH INTERFERE WITH THE INSTALLATION OF THE UTILITY WORK. ALL SUCH STRUCTURES SHALL BE COMPLETELY REMOVED AND THE EXCAVATED AREA SHALL BE BACKFILLED WITH COMPACTED GRAVEL IN 6" LIFTS TO 95% COMPACTION TO 6" BELOW THE BOTTOM OF THE UTILITY AND PIPE.
6. COMPACTION OF THE BACKFILL OF ALL TRENCHES SHALL BE COMPACTION TO THE DENSITY OF 95% OF THE THEORETICAL MAXIMUM DRY DENSITY (ASTM D698). BACKFILL MATERIAL SHALL BE FREE FROM ROOTS, STUMPS OR OTHER FOREIGN DEBRIS AND SHALL BE PLACED IN LIFTS NOT TO EXCEED ONE FOOT IN COMPACTED FILL THICKNESS. CORRECTION OF ANY TRENCH SETTLEMENT WITHIN A YEAR FROM THE DATE OF PROJECT APPROVAL WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
7. ALL PIPING LAYOUT INDICATED ON THESE PLANS IS DIAGRAMMATIC ONLY AND DOES NOT SHOW ALL THE REQUIRED FITTINGS FOR PROPER ALIGNMENT. THE CONTRACTOR SHALL PROVIDE ALL REQUIRED FITTINGS TO OBTAIN PROPER ALIGNMENT AND FOR EXISTING UTILITY CONNECTIONS BASED UPON FIELD CONDITIONS.
8. PROPOSED WATER PIPING SHALL BE CLASS 52 DOUBLE CEMENT LINED DUCTILE IRON PIPE WITH TYTON JOINTS. ALL BENDS, TEES ETC. SHALL BE JOINT RESTRAINED BY THE USE OF CONCRETE THRUST BLOCKS AND "MEG-A-LUG". ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE SOUTH KINGSTOWN WATER DIVISION AND THE TOWN OF SOUTH KINGSTOWN STANDARDS AND SPECIFICATIONS. NOTIFICATION SHALL BE PROVIDED TO SAID AUTHORITIES AT LEAST 72 HOURS PRIOR TO INITIATING CONSTRUCTION. WATER SERVICE PIPING SIZE SHOWN IS APPROXIMATE ONLY AND SHALL BE SIZED AND VERIFIED BY A LICENSED FIRE PROTECTION ENGINEER AND OR LICENSED PLUMBING ENGINEER.
9. GATE VALVES SHALL BE IIT KENNEDY 'KEN-SEAL' RESILIENT SEATED GATE VALVES (OR APPROVED EQUAL) COMPLETE WITH ROAD BOX AND SHALL CONFORM TO THE SOUTH KINGSTOWN WATER DIVISION STANDARDS AND SPECIFICATIONS. RESILIENT SEAT, WEDGE TYPE GATE VALVES SHALL BE MANUFACTURED TO MEET ALL APPLICABLE REQUIREMENTS OF AWWA C509.
10. ALL FIRE AND PLUMBING FIXTURES MUST CONFORM TO LOCAL SPECIFICATIONS AND AS STIPULATED BY THE LOCAL FIRE MARSHALL AND/OR THE BUILDING OFFICIAL.
11. ALL SANITARY SEWER MATERIALS AND WORKMANSHIP ASSOCIATED WITH THE INSTALLATION AND TESTING OF SANITARY SEWERS SHALL CONFORM TO THE TOWN OF SOUTH KINGSTOWN STANDARDS AND SPECIFICATIONS. ALL SEWER SYSTEM COMPONENTS MUST BE TESTED, CLEANED AND AS-BUILT INFORMATION MUST BE SUBMITTED TO THE TOWN OF SOUTH KINGSTOWN AND APPROVED. PRIOR TO ISSUANCE OF A PERMIT TO CONNECT TO PUBLIC SEWER SYSTEM.
12. SANITARY SEWER MAINS AND SERVICES SHALL BE SDR-35 (ASTM D-3034) PVC SEWER PIPE WITH PUSH ON RUBBER RING JOINTS UNLESS NOTED OTHERWISE. WHERE BUILDING SERVICES ARE INDICATED, THEY SHALL BE CONSTRUCTED AT A CONTINUOUS GRADE NOT LESS THAN 1/4" PER FOOT (0.02 FT/FT). CLEANOUTS SHALL BE INSTALLED AT BUILDING FACE (REFER PLUMBING PLANS FOR ALL WORK WITHIN 5' OF THE BUILDING). NEOPRENE COUPLINGS WITH STAINLESS STEEL BAND AND SHEER RINGS SHALL BE REQUIRED FOR JOINING DIFFERENT TYPES OF SANITARY SEWER PIPES.
13. SEWER LINES SHALL BE INSTALLED AT A MINIMUM 10 FOOT HORIZONTAL SEPARATION FROM ANY PROPOSED OR EXISTING WATER LINE. SEWER CONNECTION TO THE PROPERTY LINE SHALL BE PERFORMED BY THE TOWN OF SOUTH KINGSTOWN AND PAID FOR BY THE OWNER. CONTRACTOR SHALL INSTALL CLEANOUT AT THE BUILDING FACE. CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE TOWN OF SOUTH KINGSTOWN REQUIREMENTS.
14. WHENEVER SEWER LINES MUST CROSS WATER LINES, THE SEWER SHALL BE INSTALLED SO THAT THE TOP OF THE SEWER IS AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN. WHERE 18 INCH VERTICAL SEPARATION & 10 FOOT HORIZONTAL SEPARATION CAN NOT BE MET AT WATER AND SEWER CROSSINGS, THE SEWER PIPE SHALL BE ENCASED IN EITHER DUCTILE IRON OR <900 BLUE BRUTE PIPE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF CROSSING.
15. WHENEVER NEW SEWER LINES CONNECT TO EXISTING SEWER MANHOLES THE CONTRACTOR SHALL REBUILD THE EXISTING SEWER MANHOLE CHANNEL TO ACCOMMODATE THE NEW CONNECTION.
16. STORM DRAINS 12" AND OVER SHALL BE SMOOTH INTERIOR WALL AND EXTERIOR CORRUGATED HIGH DENSITY POLYETHYLENE (HDPE) PIPE CAPABLE OF WITHSTANDING (H=20) LOAD UNLESS NOTED OTHERWISE. PIPE SHALL BE JOINED USING BELL & SPIGOT JOINTS MEETING OR EXCEEDING ASTM F2848. THE JOINT SHALL BE SOIL-TIGHT AND GASKETS SHALL MEET OR EXCEED ASTM F477. HDPE PIPE SHALL BE AS MANUFACTURED BY ADVANCED DRAINAGE SYSTEMS INC. (ADS), HANCOR PIPE OR LANE PIPE. ALL STORM DRAINAGE PIPING SHALL BE LAID ON A SMOOTH CONTINUOUS GRADE WITH NO VISIBLE BENDS AT THE JOINTS. WHERE INDICATED ON DRAWINGS REINFORCED CONCRETE PIPE (RCP) PIPE SHALL BE CLASS III RCP WITH "O" RING GASKET JOINTS.
17. STORM DRAINS LESS THAN 12" IN DIAMETER SHALL BE SDR35 PVC, UNLESS OTHERWISE NOTED ON THE PLAN. ROOF AND AREA DRAINS SHALL BE 6-INCH DIAMETER PIPE MINIMUM WITH A MINIMUM SLOPE OF 0.010 FT/FT.
18. GAS SERVICE FACILITIES SHALL BE DESIGNED BY OTHERS. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE UTILITY INSTALLATIONS AS REQUIRED TO ENSURE ADEQUATE GAS SERVICE IS PROVIDED AND SHALL BE RESPONSIBLE FOR ALL INSTALLATION PROCEDURES (TRENCHING, LAYING PIPE, ETC.) AS REQUIRED BY THE GAS COMPANY FOR COMPLETE AND IN PLACE CONSTRUCTION.
19. ELECTRIC SERVICE FACILITIES SHALL BE DESIGNED BY OTHERS. ELECTRIC SERVICE AND TRANSFORMER PAD SHALL CONFORM TO THE REQUIREMENTS OF THE ELECTRIC COMPANY. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ADEQUATE ELECTRIC SERVICE IS PROVIDED AND SHALL BE RESPONSIBLE FOR ALL INSTALLATION PROCEDURES (TRENCHING, LAYING PIPE ETC.) AS REQUIRED BY THE LOCAL UTILITY CO. FOR COMPLETE AND IN PLACE CONSTRUCTION. REFER TO ELECTRICAL DRAWINGS FOR DETAILS ON ALL UNDERGROUND ELECTRIC.
20. TEL/CABLE SERVICE FACILITIES SHALL BE DESIGNED BY OTHERS CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ADEQUATE UTILITY SERVICE IS PROVIDED AND SHALL BE RESPONSIBLE FOR ALL INSTALLATION PROCEDURES (TRENCHING, LAYING PIPE ETC.) AS IS REQUIRED BY THE LOCAL UTILITY CO. FOR COMPLETE AND IN PLACE CONSTRUCTION. REFER TO ELECTRICAL DRAWINGS FOR ALL UNDERGROUND ELECTRIC.
21. SITE LIGHTING ELEMENTS ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY. THE CONTRACTOR SHALL PROVIDE A PHOTOMETRICS PLAN TO THE TOWN PRIOR TO CONSTRUCTION. THE PLAN SHALL MEET THE APPLICABLE REQUIREMENTS OF THE TOWN. SITE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE INSTALLATION OF LIGHT POLE BASES IN LOCATIONS INDICATED. REFER TO SITE LIGHTING PLANS FOR INSTALLATION REQUIREMENTS (BY OTHERS).
22. WHENEVER UTILITIES ARE TO BE INSTALLED WITHIN STATE/TOWN PUBLIC OR PRIVATE RIGHT OF WAYS, THE TRENCH MUST BE BACKFILLED WITH FLOWABLE FILL. ALL AREAS OF ROADWAY PAVEMENT & WALKWAYS DISTURBED DURING CONSTRUCTION SHALL BE RE-PAVED PER LOCAL CITY/TOWN AND STATE STANDARDS AND SPECIFICATIONS.

GENERAL DRAINAGE & GRADING NOTES:

- 1. THE MAXIMUM RUNNING SLOPE ALONG ANY SIDEWALK SHALL BE 5%. THE MAXIMUM CROSS SLOPE ACROSS ANY SIDEWALK SHALL BE 2% A MINIMUM 5'X5' LANDING SHALL BE PROVIDED IN FRONT OF ALL BUILDING ENTRANCES.
2. ALL ADAAG PARKING SPACES AND LOADING SPACES SHALL BE 2% MAXIMUM SLOPE IN ANY DIRECTION.
3. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
4. ALL GRATES AND COVERS IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 3" ABOVE FINISH GRADE.
5. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
6. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL GRASS DISTURBED AREAS IN ACCORDANCE WITH THE TOWN OF SOUTH KINGSTOWN SPECIFICATIONS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.

STORMWATER SYSTEM MAINTENANCE NOTES:

THE DRAINAGE SYSTEMS ARE TO BE MONITORED THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD BY THE CONTRACTOR. UPON COMPLETION OF THE PROJECT THE CONTRACTOR MUST DO A FINAL FUL MAINTENANCE & CLEAN UP OF THE STORMWATER MANAGEMENT SYSTEM AND THE SITE. UPON COMPLETION OF THE CONTRACTOR'S FINAL MAINTENANCE & CLEAN UP OF THE PROJECT, MONITORING OF THE STORMWATER MANAGEMENT SYSTEM SHALL BE THE RESPONSIBILITY OF THE OWNER.

CONSTRUCTION MONITORING/MAINTENANCE PROCEDURES SHALL BE AS FOLLOWS: (RESPONSIBILITY OF CONTRACTOR)

- 1. SILT BARRIER: MONITOR SILT BARRIER ON A WEEKLY BASIS AND AFTER EVERY RAIN STORM EVENT AND REPAIR OR REPLACE ANY DAMAGED AREAS IMMEDIATELY. IMMEDIATELY CLEAN THE SILT BARRIER IF SIX INCHES OR MORE OF SEDIMENT HAS ACCUMULATED ON THE HAYBALE & SILT BARRIER.
2. PAVED AREAS: PARKING LOTS, PUBLIC & PRIVATE ROADWAYS AND GUTTERS SHALL BE SWEEP CLEAN OF ALL SEDIMENT & DEBRIS. SWEEPING & REMOVAL OF DEBRIS SHALL BE PERFORMED ON A WEEKLY BASIS AT A MINIMUM.
3. CATCH BASINS: ALL CATCH BASINS SHALL BE INSTALLED AS DETAILED AND INSPECTED AFTER EVERY RAIN STORM EVENT. IMMEDIATELY CLEAN THE CATCH BASIN SUMP IF TWO FEET OR MORE OF SEDIMENT HAS ACCUMULATED WITHIN THE CATCH BASIN.
4. DRAIN MANHOLES: DRAIN MANHOLES SHALL BE INSTALLED AS DETAILED AND INSPECTED AFTER EVERY RAIN STORM EVENT. IMMEDIATELY CLEAN THE DRAIN MANHOLE IF ANY SEDIMENT HAS ACCUMULATED WITHIN THE DRAIN MANHOLE.
5. STORMWATER BMPS: NO CONSTRUCTION RUNOFF SHALL BE DIRECTED TO STORMWATER BMPS UNTIL UPGRADED AREAS ARE STABILIZED.

POST CONSTRUCTION MONITORING/MAINTENANCE PROCEDURES SHALL BE AS FOLLOWS: (RESPONSIBILITY OF OWNER)

- 1. PAVED AREAS: PARKING LOTS, ROADS AND ALL ACCESS WAYS AND GUTTERS MUST BE SWEEP CLEAN OF ALL SEDIMENT AND DEBRIS ON BI-ANNUAL BASIS IN SPRING AND FALL OF EACH YEAR OR AS NECESSARY.
2. CATCH BASINS: ALL CATCH BASINS MUST BE INSPECTED AND MAINTAINED ON A BI-ANNUAL BASIS IN MARCH AND OCTOBER OF EACH YEAR. CATCH BASINS MUST BE INSPECTED TO ENSURE THEY HAVE ADEQUATE SUMP CAPACITY. FRAMES AND GRATES ARE NOT DAMAGED, AND OIL/WATER SEPARATING DEVICES ARE IN PLACE. CATCH BASIN SUMPS ARE TO BE CLEANED OUT DURING BI-ANNUAL INSPECTIONS. IN MARCH AND OCTOBER OF EACH YEAR, IMMEDIATELY CLEAN THE CATCH BASIN SUMP IF TWO FEET OR MORE OF SEDIMENT HAS ACCUMULATED WITHIN THE CATCH BASIN.
3. DRAIN MANHOLES: ALL DRAIN MANHOLES MUST BE INSPECTED AND MAINTAINED ON A BI-ANNUAL BASIS IN MARCH AND OCTOBER OF EACH YEAR. DRAIN MANHOLES MUST BE INSPECTED TO ENSURE FRAMES AND COVERS ARE NOT DAMAGED AND NO BLOCKAGES HAVE OCCURRED WITHIN THE MANHOLE. DRAIN MANHOLES ARE TO BE CLEANED OUT DURING BI-ANNUAL INSPECTIONS IN MARCH AND OCTOBER OF EACH YEAR. IMMEDIATELY CLEAN THE DRAIN MANHOLE IF ANY SEDIMENT HAS ACCUMULATED.
4. STORMWATER MANAGEMENT FACILITIES - REFER TO OPERATIONS AND MAINTENANCE PLAN UNDER SEPARATE COVER.

INFILTRATION AREA CONSTRUCTION PROTECTION

FOR THE LONG-TERM FUNCTION OF THE INFILTRATING SYSTEMS, CARE MUST BE TAKEN IN THIS AREA DURING CONSTRUCTION. THE CONTRACTOR SHALL EMPLOY THE FOLLOWING MINIMUM BEST MANAGEMENT PRACTICES (BMP'S):

- 1. THE INFILTRATION AREAS SHALL NOT BE USED AS A CONSTRUCTION SEDIMENTATION SYSTEM.
2. CONSTRUCTION EQUIPMENT, VEHICULAR TRAFFIC, PARKING OF VEHICLES, AND STOCKPIILING OF CONSTRUCTION AND EARTH MATERIALS SHALL BE OUTSIDE THE LIMITS OF THE INFILTRATION AREA UNTIL INSTALLATION IS COMPLETED. THE SUBGRADE BENEATH THE SYSTEM SHALL NOT BE COMPACTED.
3. EXCAVATION FOR CONSTRUCTION OF THE INFILTRATION AREAS SHALL BE PERFORMED MANUALLY OR BY HYDRAULIC EXCAVATOR OR SOME OTHER SIMILAR MEANS TO ENSURE THAT THE EQUIPMENT IS NOT IN DIRECT CONTACT WITH THE NATURAL INFILTRATION EARTH MATERIAL AND DOES NOT CAUSE COMPACTION OF THE MATERIAL.
4. THE CONTRACTOR SHALL INSTALL TEMPORARY CONSTRUCTION FENCING AND EROSION CONTROLS AROUND THE PERIMETER OF THE INFILTRATION AREA TO PREVENT THE USE OF THIS AREA FOR ALL ACTIVITIES THAT MIGHT DAMAGE THE INFILTRATION CAPABILITIES OF THE AREA. THIS FENCING MAY BE REMOVED FOR BACKFILLING AND FINAL CONSTRUCTION.

SEQUENCE AND STAGING OF LAND DISTURBING ACTIVITIES:

- 1. SURVEY AND STAKE THE DRAINAGE STRUCTURES, LIMIT OF WORK AND SEDIMENTATION BARRIERS.
2. PERFORM SITEWORK DEMOLITION & CLEARING.
3. BEGIN GRADING AND DRAINAGE WORK (CLEARING AND GRUBBING, EXCAVATING AND GRADING, ETC.). TOP SOIL TO BE STRIPPED AND STOCKPILED IN APPROVED AREAS. THE STOCKPILES ARE TO BE PROTECTED BY A ROW OF SEDIMENTATION BARRIER AND COVERED OR TEMPORARILY SEEDED.
4. INSTALL BMP'S IN ACCORDANCE WITH PLANS. SEDIMENT CONTROLS SHALL BE MAINTAINED AT THE BMP STRUCTURES UNTIL THE BINDER COURSE OF PAVEMENT IS INSTALLED AND DISTURBED AREAS ARE STABILIZED WITH VEGETATION.
5. COMPLETE LANDSCAPING AND PERMANENT STABILIZATION. SWEEP THE ROADWAY AREAS TO REMOVE ALL SEDIMENTS.
6. REMOVE ALL TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL MEASURES FOLLOWING VEGETATIVE ESTABLISHMENT OF ALL DISTURBED AREAS.

SEDIMENTATION CONTROL PROGRAM:

- 1. EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY SEDIMENTS FROM ENTERING THE STATE HIGHWAY OR ADJOINING PROPERTIES.
2. BANKS OR SLOPES OVER 5% SHALL BE SEEDED AS SOON AS POSSIBLE AND SHALL BE PROTECTED WITH A HAY, STRAW OR FIBER MULCH.
3. DURING CONSTRUCTION, THE CONTRACTOR AND/OR DEVELOPER SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND RUNOFF FLOW DURING STORMS AND PERIODS OF RAINFALL.
4. SEDIMENTATION CONTROL DEVICES SHALL BE INSPECTED CLOSELY AND MAINTAINED PROMPTLY AFTER EACH RAINFALL.
5. CARE SHALL BE TAKEN SO AS NOT TO PLACE "REMOVED SEDIMENTS" WITHIN THE PATH OF EXISTING, NEWLY CREATED (BOTH TEMPORARY AND PERMANENT) OR PROPOSED WATERCOURSES OR THOSE AREAS SUBJECTED TO STORM WATER FLOW.
6. ADDITIONAL SILT SOCKS SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER.

EROSION CONTROL & SOIL STABILIZATION PROGRAM:

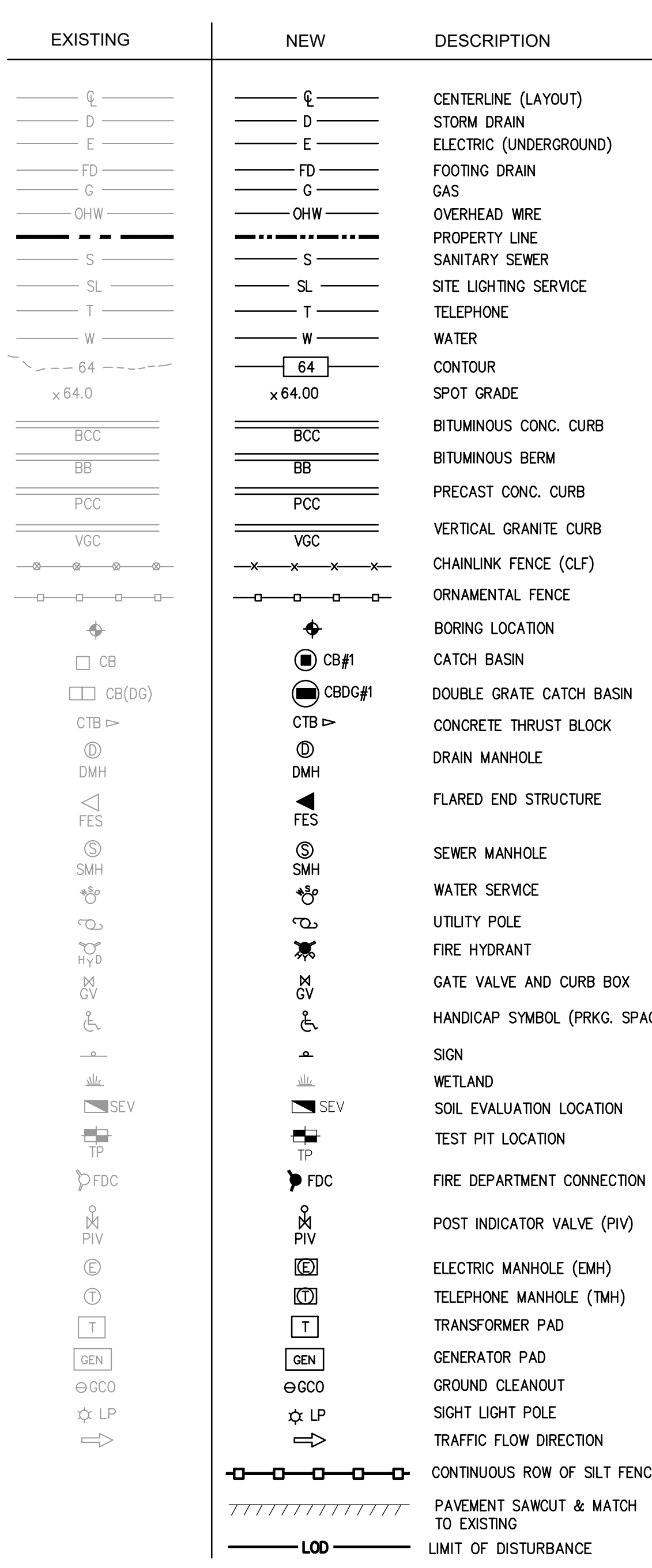
- 1. DENUDED SLOPES SHALL NOT BE LEFT EXPOSED FOR EXCESSIVE PERIODS OF TIME.
2. ALL DISTURBED SLOPES EITHER NEWLY CREATED OR EXPOSED PRIOR TO OCTOBER 15, SHALL BE SEEDED OR PROTECTED BY THAT DATE FOR ANY WORK COMPLETED DURING EACH CONSTRUCTION YEAR.
3. TEMPORARY TREATMENTS SHALL CONSIST OF A HAY, STRAW, OR FIBER MULCH OR PROTECTIVE COVERS SUCH AS A MAT OR FIBER LINING (BURLAP, JUTE, FIBERGLASS NETTING, EXCELSOR BLANKETS). THEY SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY THE ENGINEER.
4. HAY OR STRAW APPLICATIONS SHOULD BE IN THE AMOUNT OF 2000 LBS/ACRE.
5. ALL HAYBALES OR TEMPORARY PROTECTION SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED.
6. THE TOPSOIL SHALL HAVE A SANDY LOAM TEXTURE RELATIVELY FREE OF SUBSOIL MATERIAL, STONES, ROOTS, LUMPS OF SOIL, TREE LIMBS, TRASH OR CONSTRUCTION DEBRIS.
7. THE SEED MIX SHALL BE INOCULATED WITHIN TWENTY FOUR (24) HOURS, BEFORE MIXING AND PLANTING, WITH APPROPRIATE INOCULUM FOR EACH VARIETY.
8. THE DESIGN MIX FOR TEMPORARY EROSION CONTROL AND SOIL STABILIZATION SHALL BE COMPRISED OF THE FOLLOWING:

Table with 3 columns: TYPE, % BY WEIGHT, APPLICATION RATE. Includes rows for Creeping Red Fescue, Astoria Bentgrass, Brodiaea, Perennial Ryegrass, and a total application rate of 100 lbs/acre.

LIMING AND FERTILIZING AS REQUIRED TO COMPLIMENT OR UPGRADE EXISTING CONDITIONS.

- 9. THE CONTRACTOR MUST REPAIR AND/OR RESEED ANY AREAS THAT DO NOT DEVELOP WITHIN THE PERIOD OF ONE (1) YEAR, AND HE SHALL DO SO AT NO ADDITIONAL EXPENSE.
10. THE NORMAL ACCEPTABLE SEASONAL SEEDING DATES ARE APRIL 1ST THROUGH OCTOBER 15TH.
11. STABILIZATION OF ONE FORM OR ANOTHER AS DESCRIBED ABOVE SHALL BE ACHIEVED WITHIN FIFTEEN (15) DAYS OF FINAL GRADING.
12. STOCKPILES OF TOPSOIL SHALL NOT BE LOCATED NEAR WATERWAYS OR FLOOD PLAINS. THEY SHALL HAVE SIDE SLOPES NO GREATER THAN THIRTY PERCENT (30%) AND STOCKPILES SHALL ALSO BE SEEDED AND/OR STABILIZED AND COMPLETELY ENCLOSED WITH A CONTINUOUS LINE OF STAKED HAYBALES AND/OR SILT FENCE. (SEE DETAIL)
13. ON BOTH STEEP AND LONG SLOPES, CONSIDERATION SHOULD BE GIVEN TO "CRIMPING" OR "TRACKING" TO TACK DOWN MULCH APPLICATIONS.

SITE LEGEND



ABBREVIATIONS

Table of abbreviations with columns for symbol, description, and symbol. Includes terms like acre/acre, area drain, adjust, assessors plat, approximate, architect/architectural, bituminous berm, book, building, bound, catch basin, concrete curb, cement, cast iron pipe, cement lined ductile iron pipe, chain-link fence, concrete curb, drill hole, ductile iron pipe, diameter, drainage manhole, drain/drainage, electric/electrical, elevation, existing to remain, existing, furnish and install, flag pole, gas gate, high density polyethylene pipe, hydrant, invert, iron pipe, iron rod, light pole, limit of disturbance, limit of excavation, minimum, maximum, now or formerly, ornamental light pole, pedestrian, page, property line, proposed, polyvinyl chloride pipe, pavement, remove, retaining, remove and dispose, remove and relocate, remove and salvage/stockpile, radius/radi, reinforced concrete pipe, rhode island highway bound, right-of-way, slope equals, sidewalk, square foot/feet, standard, stone, typical, verify in field, valve, wetland flag, water gate, water shut-off, water quality structure.



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Drawn: KJA Checked: SSSH



South Kingstown School District

South Kingstown High School

215 Columbia Street South Kingstown, RI 02879

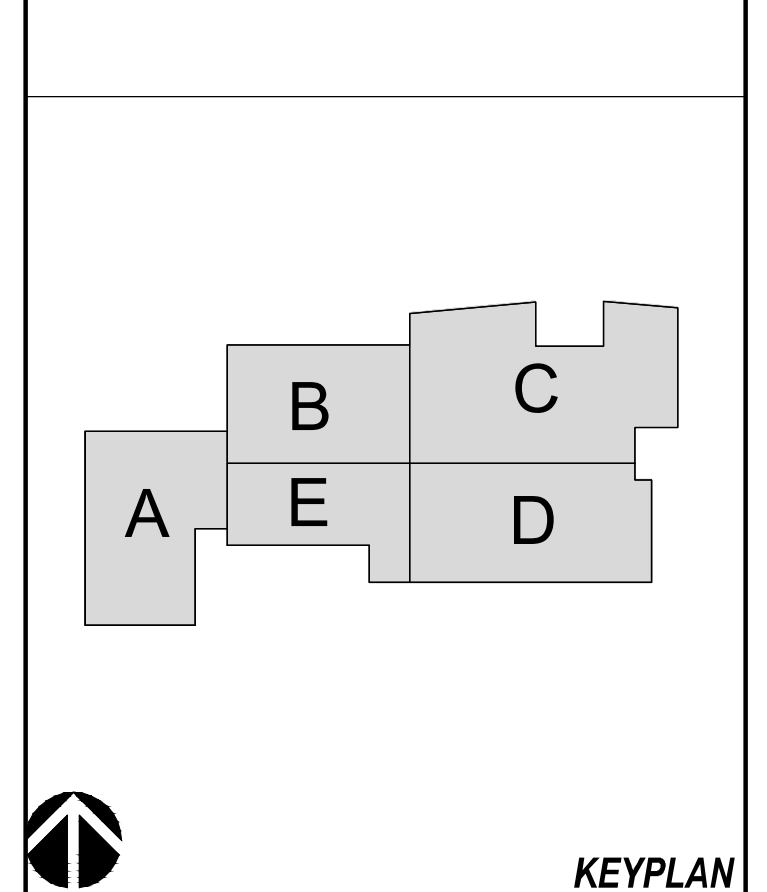


Table with columns: Number, Date, Issued For. Includes entry for [04/25/2025] AS SHOWN.

PROGRESS PRINT NOT FOR CONSTRUCTION

GENERAL NOTES & LEGEND

Table with columns: Date, Drawing Number, Scale, Proj. Number. Includes entry for Date: [04/25/2025], Scale: AS SHOWN, Proj. Number: [7458.00].

MAJOR LAND DEVELOPMENT SOUTH KINGSTOWN HIGH SCHOOL A.P. 49-4 LOT 14 & AP 57-1 LOT 209 215 COLUMBIA STREET & 153 SCHOOL STREET SOUTH KINGSTOWN, RI 02879 TOWN OF SOUTH KINGSTOWN SOUTH KINGSTOWN SCHOOL DEPARTMENT 301 CURTIS CORNER BLDG. SOUTH KINGSTOWN, RI 02879 ZONE: GOVERNMENT & INSTITUTIONAL-ED. INSTITUTION 02879-0203K Zone "X" Project No. 44009C0203K Effective Date: 4/3/2020



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**DEMOLITION NOTES:**

1. ALL EXISTING PAVEMENT WITHIN LIMITS OF DISTURBANCE INDICATED SHALL BE REMOVED AND DISPOSED OFF SITE. PRIOR TO THE REMOVAL OF ANY ON-SITE SOIL AND PAVEMENTS, THE CONTRACTOR SHALL INSTALL AND MAINTAIN PROPER EROSION CONTROLS ALONG LIMITS OF DISTURBANCE AND AROUND EXISTING DRAINS TO BE PROTECTED, ETC.
2. ALL NON-PAVED AREAS ON SITE SHALL BE PROPERLY STABILIZED (LOAM AND SEED, OR OTHER SUITABLE METHODS).
3. PRIOR TO THE ISSUANCE OF A DEMOLITION PERMIT, THE DEMOLITION CONTRACTOR SHALL PERFORM ALL REQUIRED SURVEYS FOR HAZARDOUS SUBSTANCES IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS.
4. ALL EXISTING ON-SITE UTILITIES "TO BE REMOVED", INCLUDING BUT NOT LIMITED TO DRAIN, SEWER, WATER, AND NATURAL GAS SHALL BE CAPPED AND/OR ABANDONED IN ACCORDANCE WITH THE APPLICABLE PROCEDURES AND REGULATIONS OF THE APPROPRIATE UTILITY AGENCIES.

**SITE DEMOLITION LEGEND**

- R&D REMOVE & DISPOSE
- R&R REMOVE & RELOCATE
- R&S REMOVE & SALVAGE
- TREE PROTECTION
- INLET PROTECTION
- ✕ REMOVE & DISPOSE SITE FEATURE
- ▨ REMOVE & DISPOSE LINEAR FEATURES
- ▨ PAVEMENT/SIDEWALK TO BE REMOVED
- ▨ BUILDING TO BE REMOVED
- ▨ MILL & OVERLAY



One Cedar Street  
Suite 201  
Providence, RI 02903  
Phone: 401 563.7046  
www.slamcoll.com

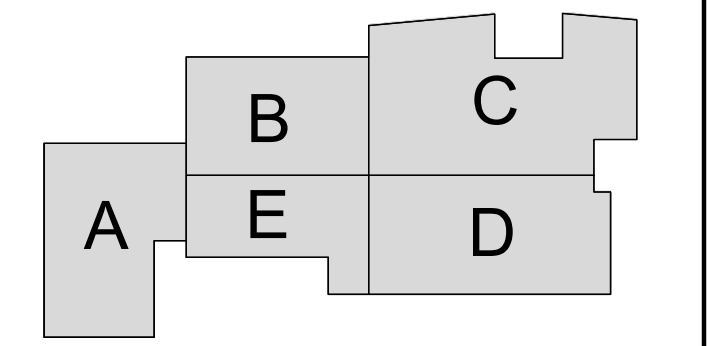
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**KJA**  
Checked  
**SSH**



South Kingstown School District

South Kingstown High School

215 Columbia Street  
South Kingstown, RI 02879



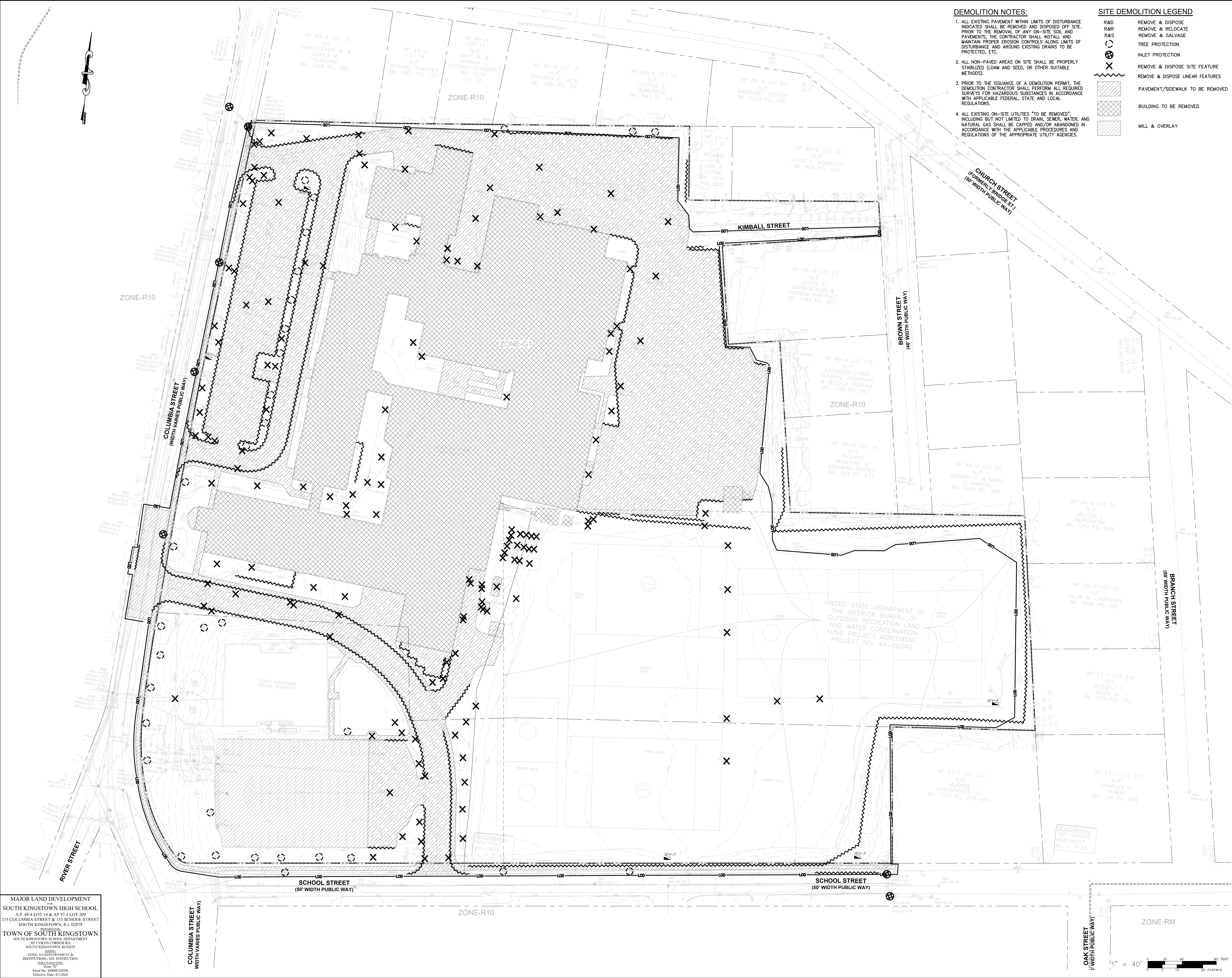
**KEYPLAN**

Number Date Issued For

**PROGRESS PRINT  
NOT FOR  
CONSTRUCTION**

**DEMOLITION PLAN**

Date [04/25/2025] Drawing Number  
Scale AS SHOWN **C-3**  
Proj. Number [7458.00]



MAJOR LAND DEVELOPMENT  
SOUTH KINGSTOWN HIGH SCHOOL  
A.P. 49-4 LOT 14 & AP 57-1 LOT 209  
215 COLUMBIA STREET & 153 SCHOOL STREET  
SOUTH KINGSTOWN, RI 02879

TOWN OF SOUTH KINGSTOWN  
SOUTH KINGSTOWN SCHOOL DEPARTMENT  
307 CURTIS CORNER RD.  
SOUTH KINGSTOWN, RI 02879

ZONE: G1 GOVERNMENT & INSTITUTIONAL-ED. INSTITUTION  
1984-02-02-0000  
Zone "X"  
Plan No. 44000203K  
Effective Date: 4/3/2020

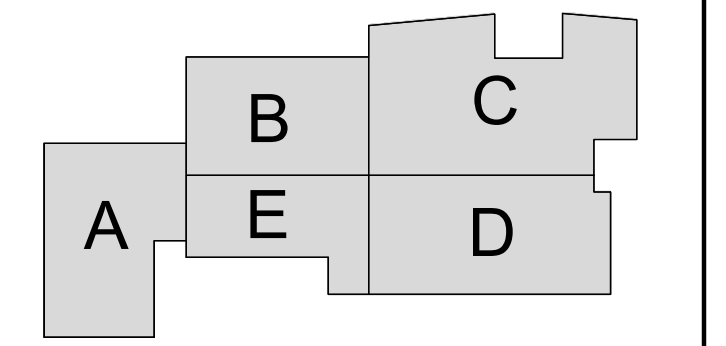
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**KJA/KYY**  
Checked  
**SSH**



South Kingstown School District

South Kingstown High School

215 Columbia Street  
South Kingstown, RI 02879



KEYPLAN

Number Date Issued For

PROGRESS PRINT  
NOT FOR  
CONSTRUCTION

SITE LAYOUT  
PLAN

Date [04/25/2025] Drawing Number  
Scale AS SHOWN  
Proj. Number [7458.00] **C-4**

**PAVING LEGEND:**

- [Symbol] BITUMINOUS CONCRETE PAVEMENT (LIGHT DUTY)
- [Symbol] BITUMINOUS CONCRETE PAVEMENT (HEAVY DUTY)
- [Symbol] MILL & OVERLAY
- [Symbol] CEMENT CONCRETE SIDEWALK

**ZONING SUMMARY**  
A.P. 49-4, LOT 14 & A.P. 57-1, LOT 209  
ZONE: GI (GOVERNMENT & INSTITUTION) - EDUCATIONAL INSTITUTION

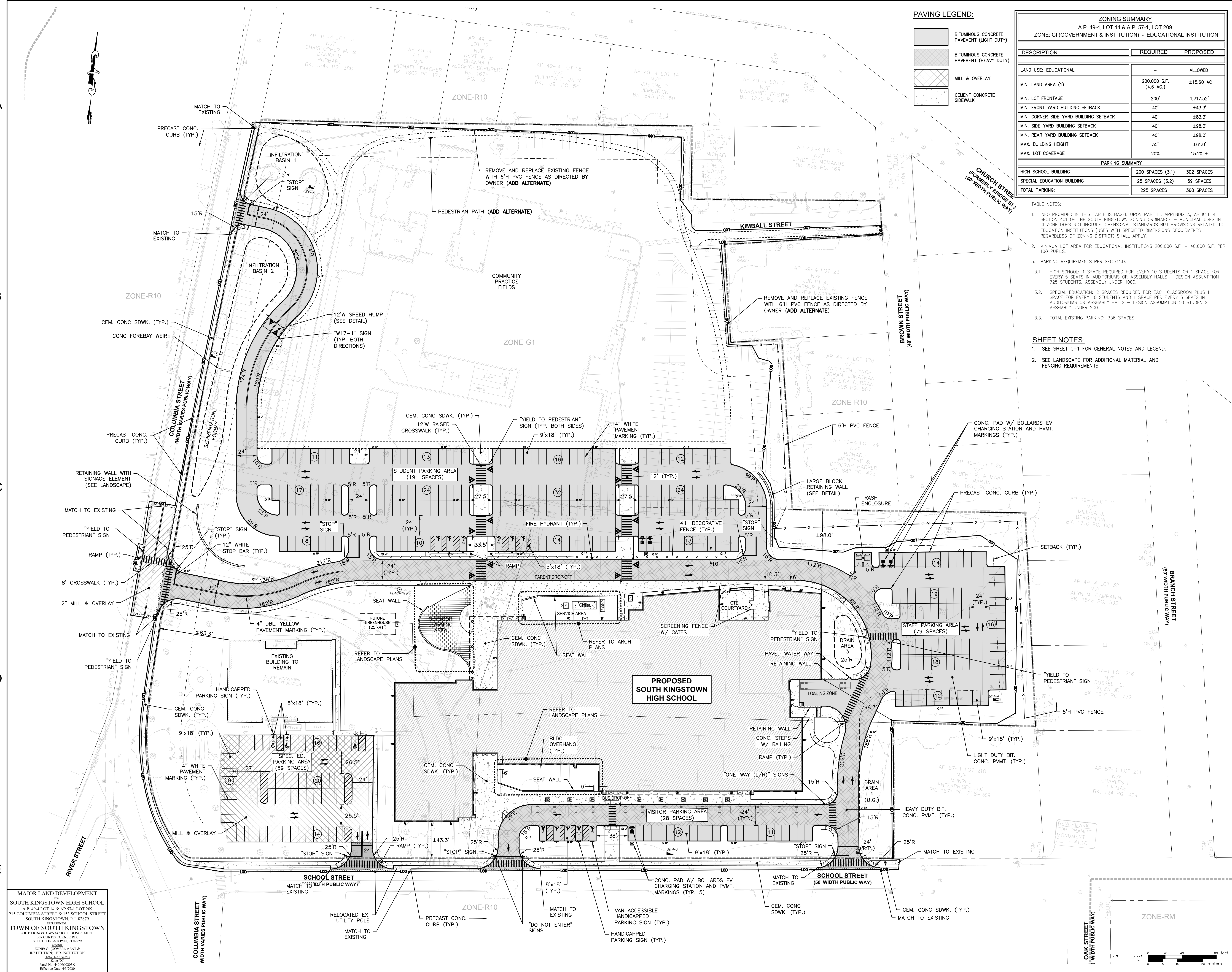
DESCRIPTION	REQUIRED	PROPOSED
LAND USE: EDUCATIONAL	-	ALLOWED
MIN. LAND AREA (1)	200,000 S.F. (4.6 AC.)	±15,600 AC
MIN. LOT FRONTAGE	200'	1,717.52'
MIN. FRONT YARD BUILDING SETBACK	40'	±43.3'
MIN. CORNER SIDE YARD BUILDING SETBACK	40'	±83.3'
MIN. SIDE YARD BUILDING SETBACK	40'	±98.3'
MIN. REAR YARD BUILDING SETBACK	40'	±98.0'
MAX. BUILDING HEIGHT	35'	±61.0'
MAX. LOT COVERAGE	20%	15.1% ±

PARKING SUMMARY		
HIGH SCHOOL BUILDING	200 SPACES (3.1)	302 SPACES
SPECIAL EDUCATION BUILDING	25 SPACES (3.2)	59 SPACES
TOTAL PARKING:	225 SPACES	360 SPACES

- TABLE NOTES:**
- INFO PROVIDED IN THIS TABLE IS BASED UPON PART III, APPENDIX A, ARTICLE 4, SECTION 401 OF THE SOUTH KINGSTOWN ZONING ORDINANCE - MUNICIPAL USES IN GI ZONE DOES NOT INCLUDE DIMENSIONAL STANDARDS BUT PROVISIONS RELATED TO EDUCATION INSTITUTIONS USES WITH SPECIFIED DIMENSIONS REQUIREMENTS REGARDLESS OF ZONING DISTRICT SHALL APPLY.
  - MINIMUM LOT AREA FOR EDUCATIONAL INSTITUTIONS 200,000 S.F. + 40,000 S.F. PER 100 PUPILS.
  - PARKING REQUIREMENTS PER SEC.711.D:
    - HIGH SCHOOL: 1 SPACE REQUIRED FOR EVERY 10 STUDENTS OR 1 SPACE FOR EVERY 5 SEATS IN AUDITORIUMS OR ASSEMBLY HALLS - DESIGN ASSUMPTION 725 STUDENTS, ASSEMBLY UNDER 1000.
    - SPECIAL EDUCATION: 2 SPACES REQUIRED FOR EACH CLASSROOM PLUS 1 SPACE FOR EVERY 10 STUDENTS AND 1 SPACE PER EVERY 5 SEATS IN AUDITORIUMS OR ASSEMBLY HALLS - DESIGN ASSUMPTION 50 STUDENTS, ASSEMBLY UNDER 200.
    - TOTAL EXISTING PARKING: 356 SPACES.

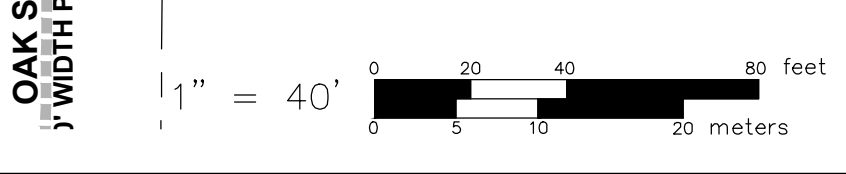
- SHEET NOTES:**
- SEE SHEET C-1 FOR GENERAL NOTES AND LEGEND.
  - SEE LANDSCAPE FOR ADDITIONAL MATERIAL AND FENCING REQUIREMENTS.



MAJOR LAND DEVELOPMENT  
SOUTH KINGSTOWN HIGH SCHOOL  
A.P. 49-4 LOT 14 & A.P. 57-1 LOT 209  
215 COLUMBIA STREET & 153 SCHOOL STREET  
SOUTH KINGSTOWN, RI 02879

TOWN OF SOUTH KINGSTOWN  
SOUTH KINGSTOWN SCHOOL DEPARTMENT  
30 CURTIS CORNER RD.  
SOUTH KINGSTOWN, RI 02879

ZONE: GI (GOVERNMENT & INSTITUTION) - ED. INSTITUTION  
10/18/2020 CODE  
Zone "X"  
Plan No. 1406/0303K  
Effective Date: 4/3/2020





1

2

3

4

5

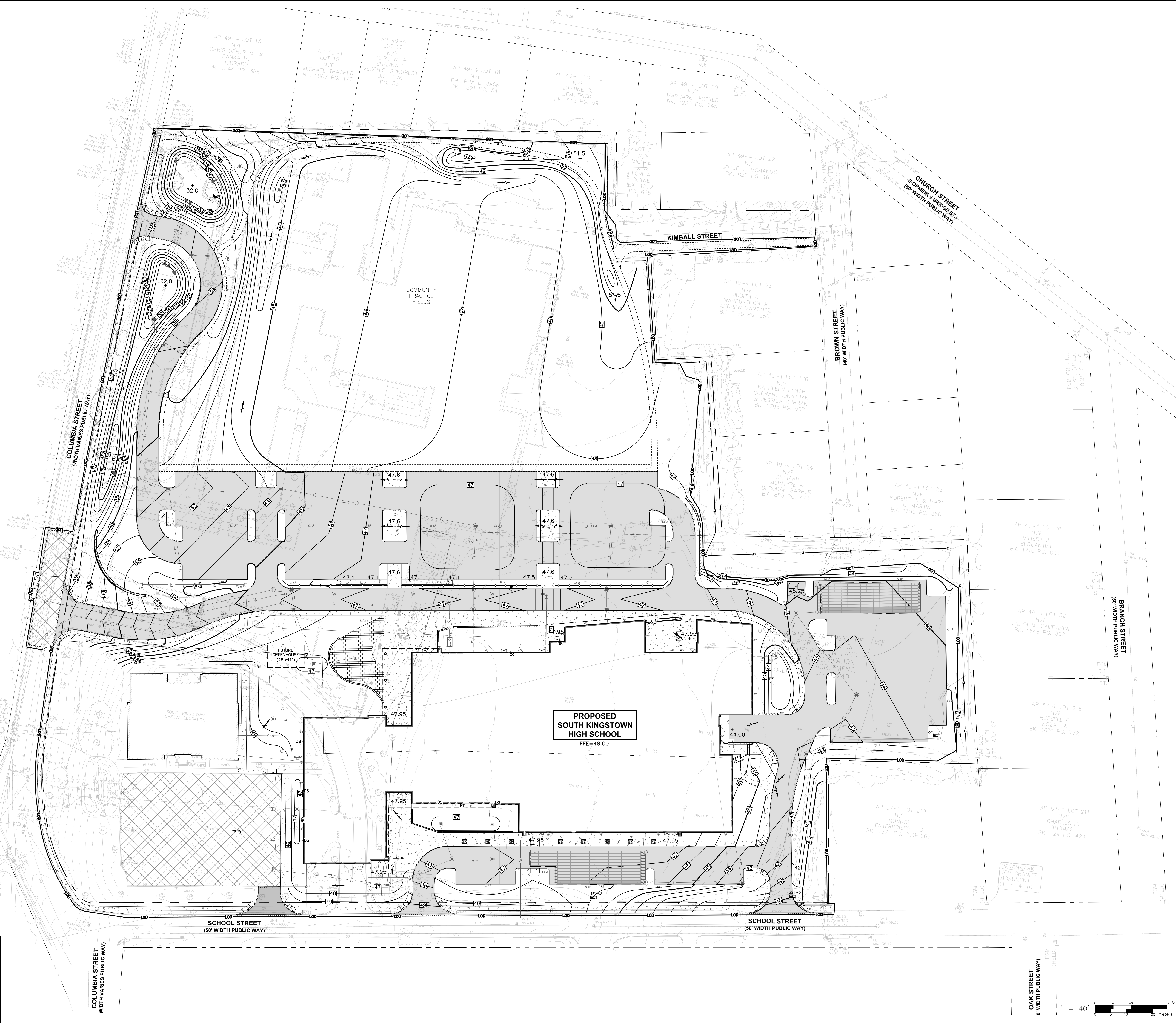
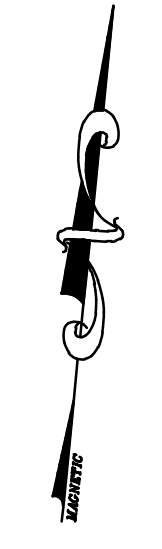
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B

C

D

E

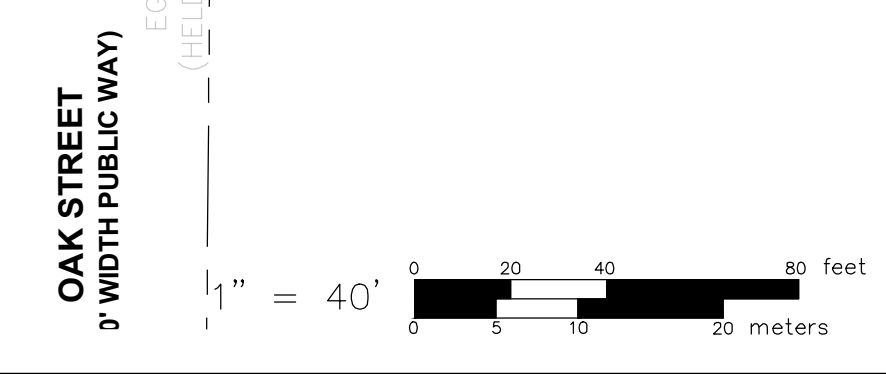


MAJOR LAND DEVELOPMENT  
 SOUTH KINGSTOWN HIGH SCHOOL  
 A.P. 49-4 LOT 14 & AP 57-1 LOT 209  
 215 COLUMBIA STREET & 153 SCHOOL STREET  
 SOUTH KINGSTOWN, RI 02879

TOWN OF SOUTH KINGSTOWN  
 SOUTH KINGSTOWN SCHOOL DEPARTMENT  
 301 CURTIS CORNER BLDG.  
 SOUTH KINGSTOWN, RI 02879

ZONE: G1 GOVERNMENT & INSTITUTIONAL - ED. INSTITUTION  
 1984-02-02-00000  
 Zone "X"  
 Paid No. 44063030K  
 Effective Date: 4/3/2020

**PROPOSED  
 SOUTH KINGSTOWN  
 HIGH SCHOOL**  
 FFE=48.00



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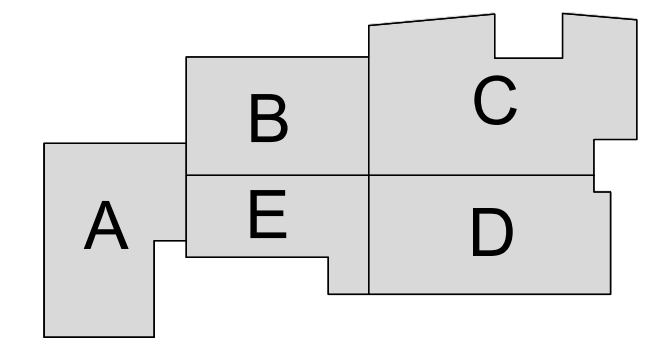
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 Checked  
**SSH**



South Kingstown School District

South Kingstown High School

215 Columbia Street  
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**KEYPLAN**

Number Date Issued For

**PROGRESS PRINT  
 NOT FOR  
 CONSTRUCTION**

GRADING PLAN

Date [04/25/2025] Drawing Number  
 Scale AS SHOWN **C-6**  
 Proj. Number [7458.00]

A

B

C

D

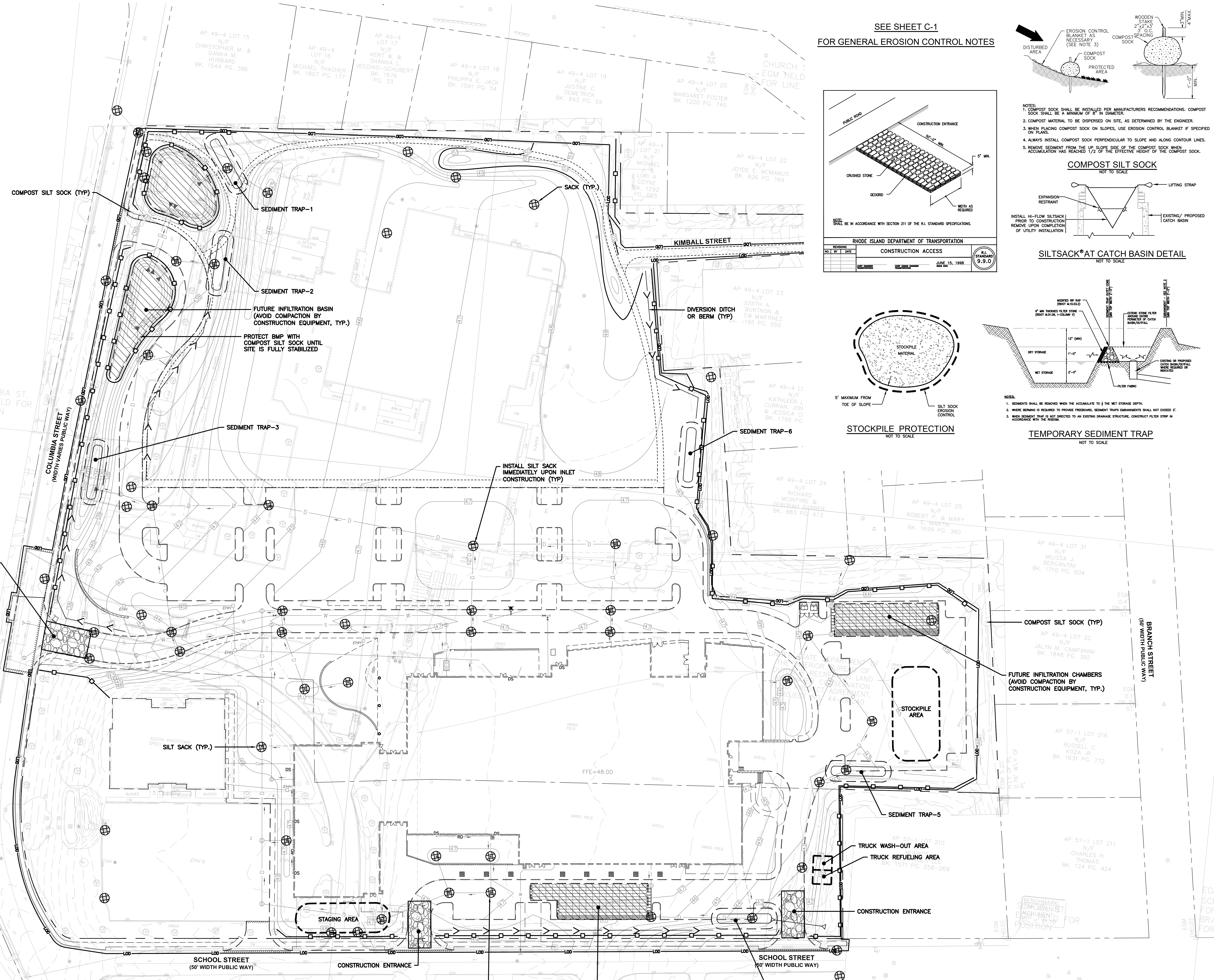
E

5'  
10'  
15'  
20'  
25'  
30'  
35'  
40'  
45'  
50'

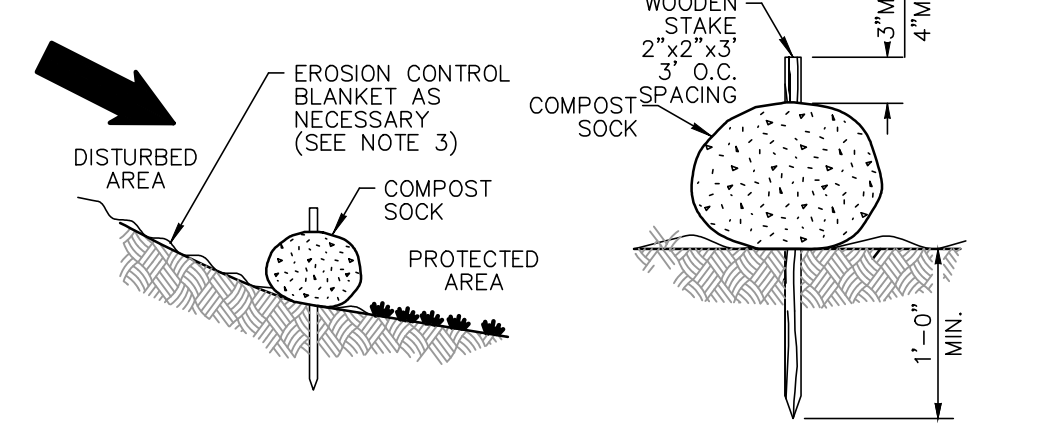
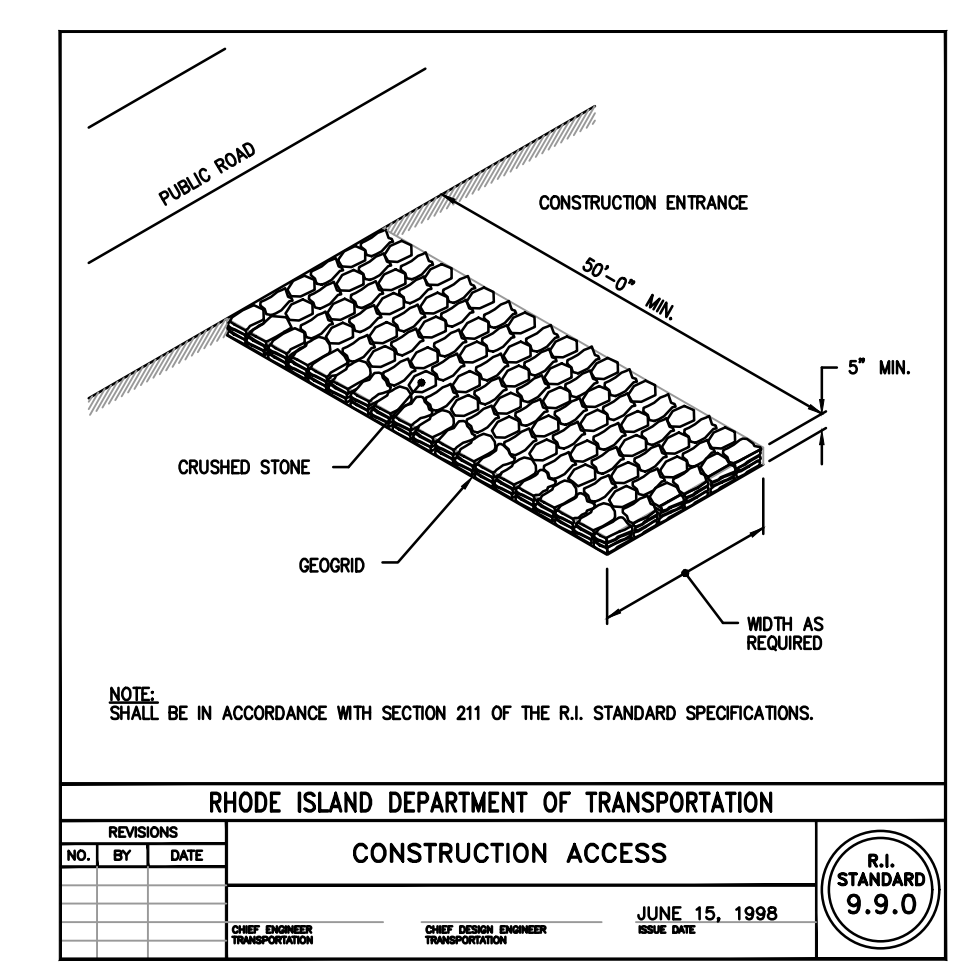
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 SOUTH KINGSTOWN HIGH SCHOOL  
 A.P. 49-4 LOT 14 & AP 57-1 LOT 209  
 215 COLUMBIA STREET & 153 SCHOOL STREET  
 SOUTH KINGSTOWN, R.I. 02879

TOWN OF SOUTH KINGSTOWN  
 SOUTH KINGSTOWN SCHOOL DEPARTMENT  
 300 CURTIS CORNER RD.  
 SOUTH KINGSTOWN, RI 02879

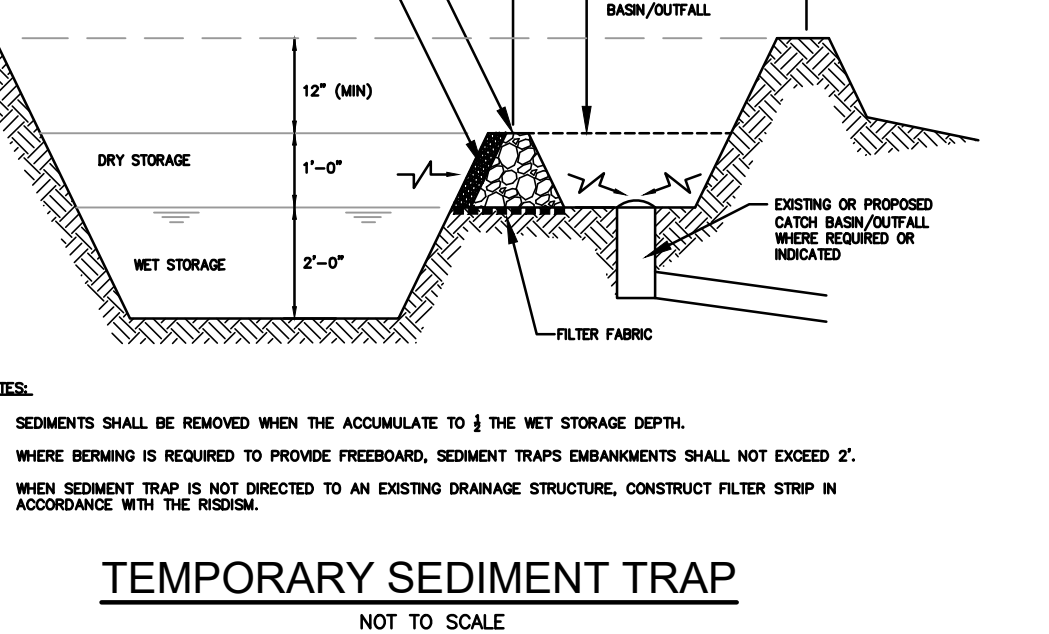
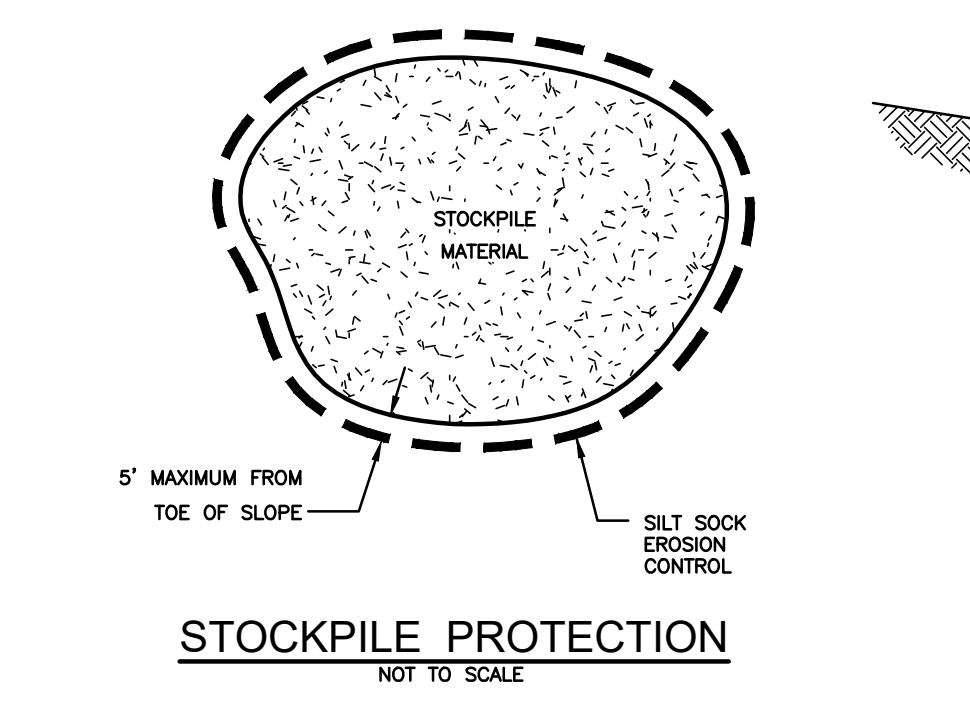
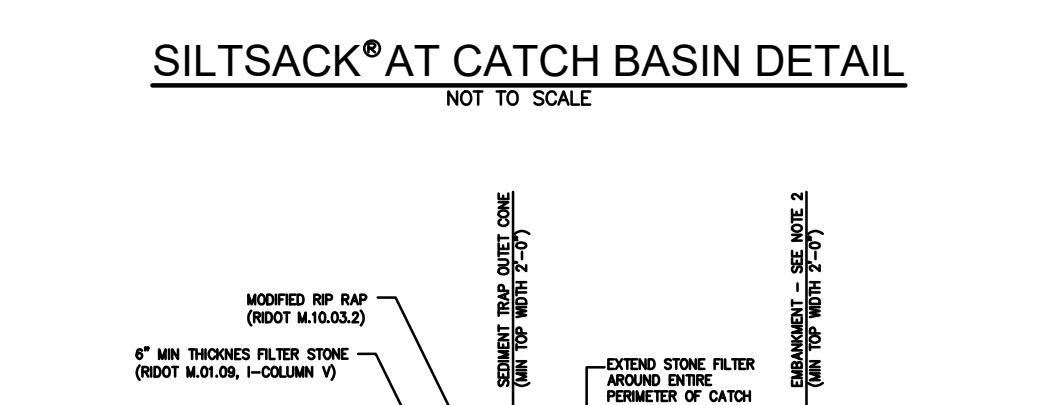
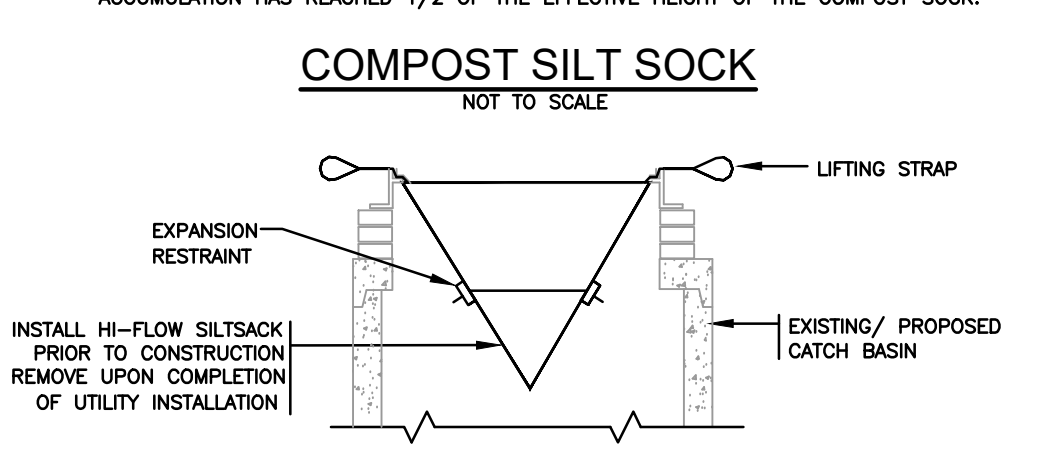
ZONE: G1 GOVERNMENT & INSTITUTIONS-ED. INSTITUTION  
 DISTRICT CODE: 0000000000  
 Zone: "X"  
 Plat No. 4406/0003K  
 Effective Date: 4/3/2020



SEE SHEET C-1  
 FOR GENERAL EROSION CONTROL NOTES



- NOTES:
1. COMPOST SOCK SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. COMPOST SOCK SHALL BE A MINIMUM OF 8" IN DIAMETER.
  2. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY THE ENGINEER.
  3. WHEN PLACING COMPOST SOCK ON SLOPES, USE EROSION CONTROL BLANKET IF SPECIFIED ON PLANS.
  4. ALWAYS INSTALL COMPOST SOCK PERPENDICULAR TO SLOPE AND ALONG CONTOUR LINES.
  5. REMOVE SEDIMENT FROM THE UP SLOPE SIDE OF THE COMPOST SOCK WHEN ACCUMULATION HAS REACHED 1/2 OF THE EFFECTIVE HEIGHT OF THE COMPOST SOCK.

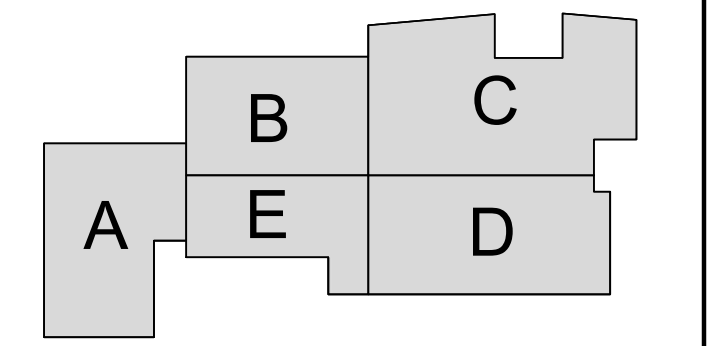


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 www.slamcoll.com

Drawn: **KYY**  
 Checked: **SSH**



**South Kingstown School District**  
**South Kingstown High School**  
 215 Columbia Street  
 South Kingstown, RI 02879

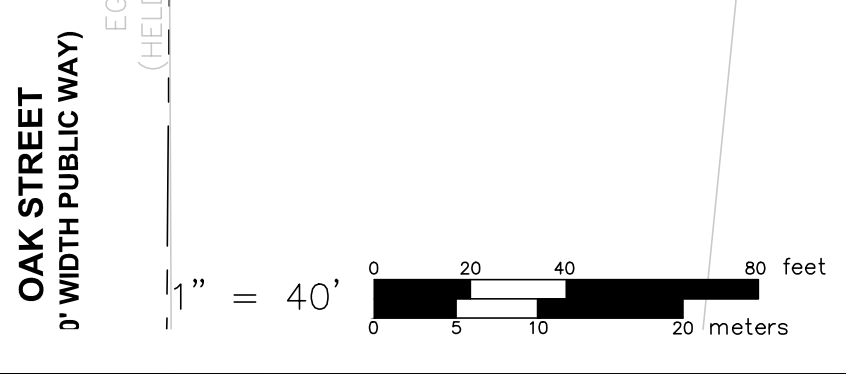


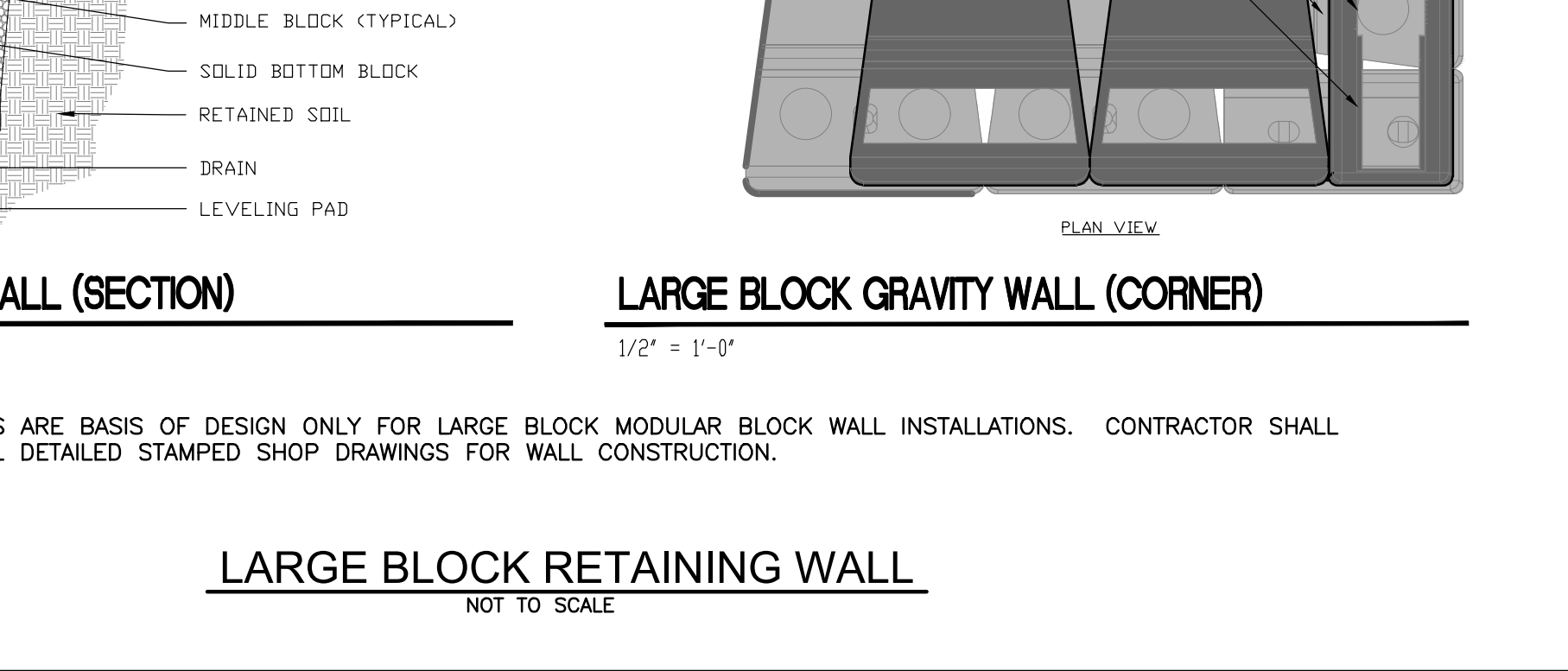
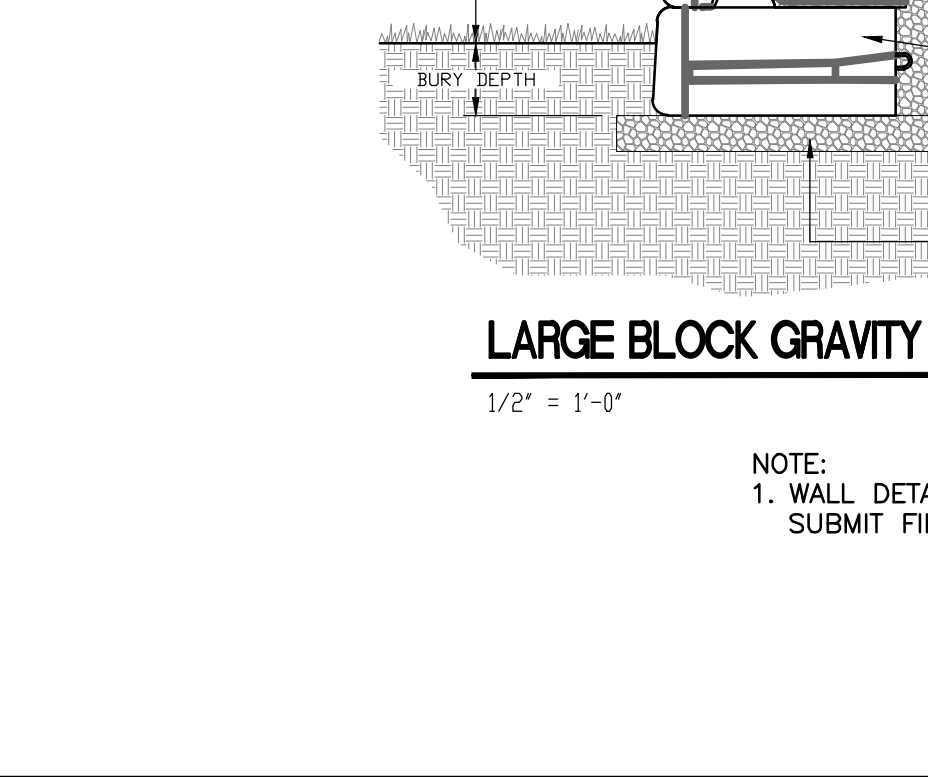
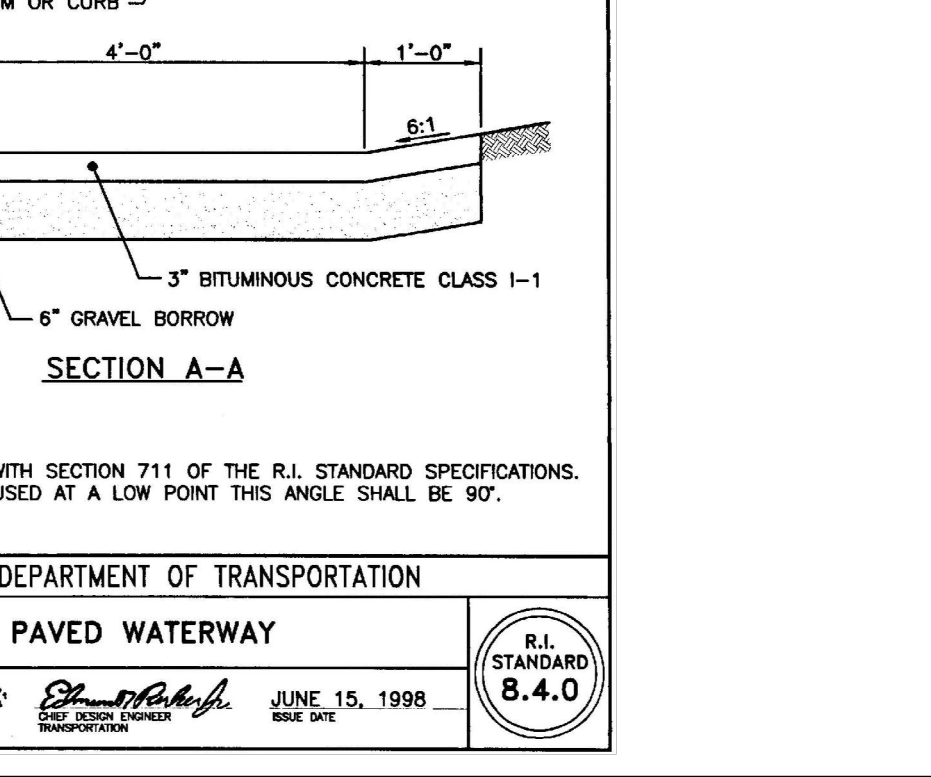
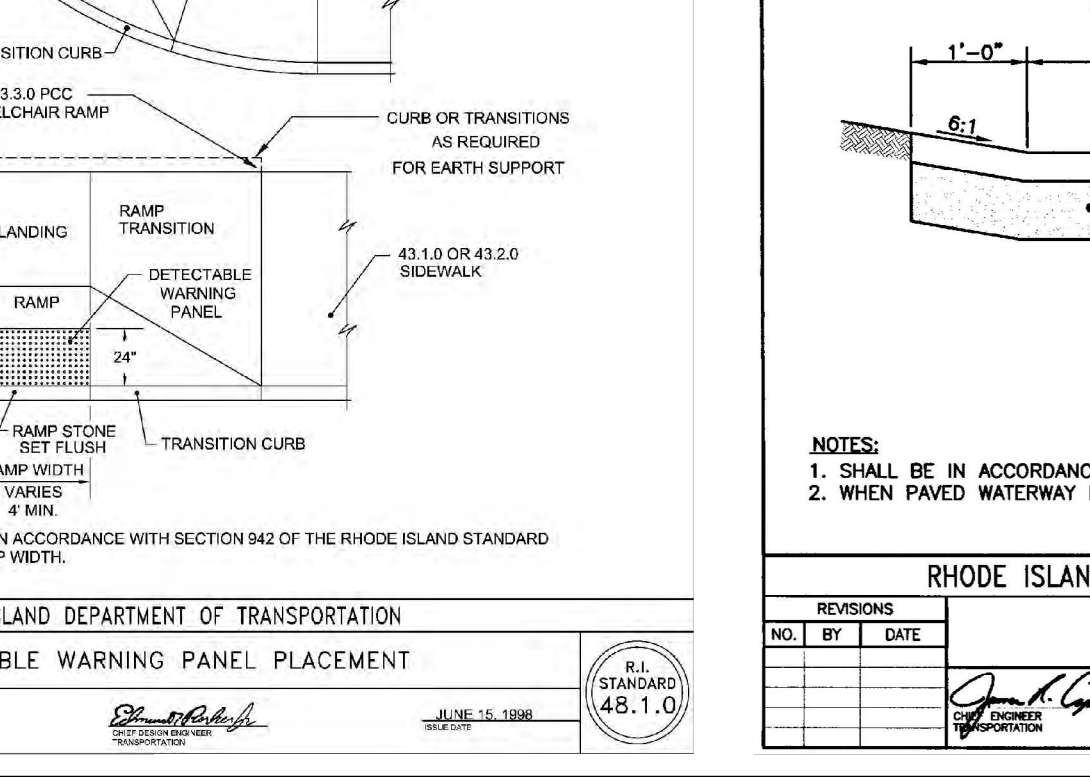
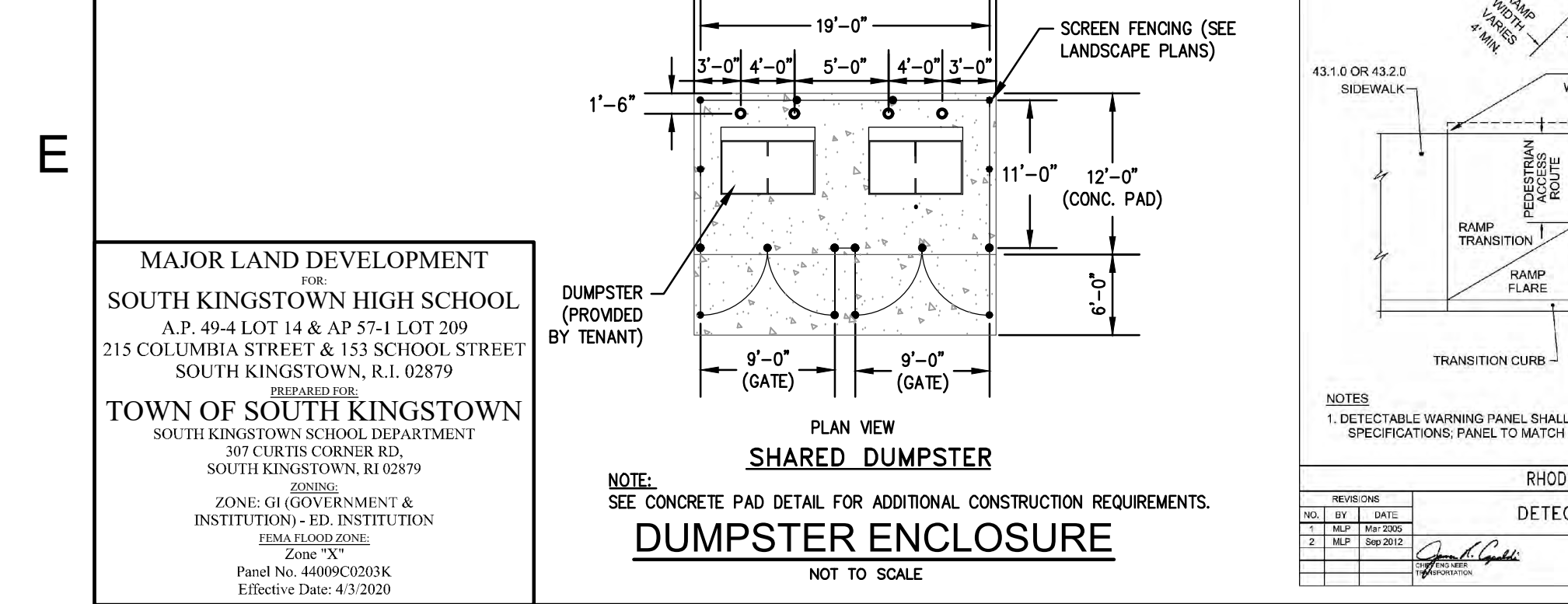
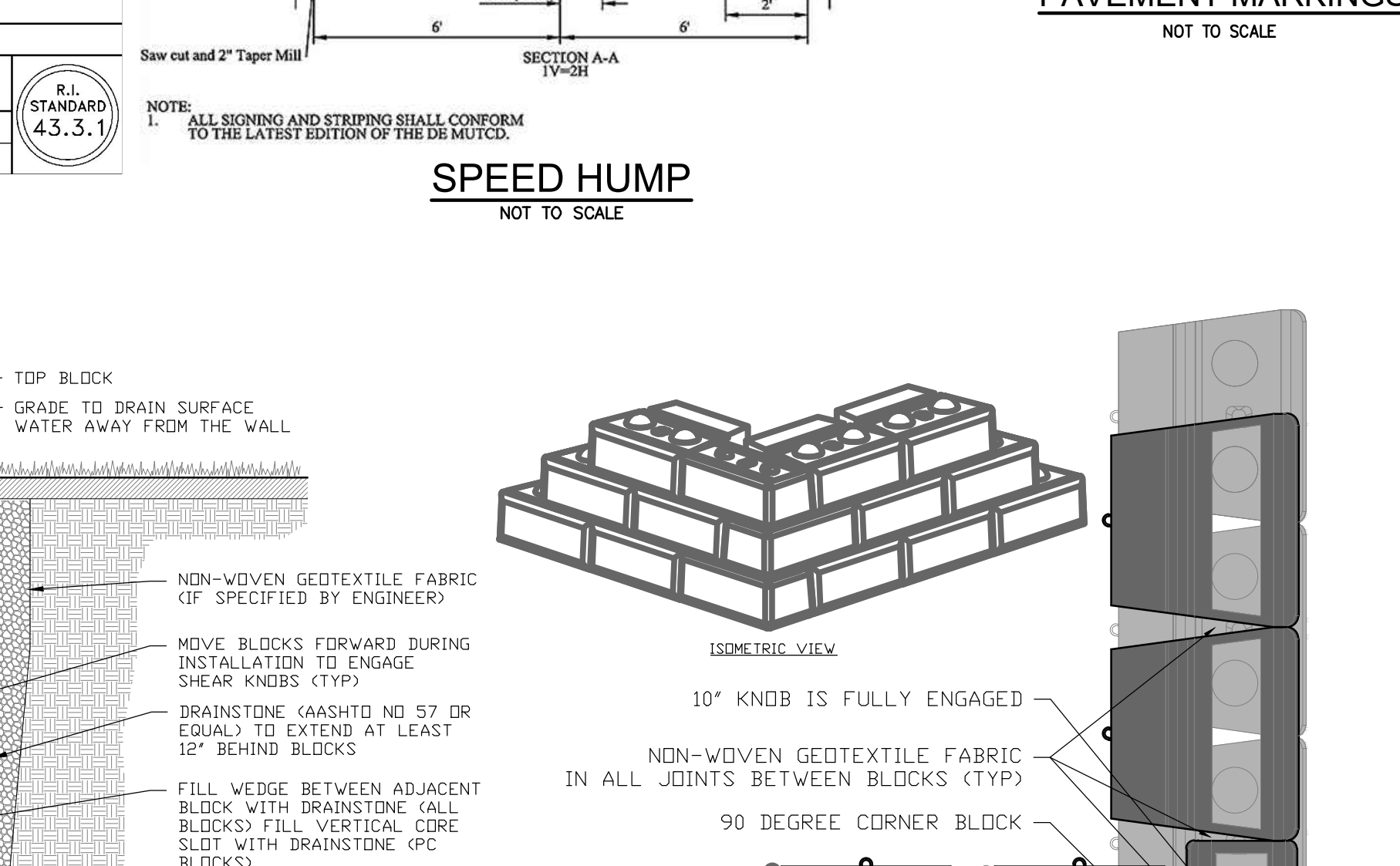
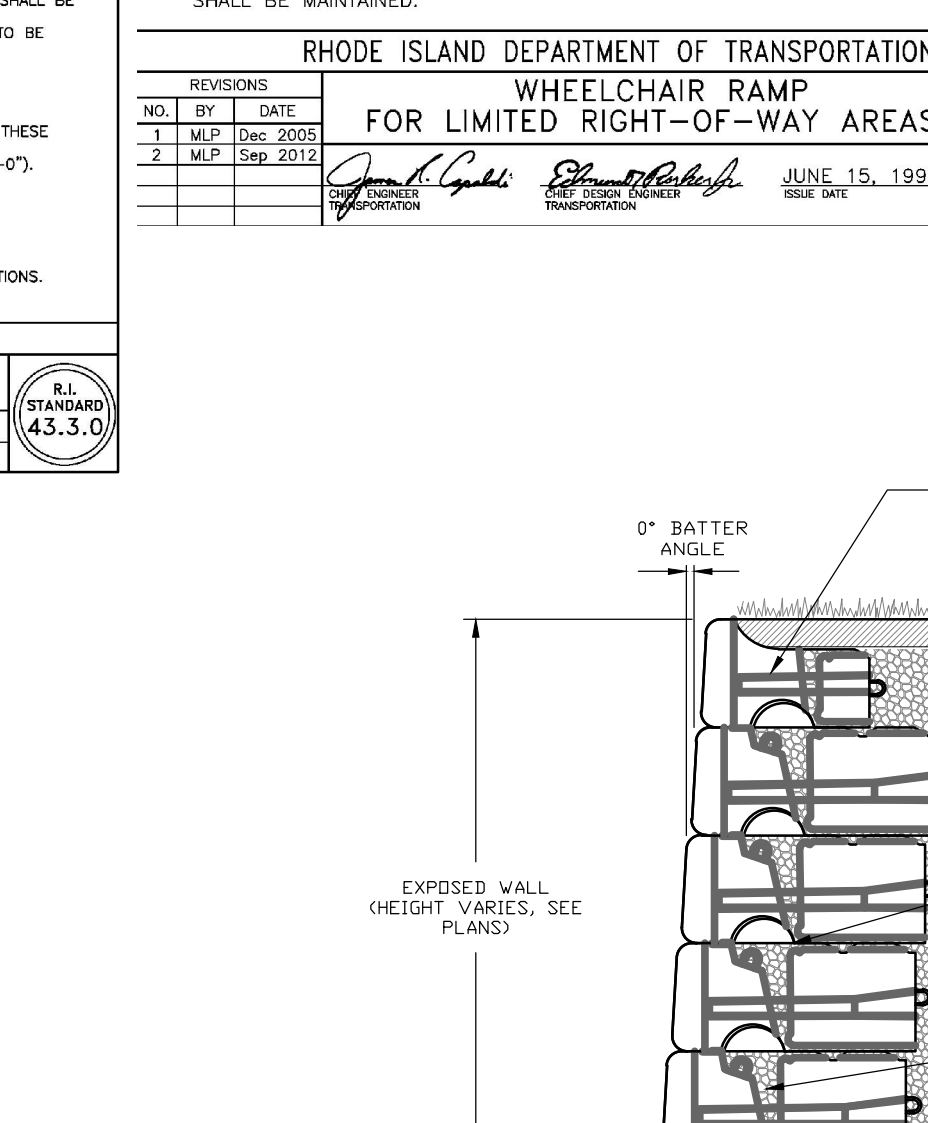
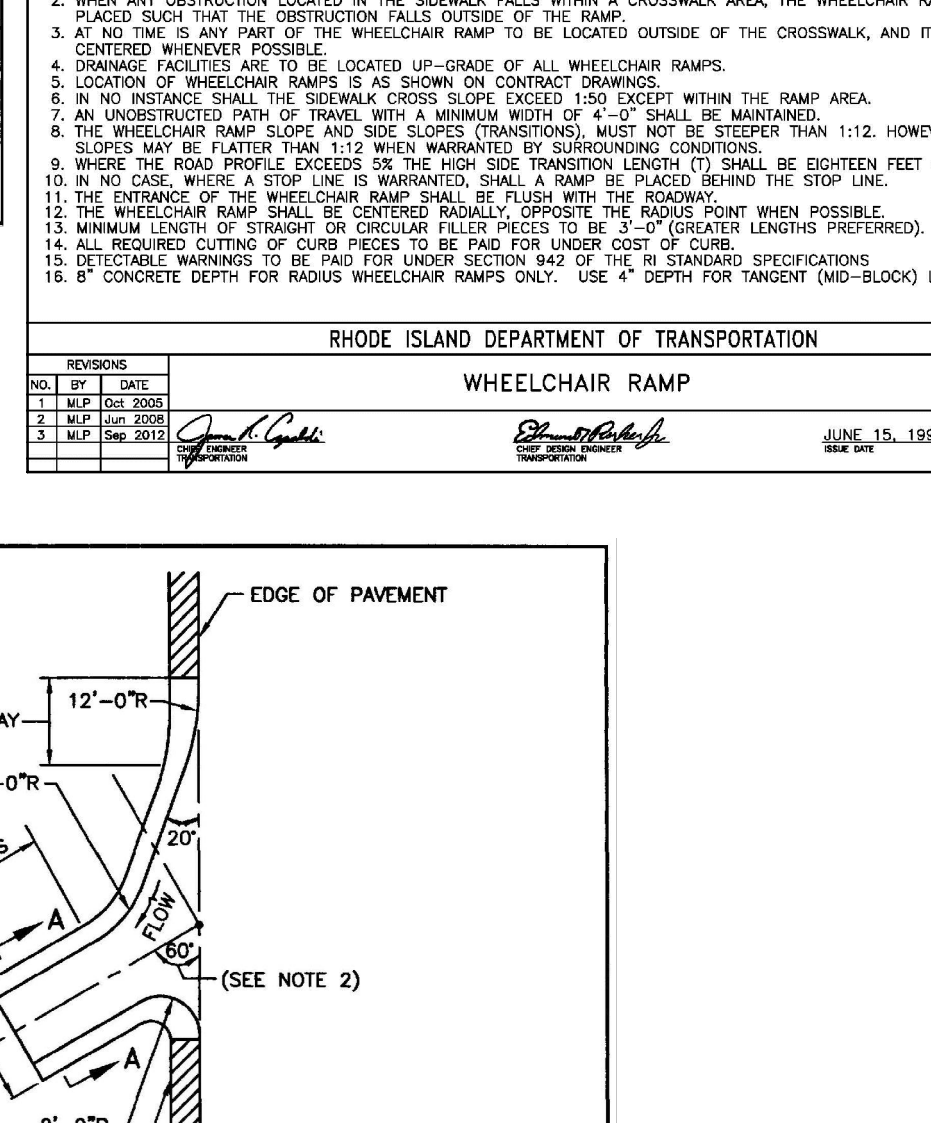
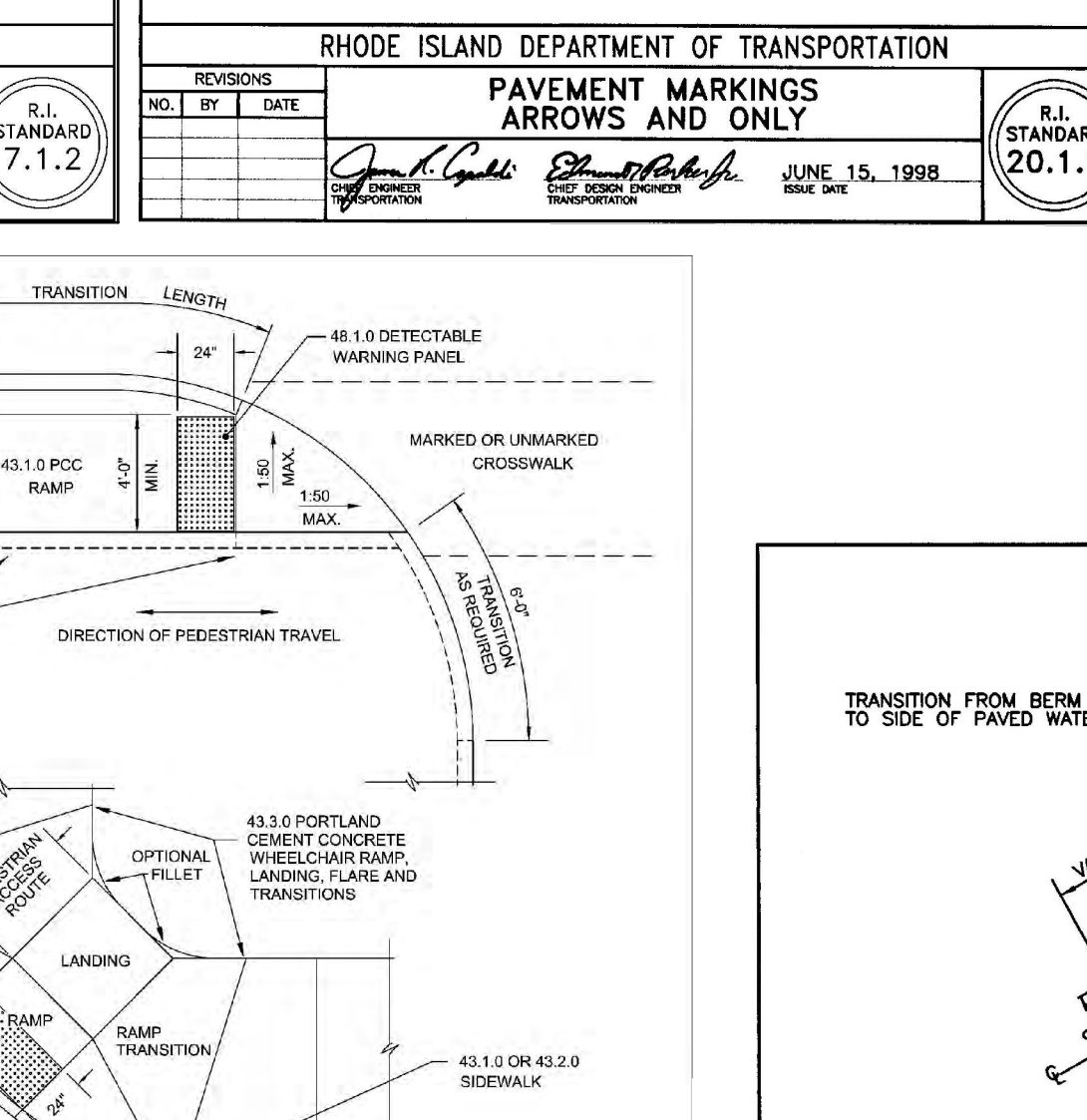
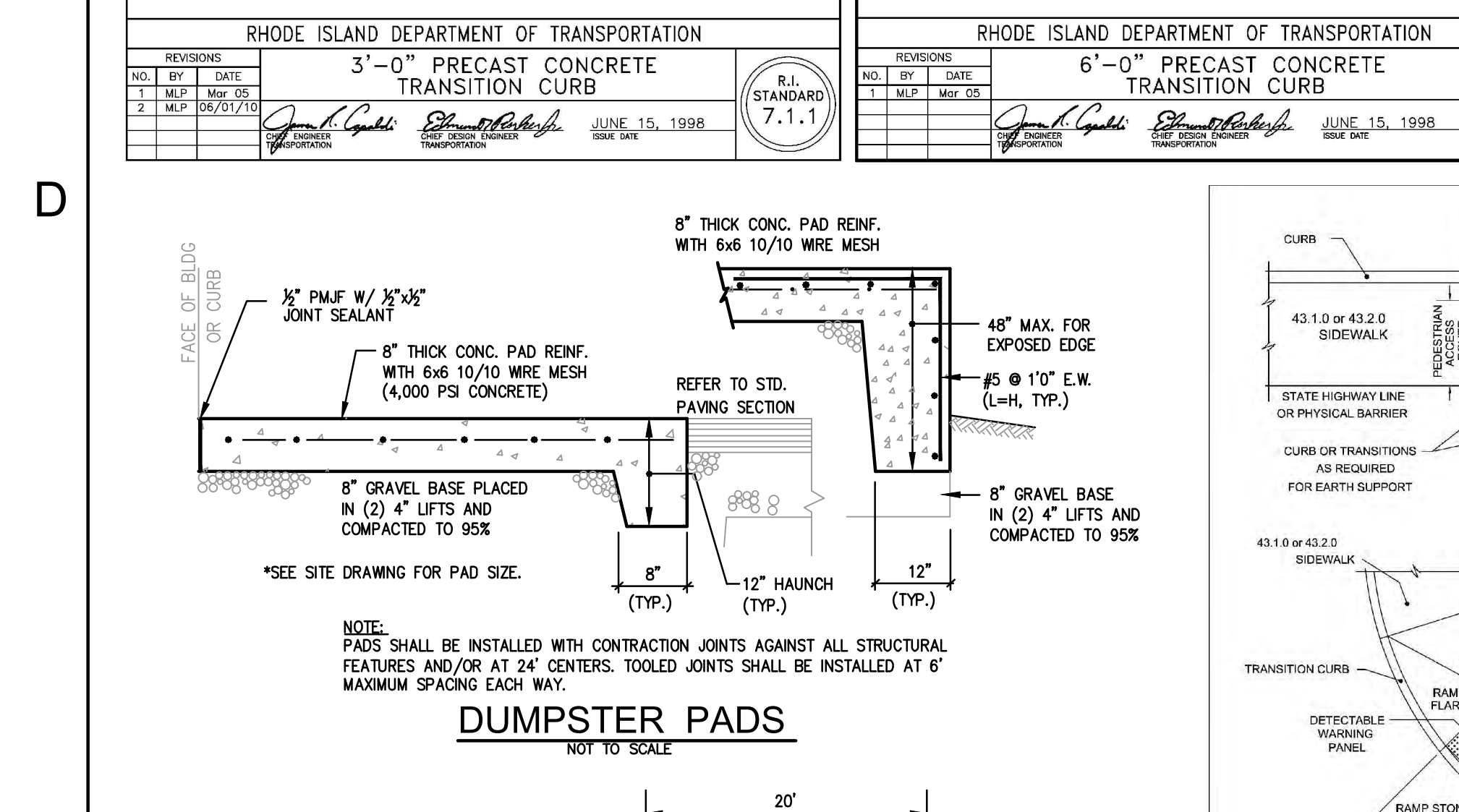
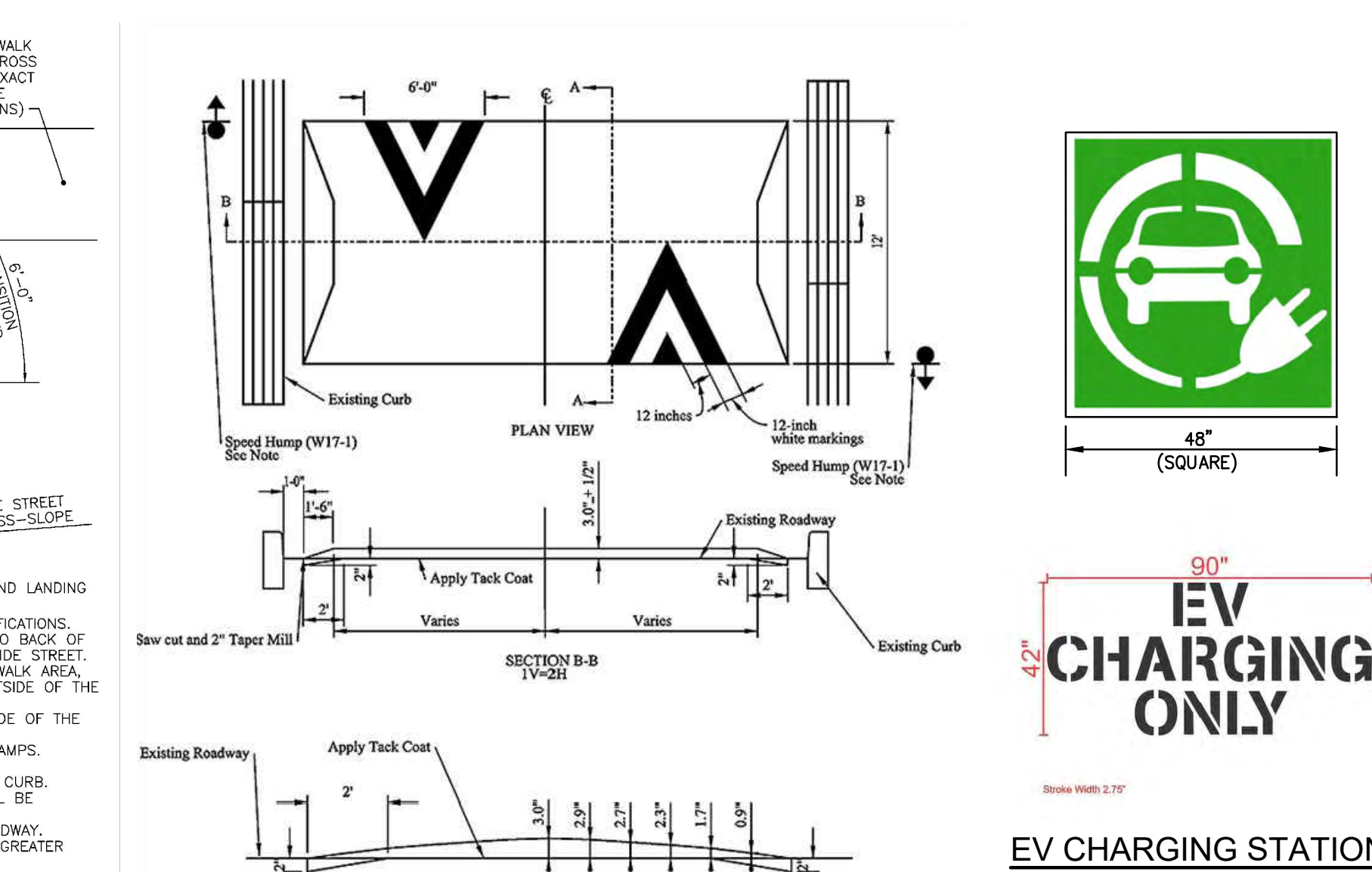
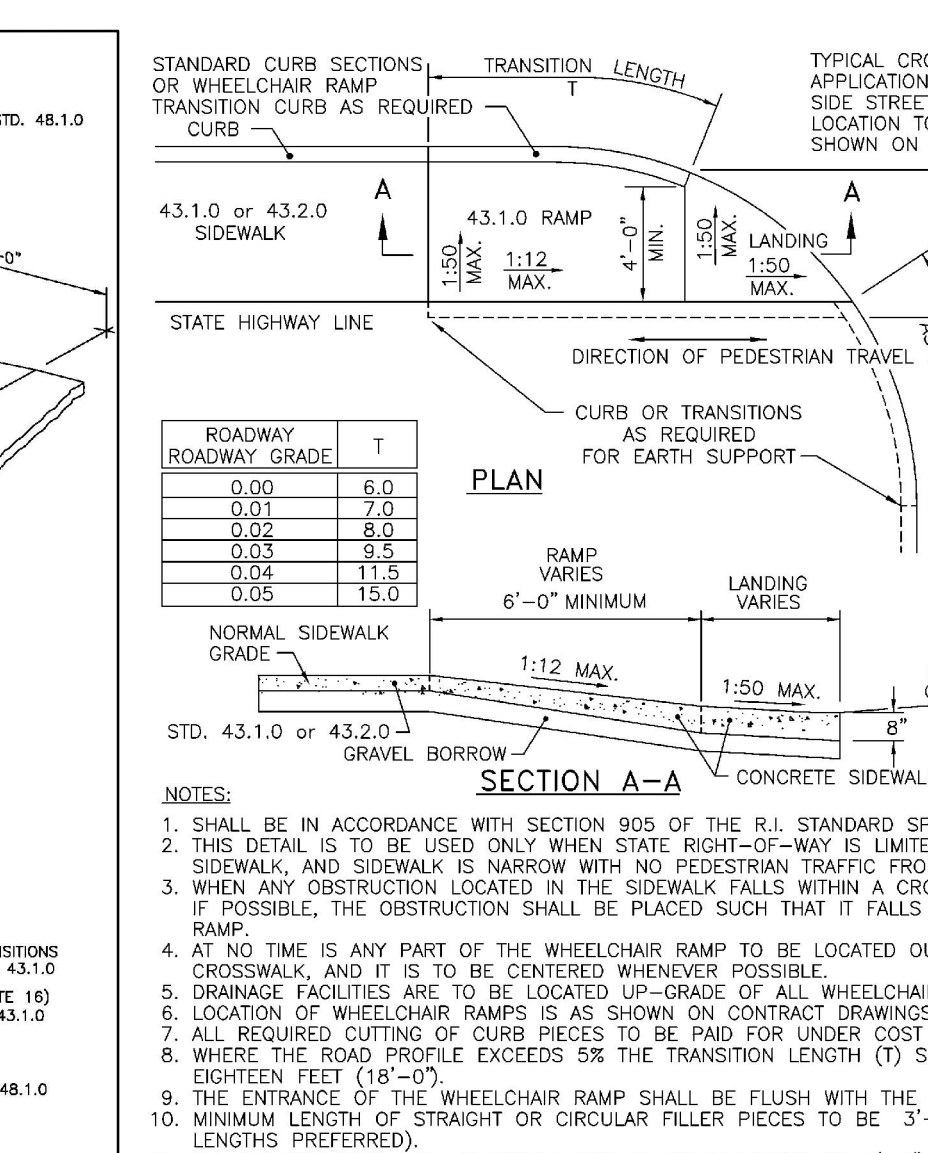
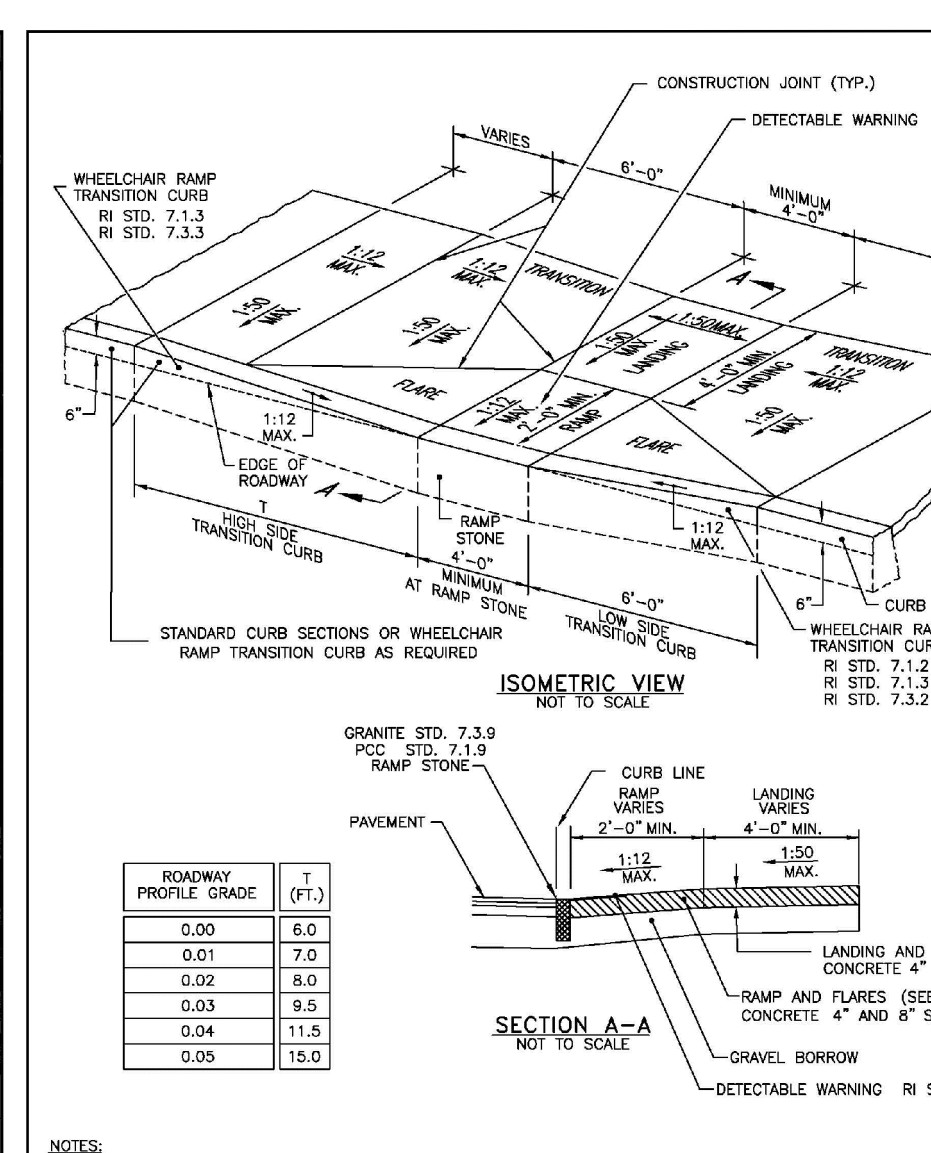
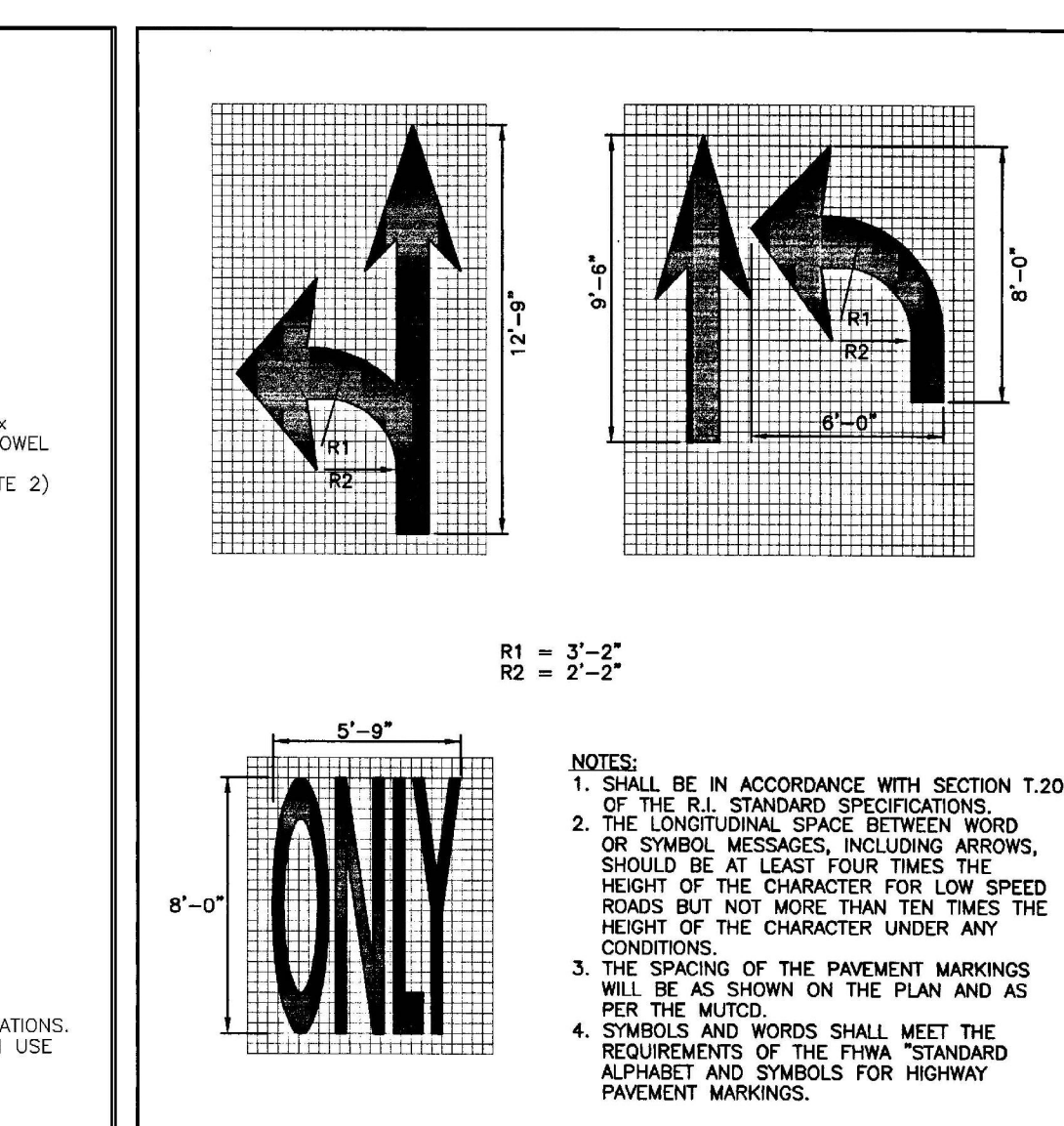
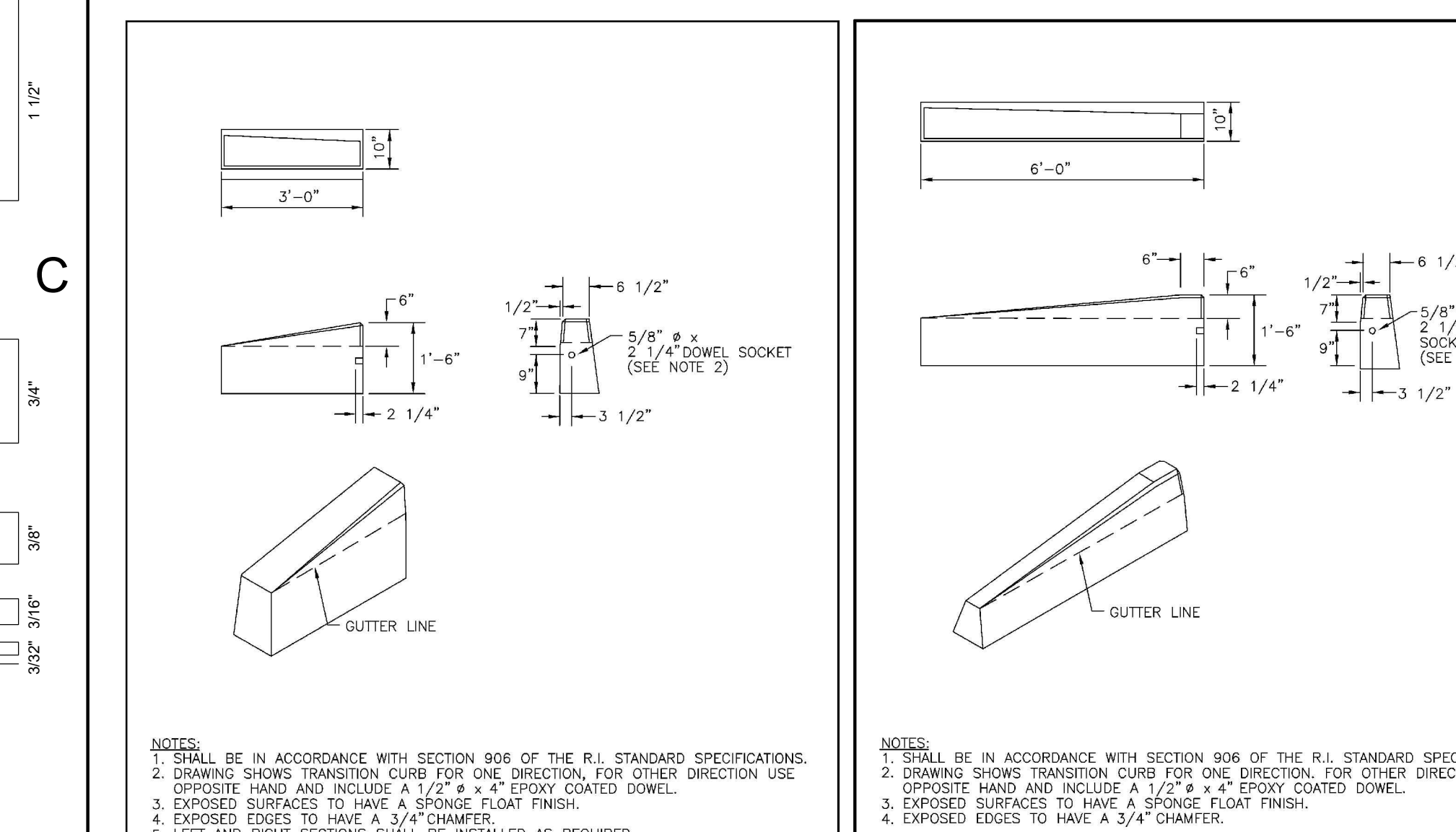
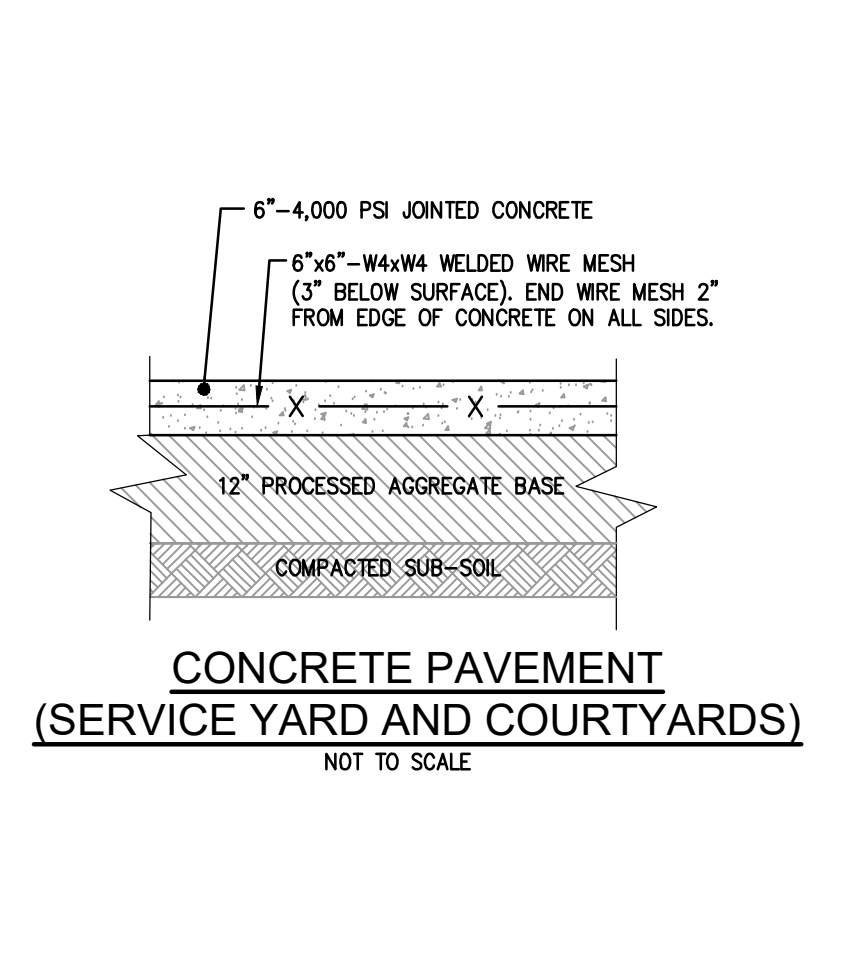
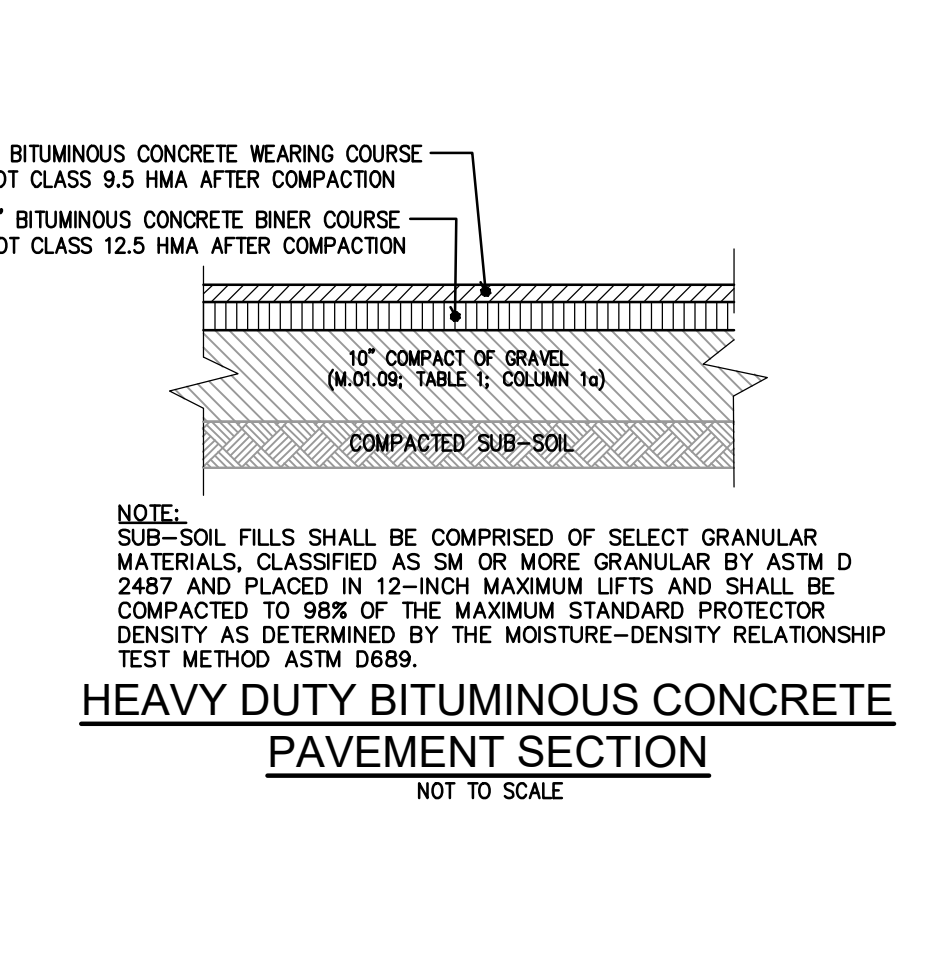
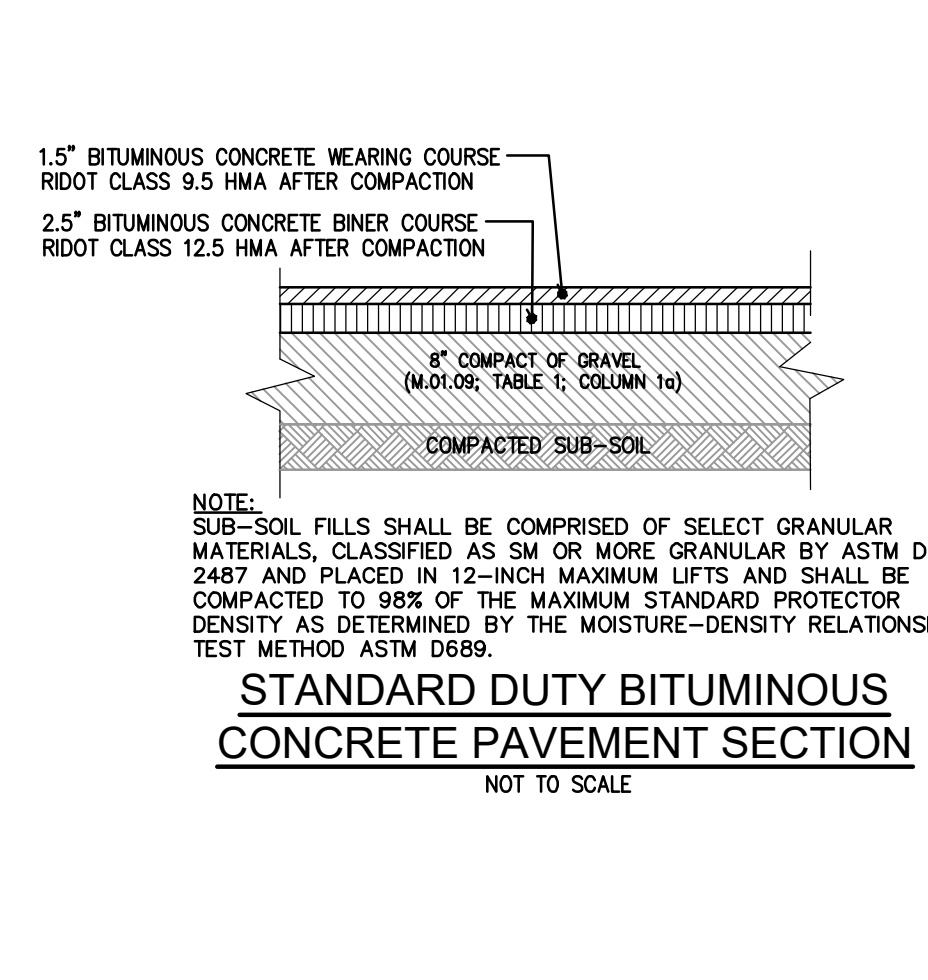
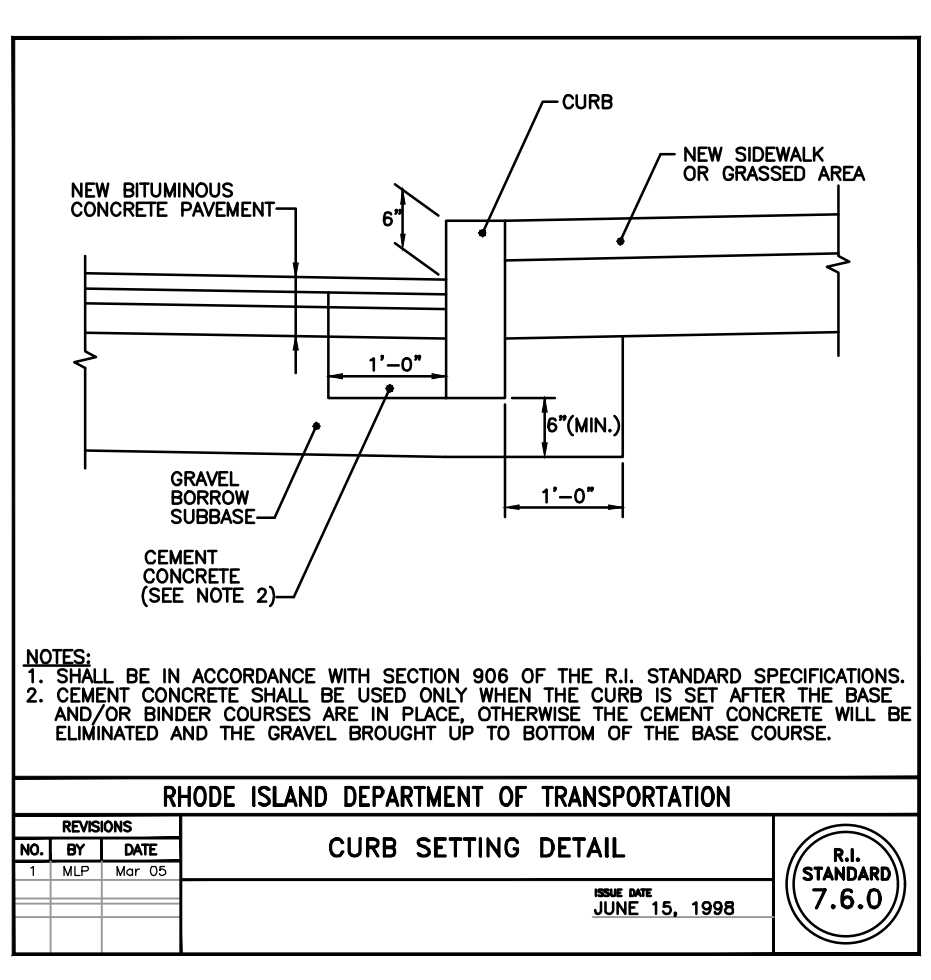
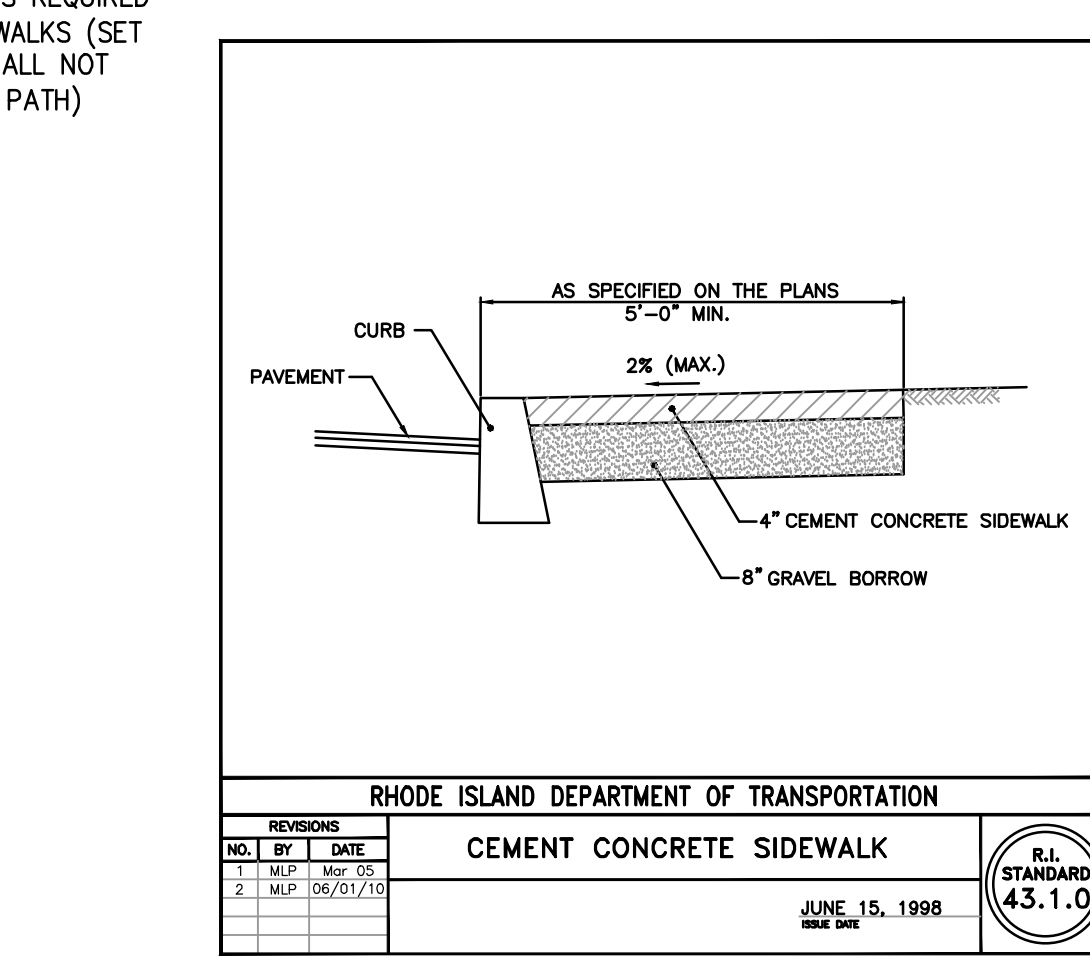
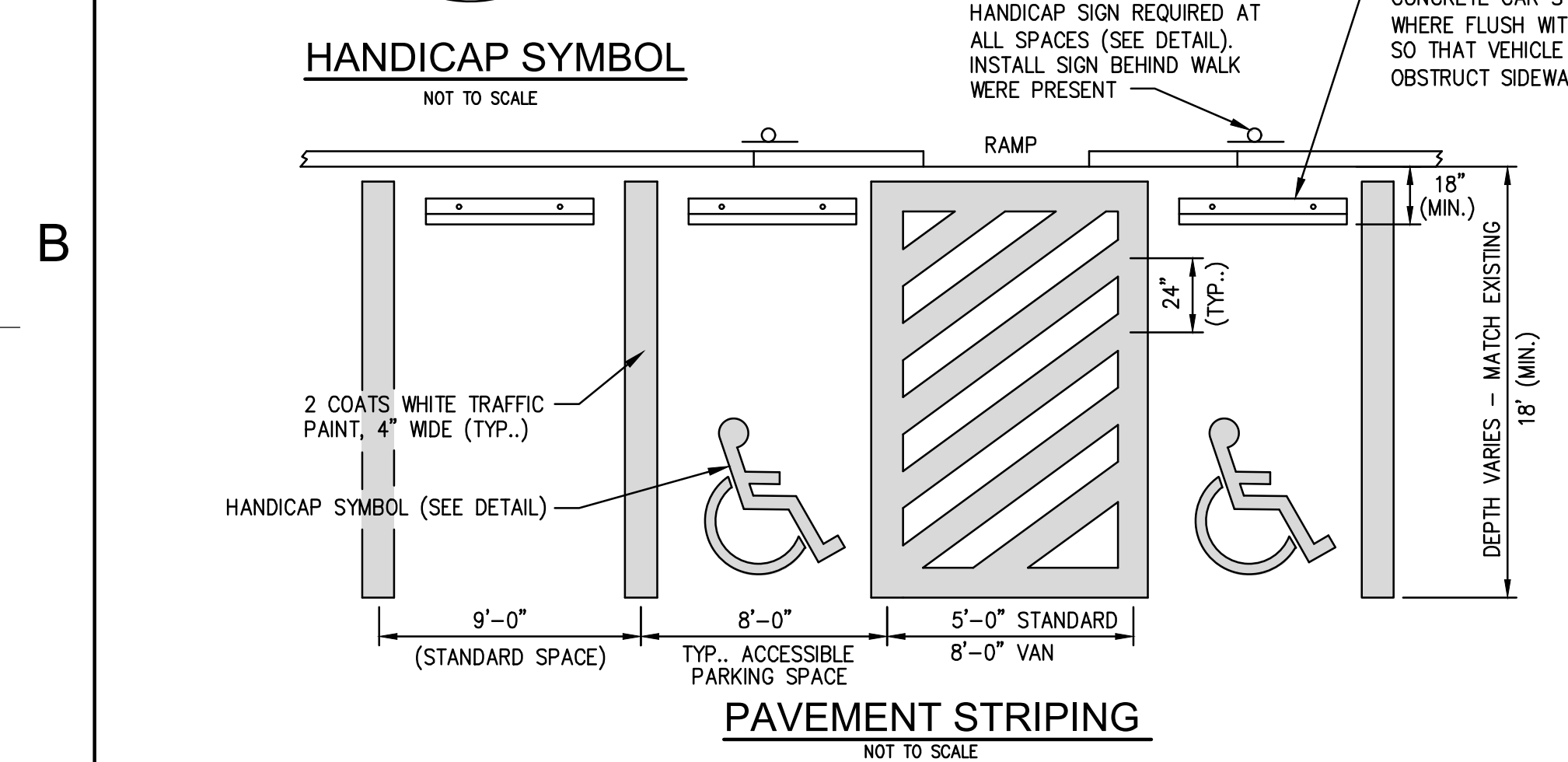
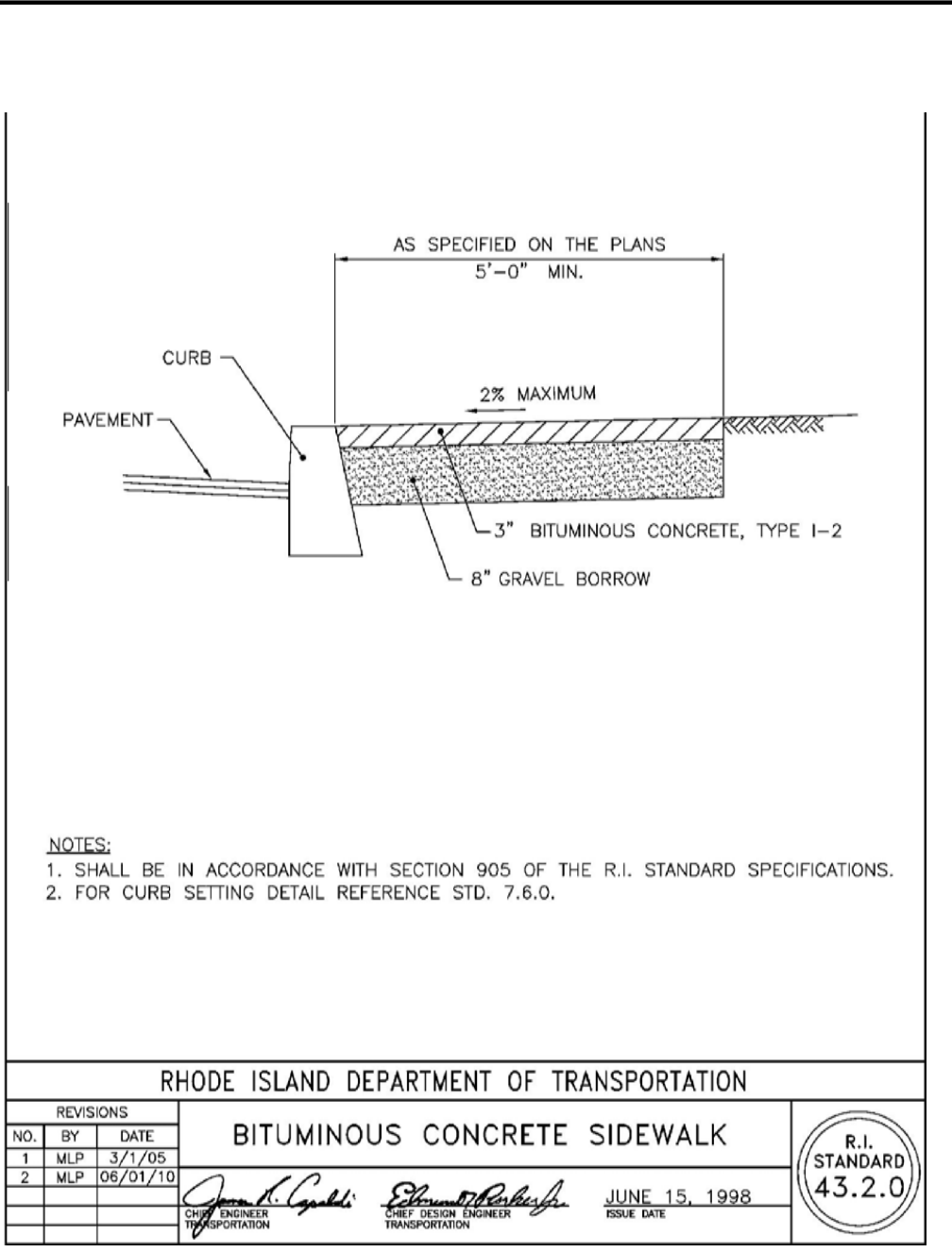
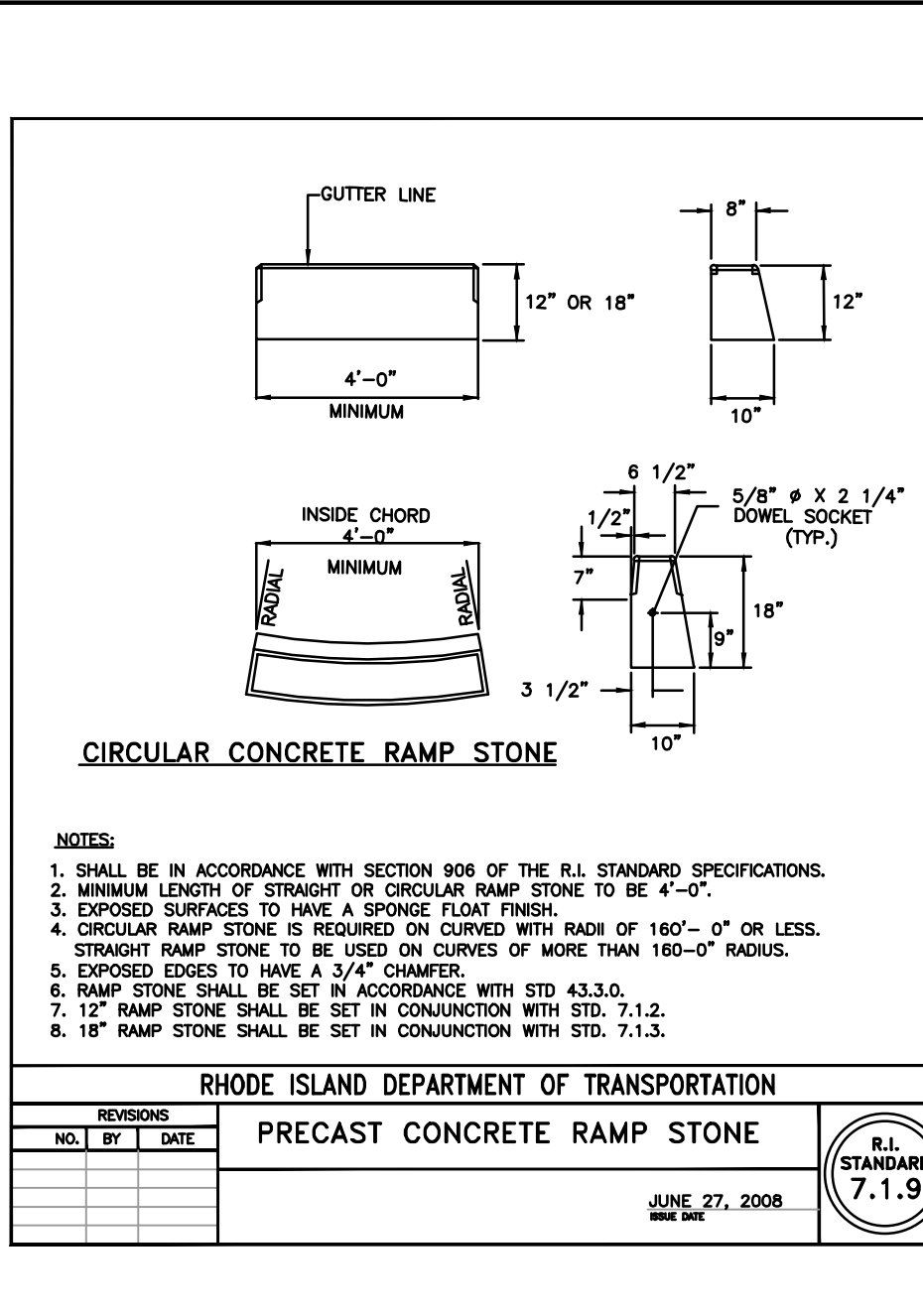
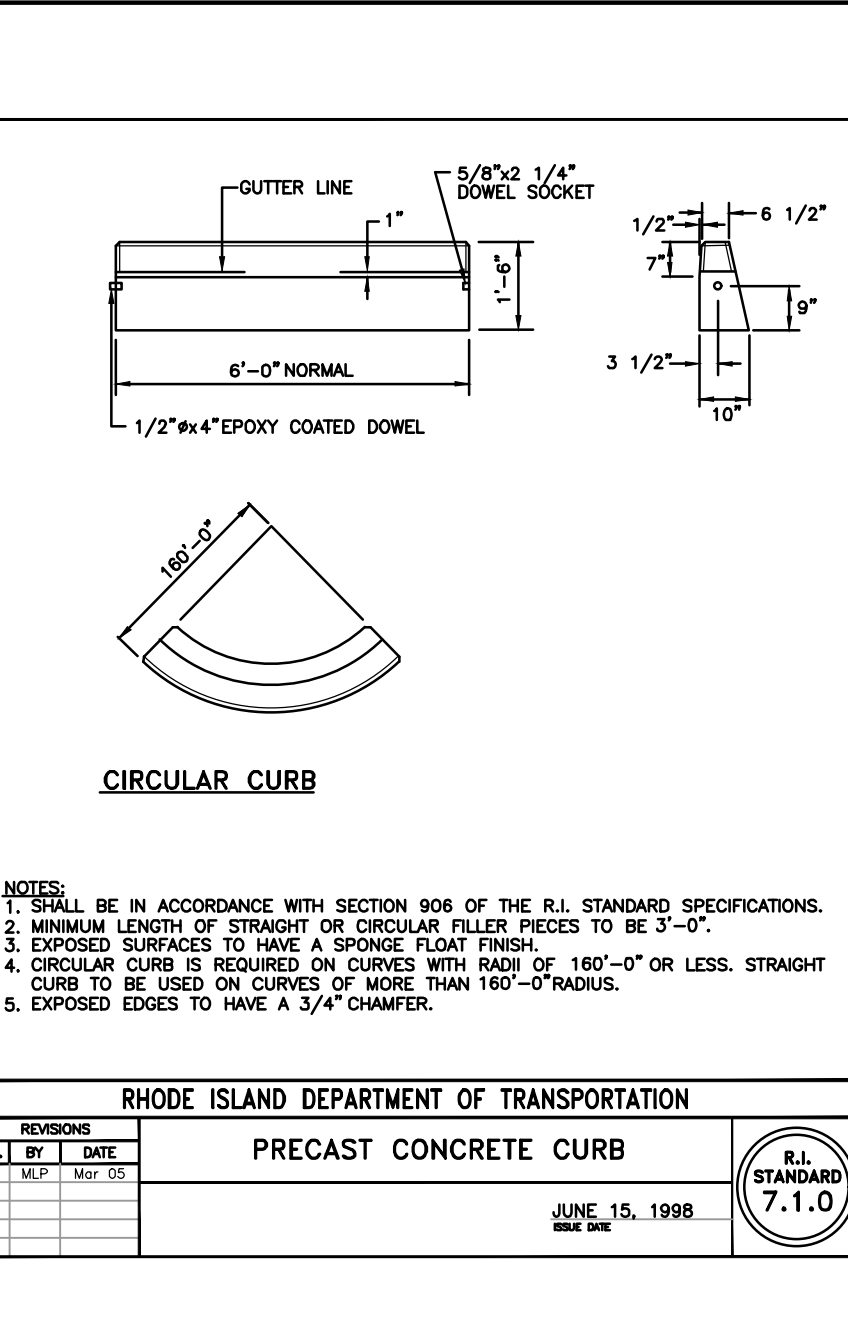
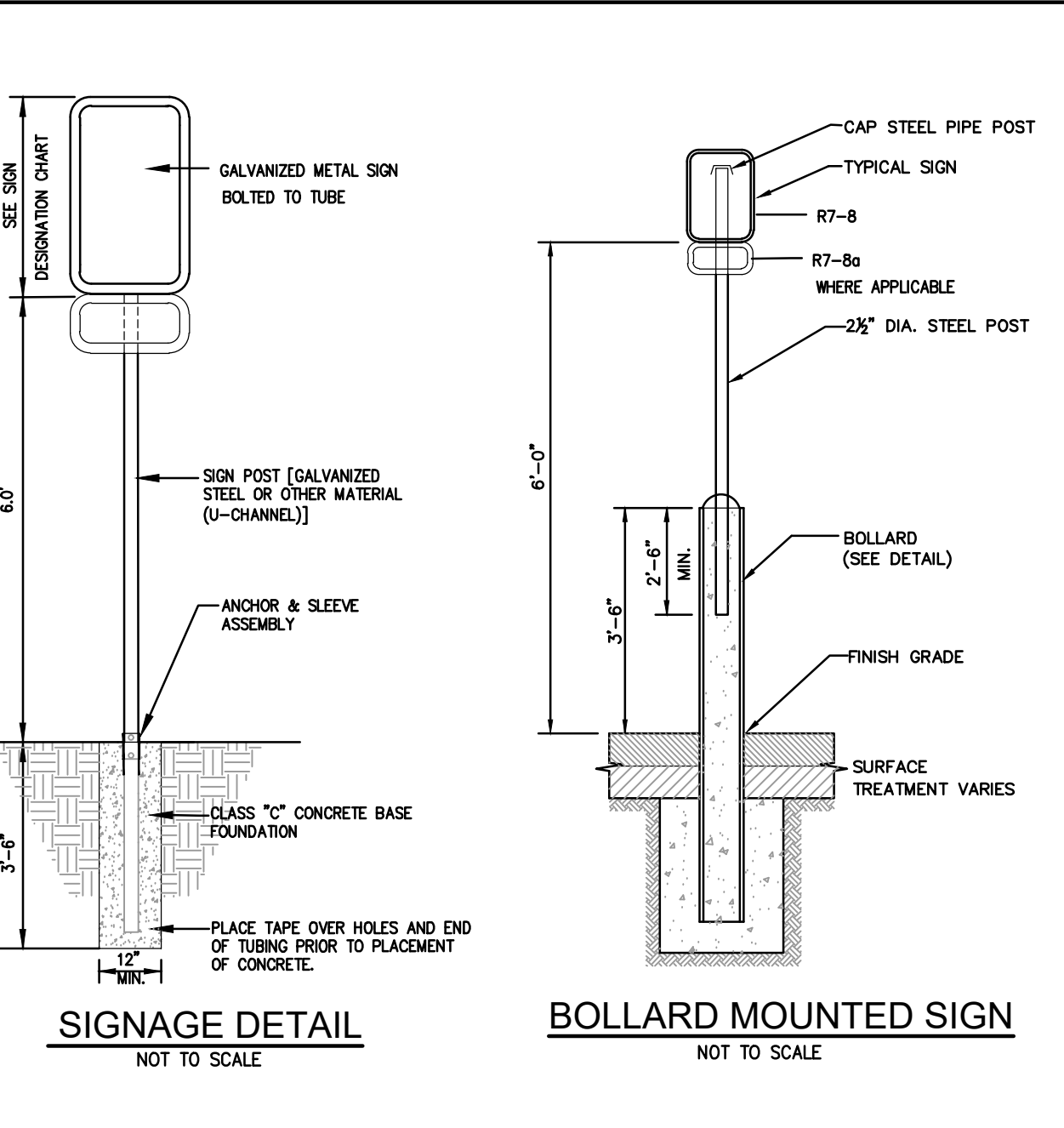
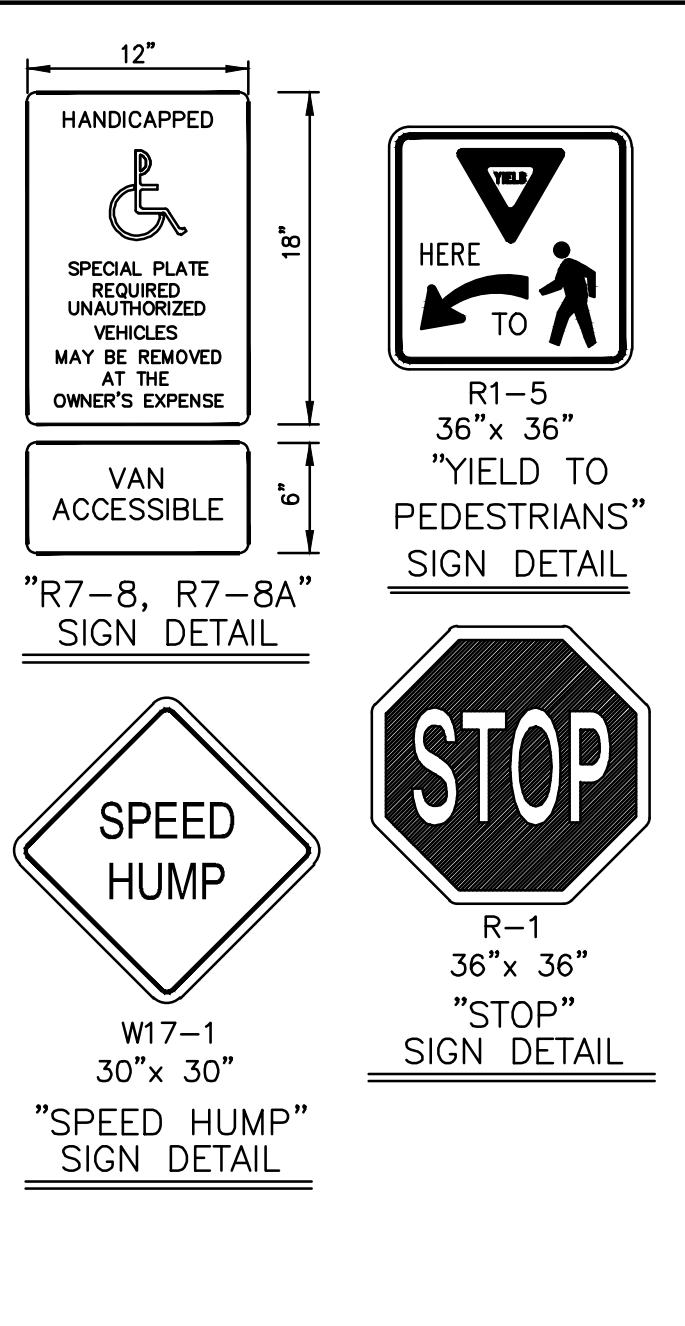
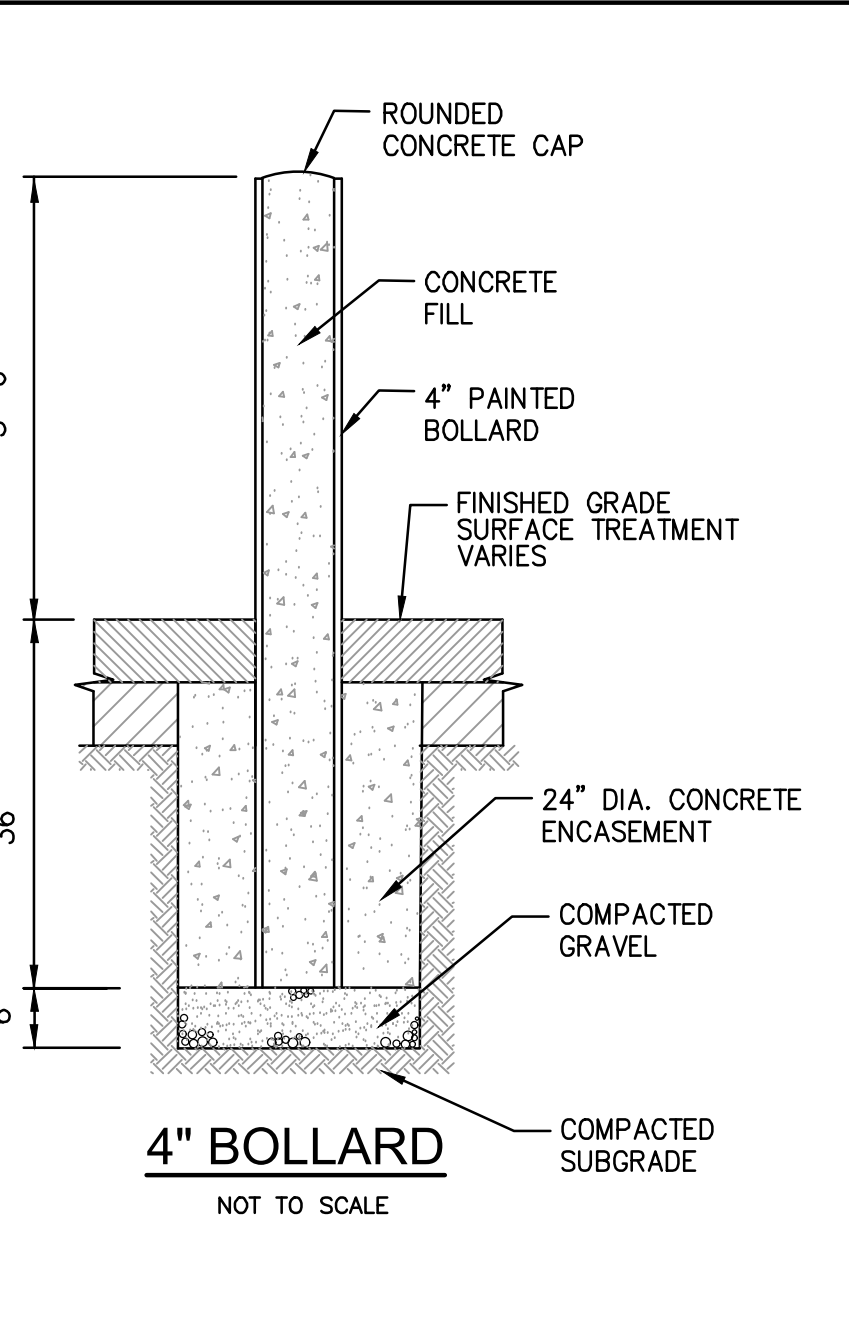
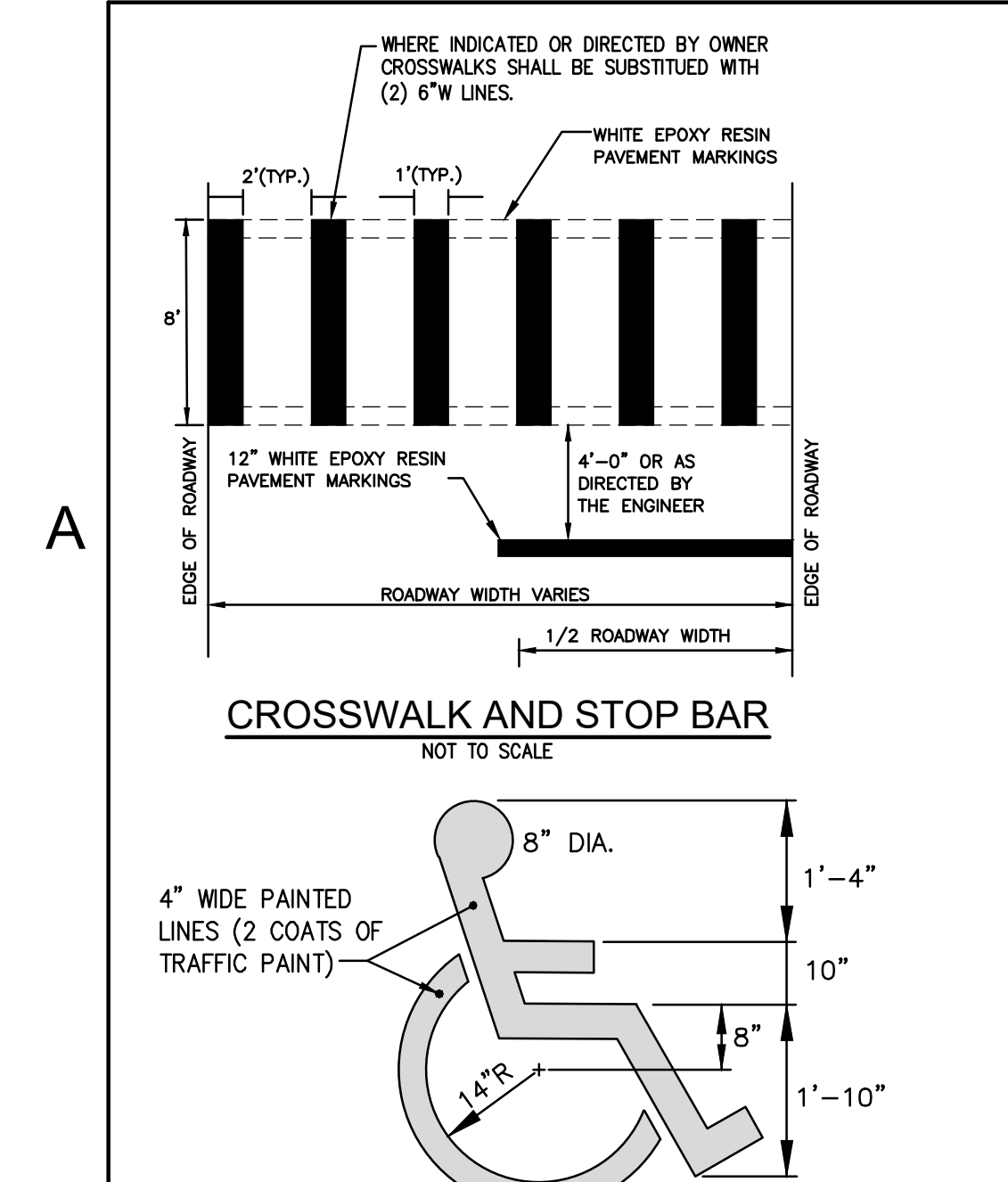
Number Date Issued For

**PROGRESS PRINT  
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 CONSTRUCTION**

**SOIL EROSION & SEDIMENT CONTROL PLAN**

Date: **[04/25/2025]** Drawing Number:  
 Scale: **AS SHOWN** **C-7**  
 Proj. Number: **[7458.00]**





**SLAM**  
The S/L/A/M Collaborative

One Cedar Street  
Suite 201  
Providence, RI 02903  
Phone: 401.563.7046  
www.slamcoll.com

Drawn: **KJA**  
Checked: **SSH**

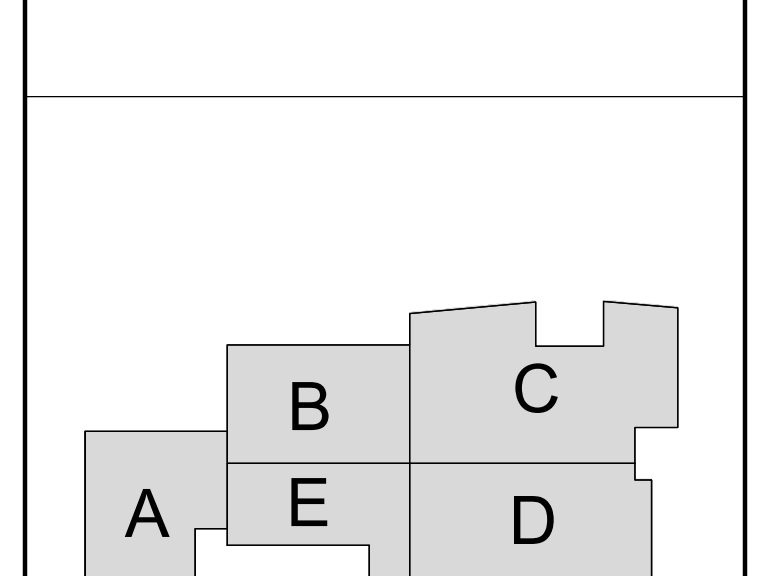
**GROFALO**  
GROFALO & ASSOCIATES, INC.  
CIVIL & STRUCTURAL ENGINEERS/SURVEYORS  
LAND PLANNERS/ENVIRONMENTAL SCIENTISTS  
85 CORLISS STREET, P.O. BOX 614  
PROVIDENCE, RI 02940 (tel.)401-273-6000



South Kingstown School District

South Kingstown High School

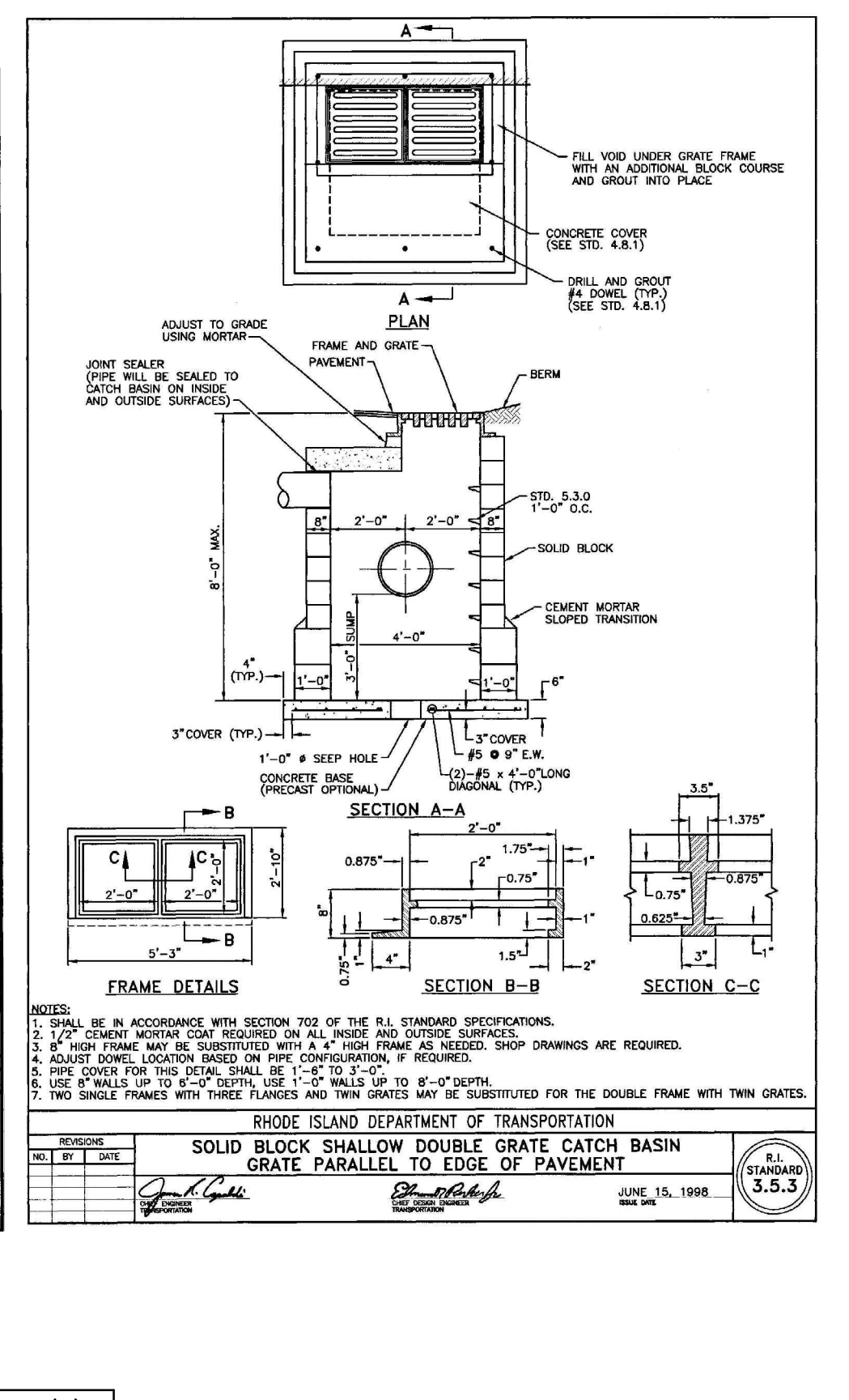
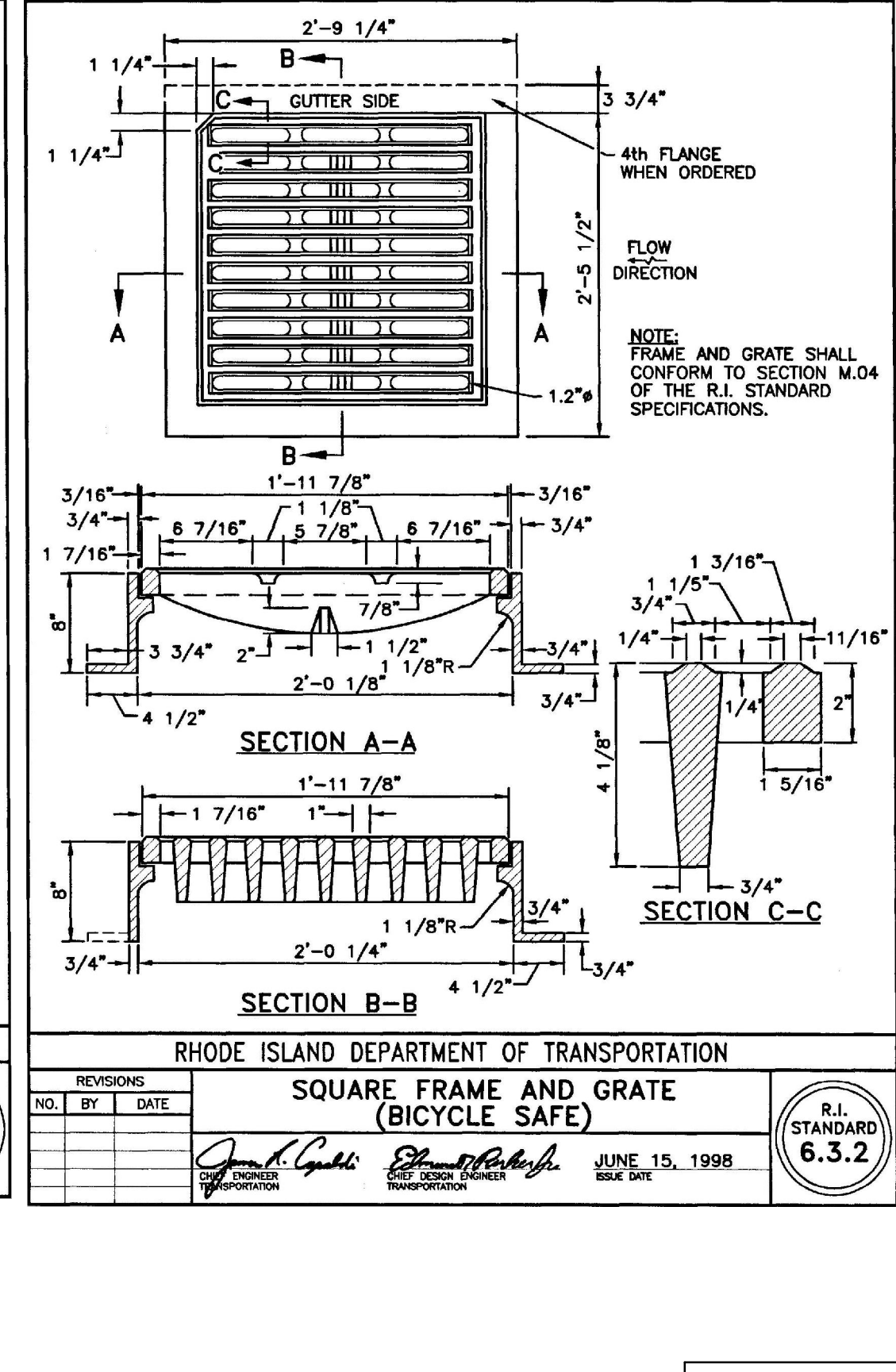
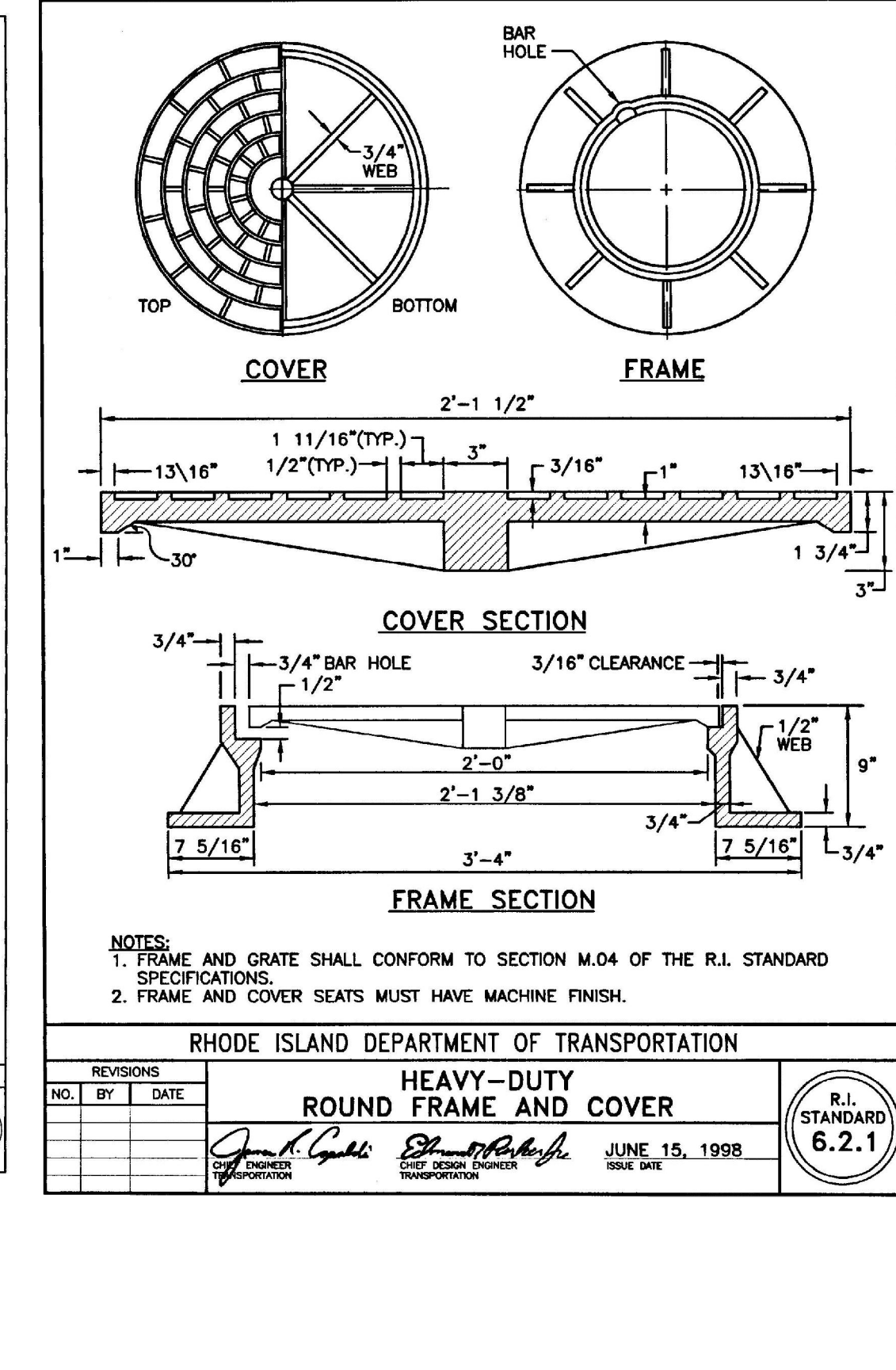
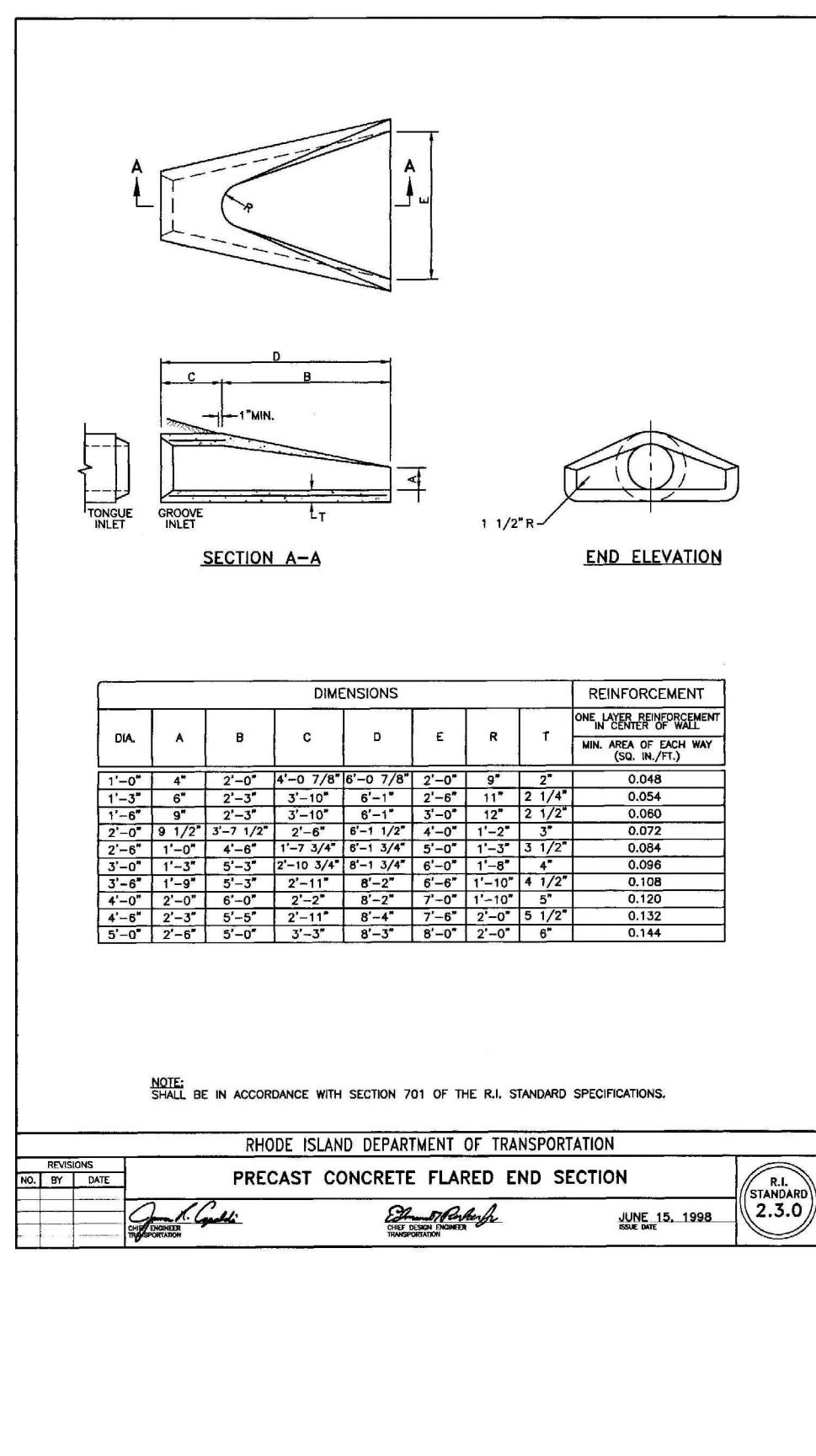
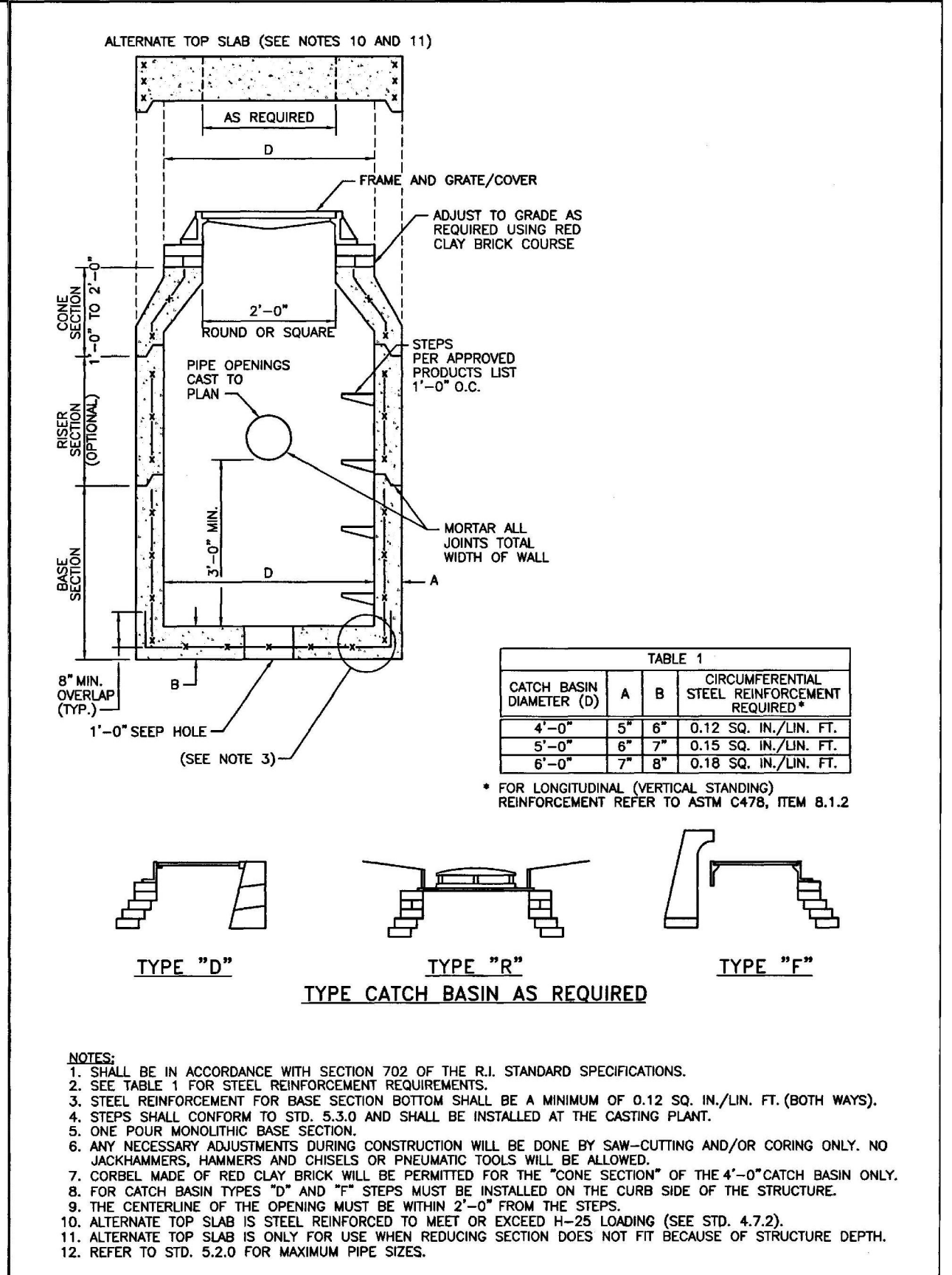
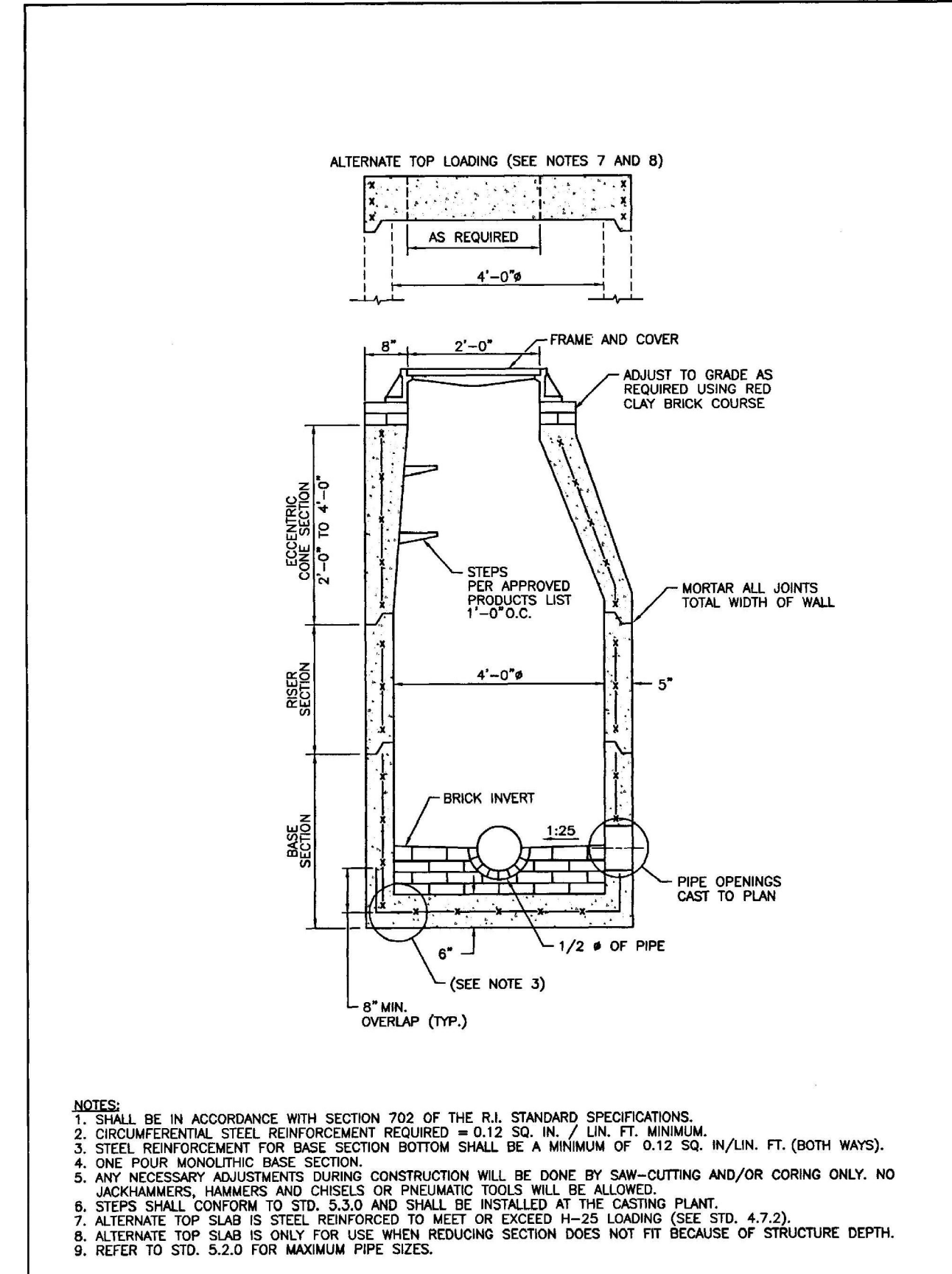
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South Kingstown, RI 02879



PROGRESS PRINT  
NOT FOR CONSTRUCTION

CONSTRUCTION DETAILS - 1

Date: [04/25/2025]  
Scale: AS SHOWN  
Drawing Number: C-8  
Proj. Number: [7458.00]



NO.	BY	DATE
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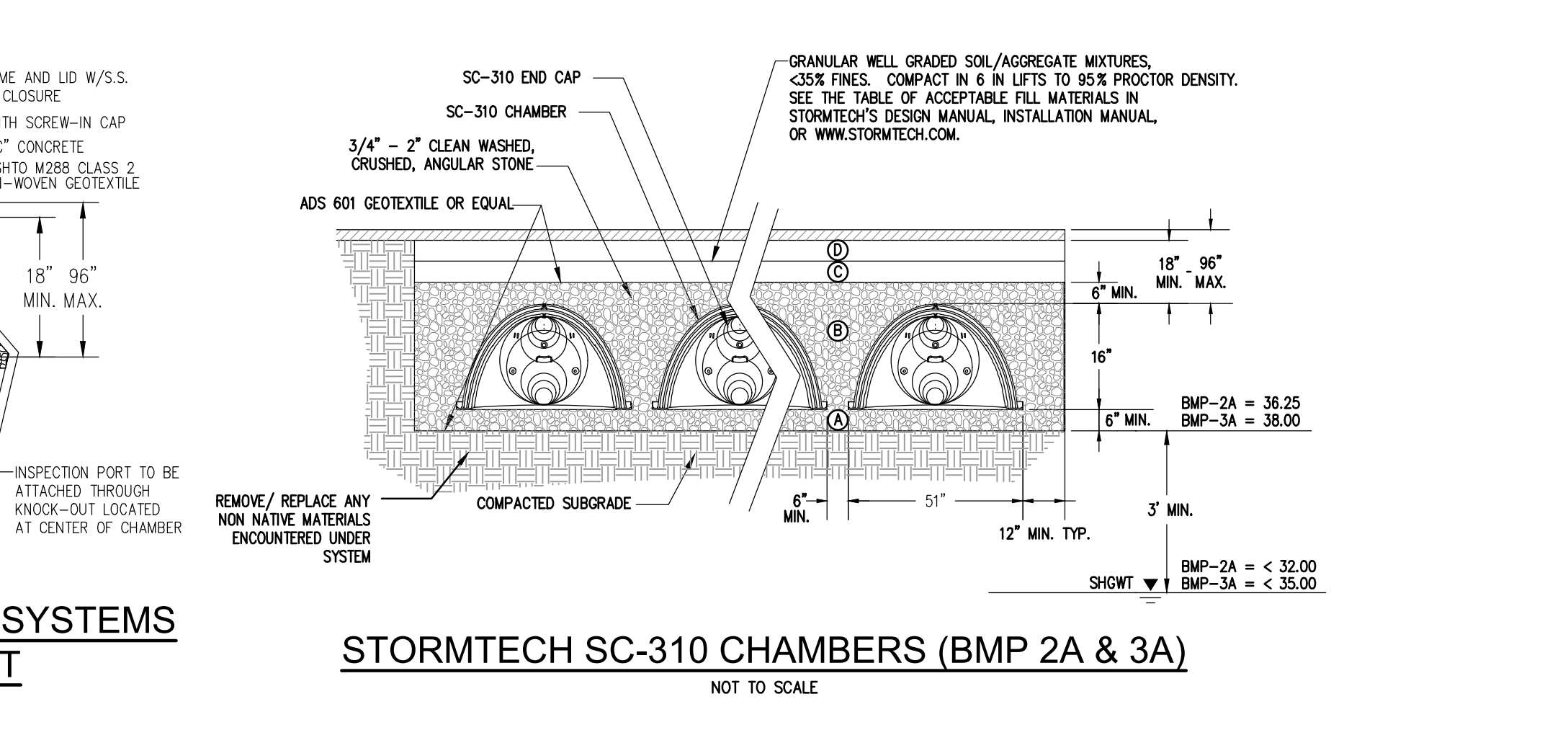
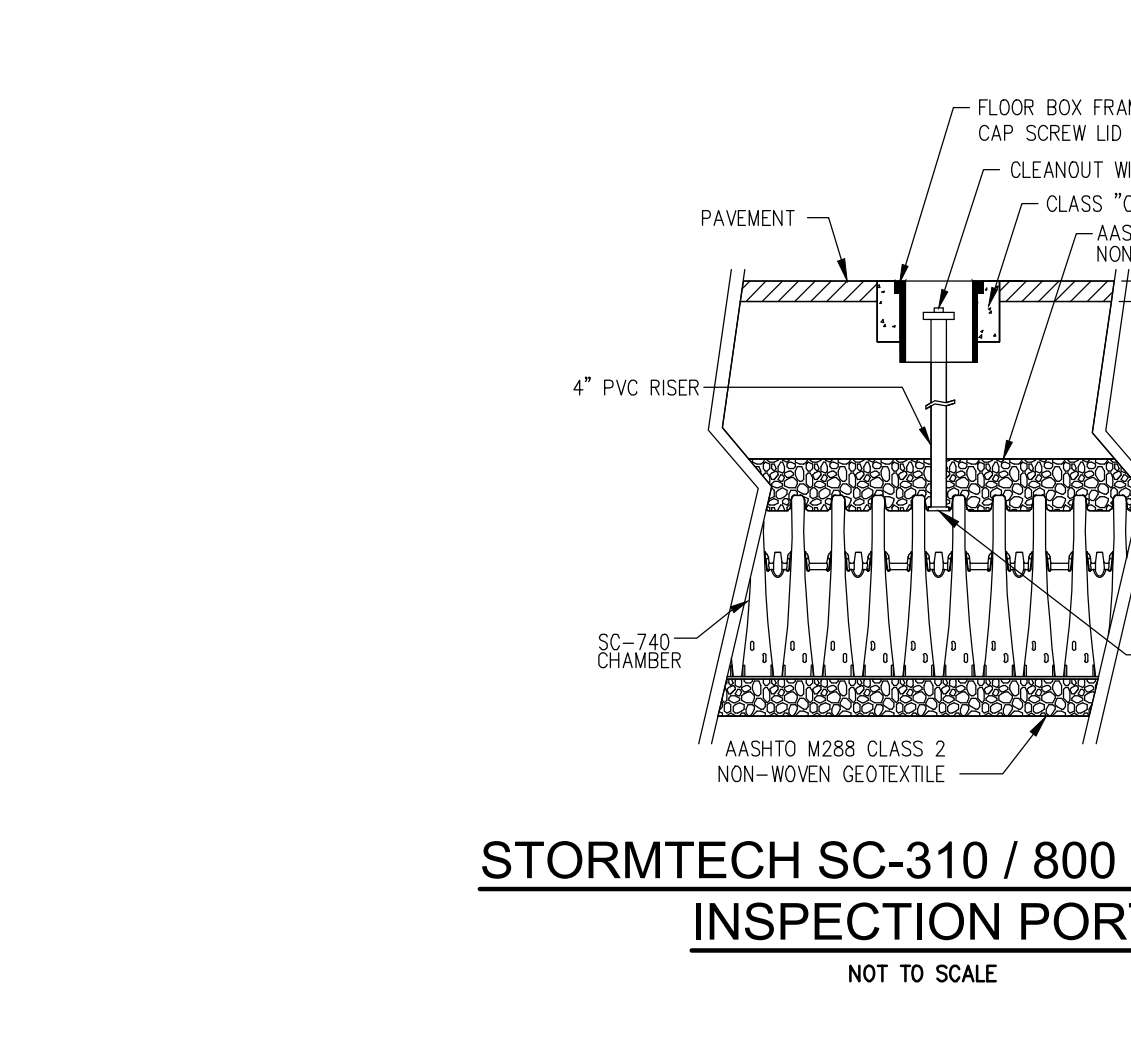
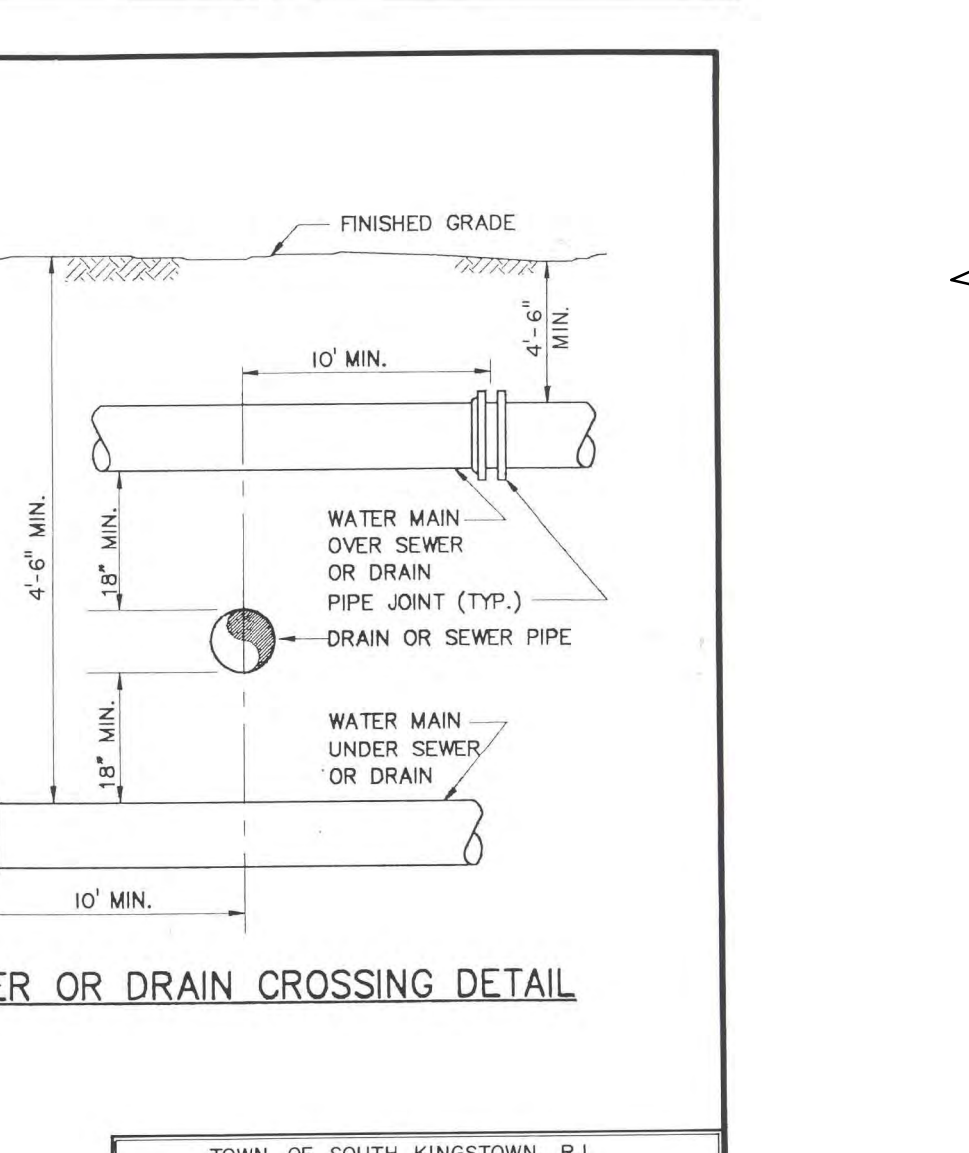
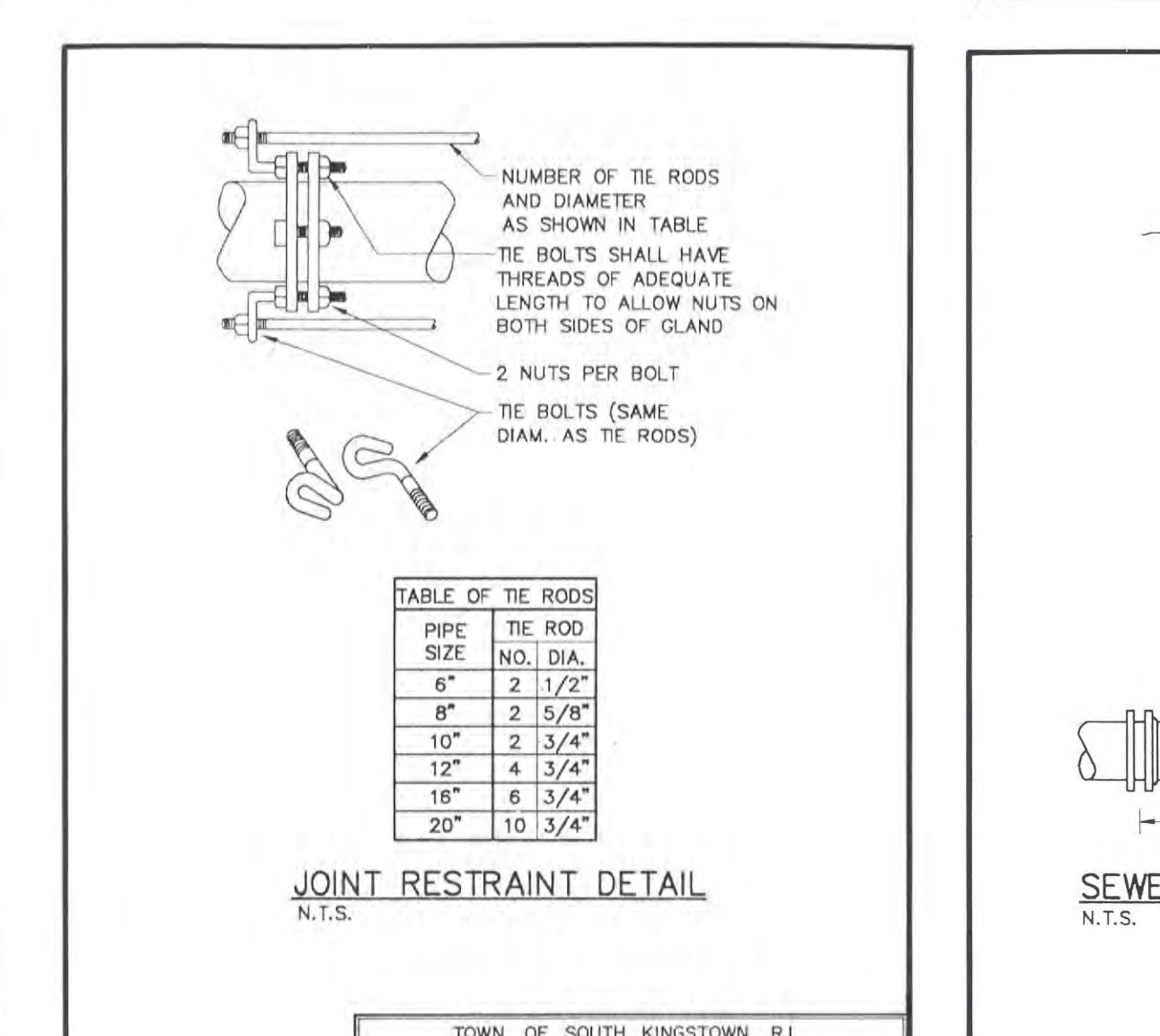
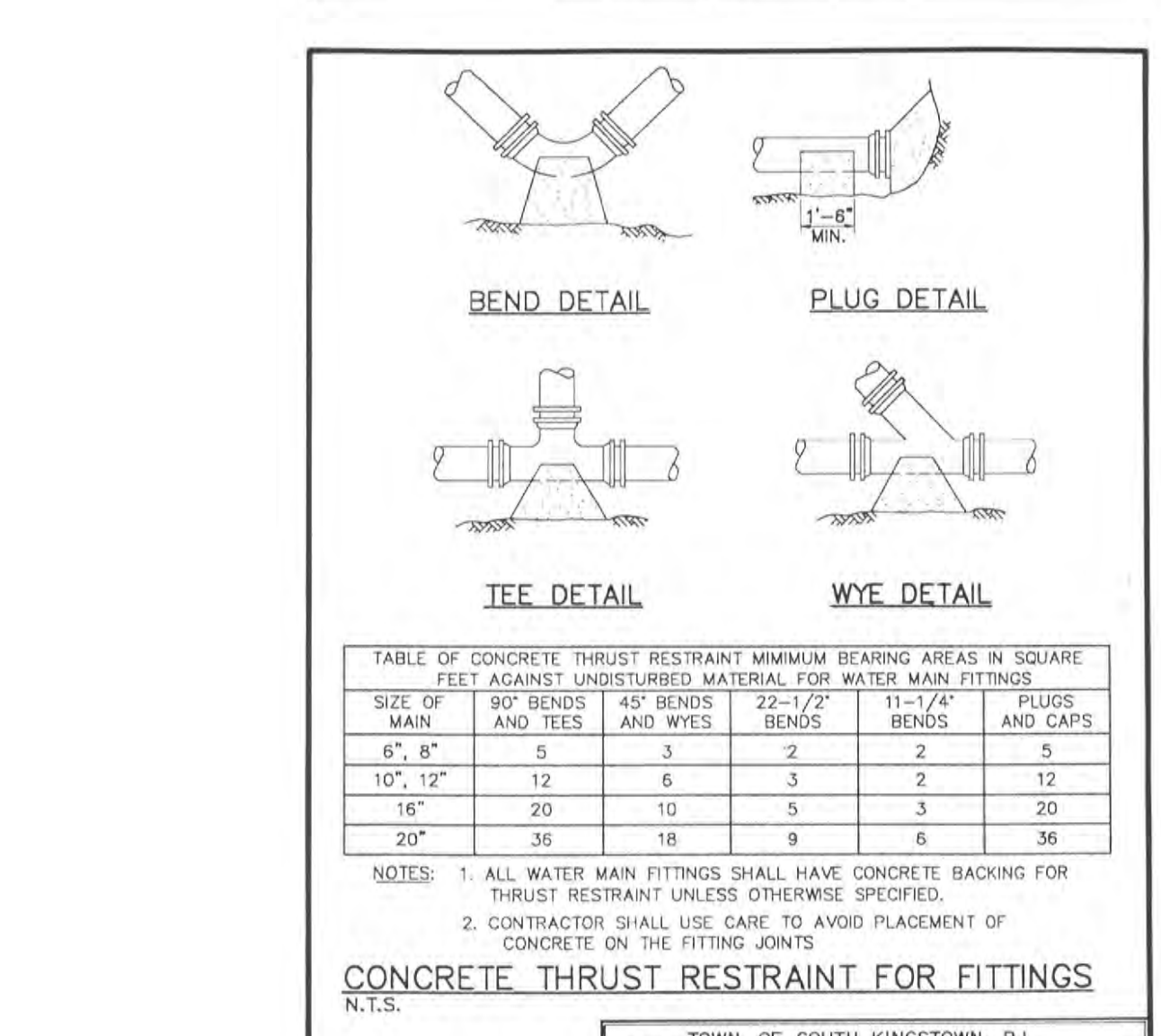
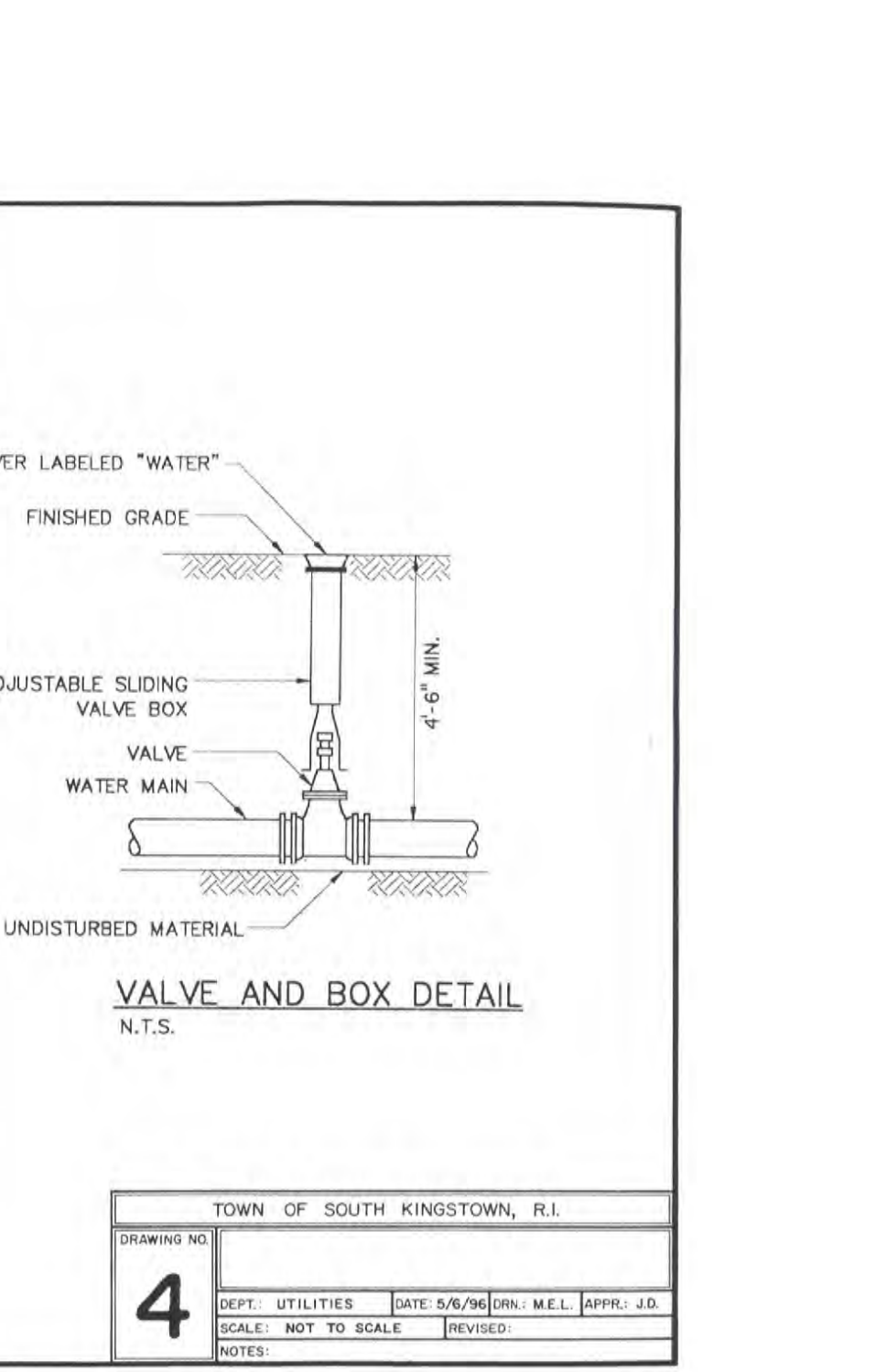
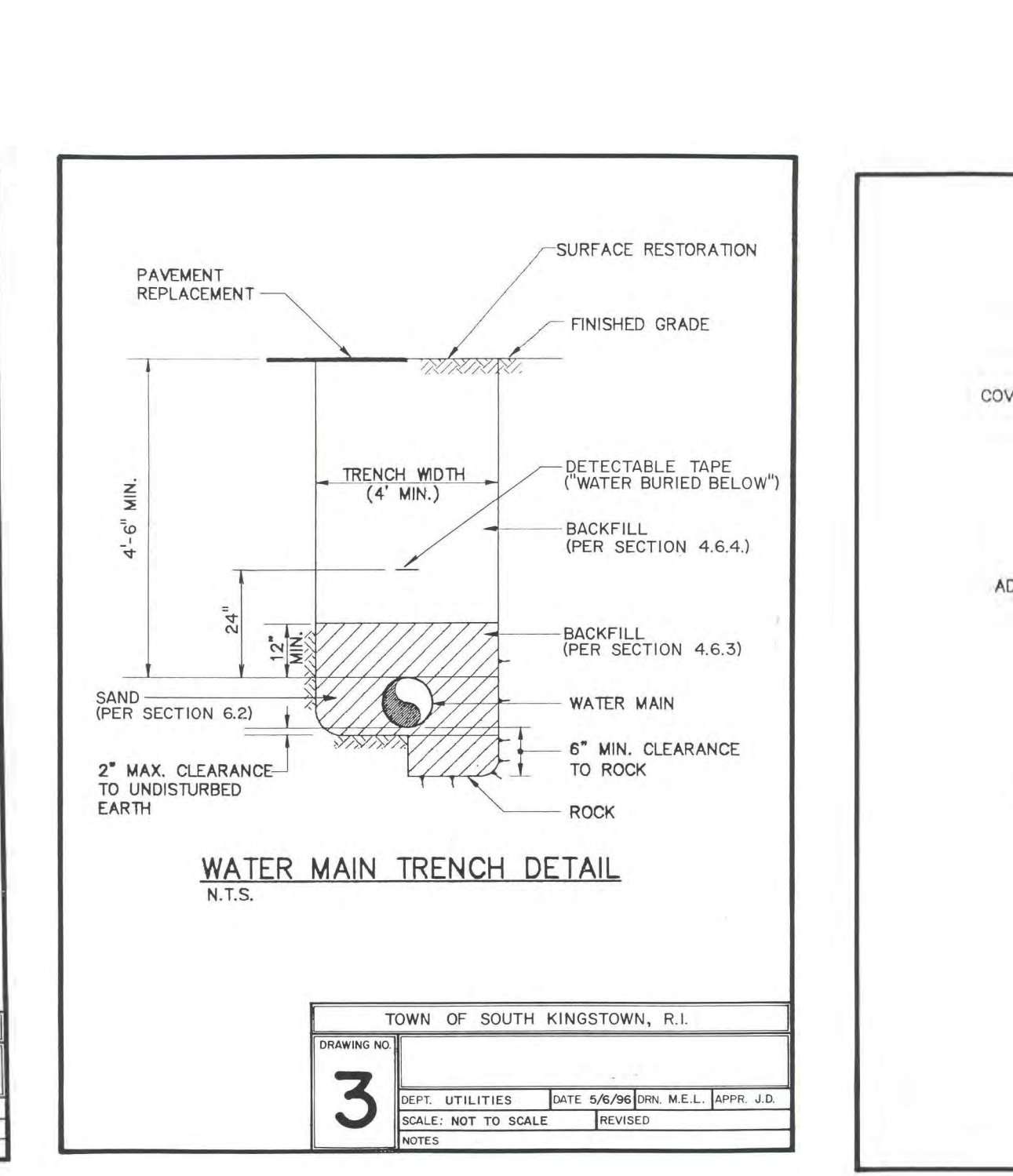
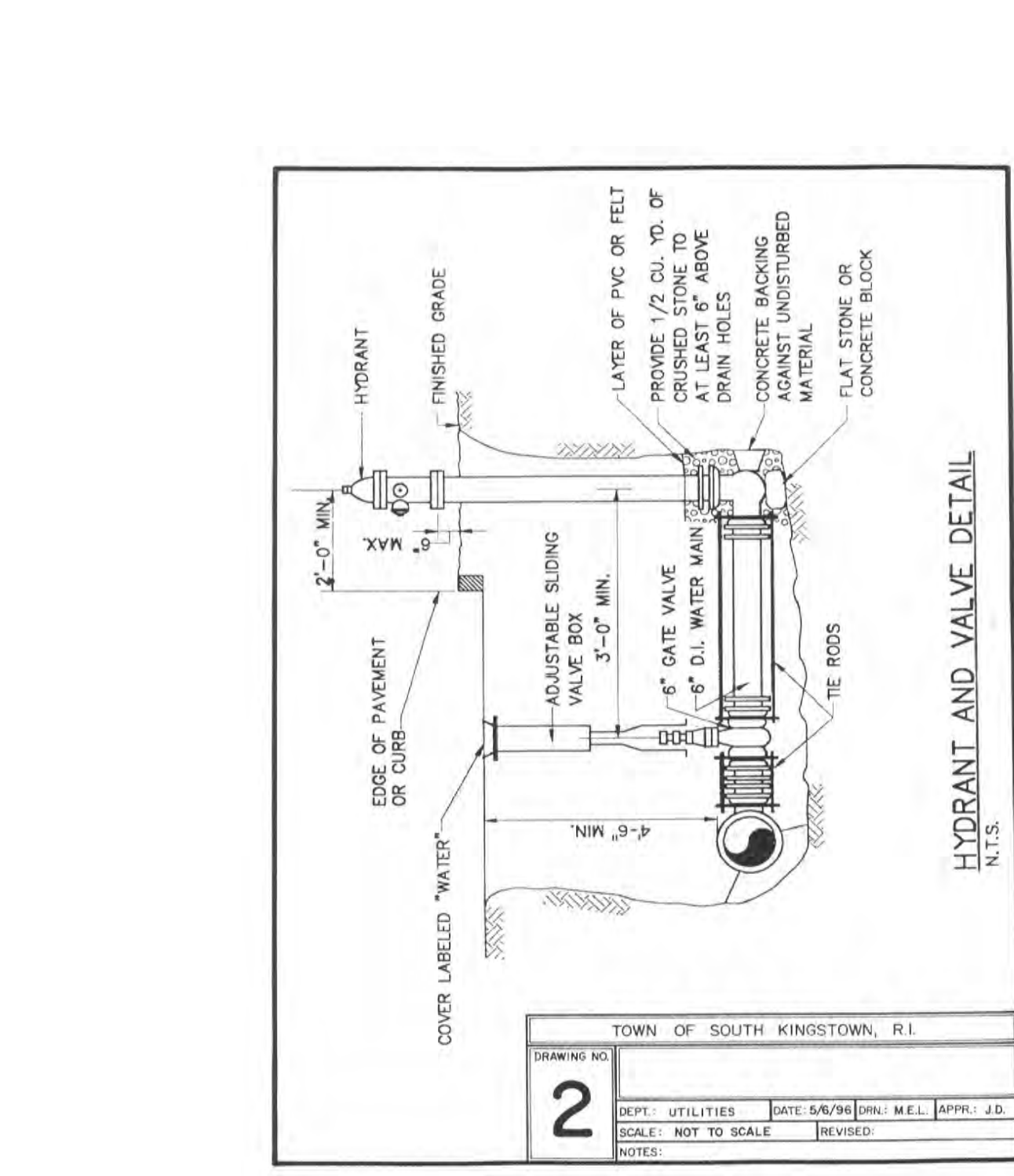
NO.	BY	DATE
1	J. L. G. / J. S. S.	JUNE 15, 1998

NO.	BY	DATE
1	J. L. G. / J. S. S.	JUNE 15, 1998

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NO.	BY	DATE
1	J. L. G. / J. S. S.	JUNE 15, 1998



MATERIAL LOCATION	DESCRIPTION	AASHTO M43 DESIGNATION	COMPACTION/DENSITY REQUIREMENT
(A) FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISH GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THIS LAYER.	ANY SOIL/ROCK MATERIALS, NATIVE SOILS, OR PER ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS.	N/A	PREPARE PER ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
(B) FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE (2 LAYERS TO 18\"/>			

PLEASE NOTE:  
 1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE.  
 2. AS AN ALTERNATE TO PROCTOR TESTING AND FIELD DENSITY MEASUREMENTS ON OPEN GRADED STONE, STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 9\"/>

- CHAMBER BASIS OF DESIGN CONSTRUCTION NOTES:
- CHAMBERS SHALL BE STORMTECH (SC-740 & SC-310, PER PLAN) OR APPROVED EQUIVAL.
  - CHAMBERS SHALL BE MADE FROM VIRGIN, IMPACT-MODIFIED POLYPROPYLENE COPOLYMERS.
  - CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBTSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORT PANELS THAT WOULD IMPIDE FLOW OR LIMIT ACCESS FOR INSPECTION.
  - THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12 ARE MET FOR: 1) LONG-DURATION DEAD LOADS AND 2) SHORT-DURATION LIVE LOADS, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCE.
  - CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F 2707, 'STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS'.
  - ONLY CHAMBERS THAT ARE APPROVED BY THE ENGINEER WILL BE ALLOWED. THE CONTRACTOR SHALL SUBMIT (3 SETS) OF THE FOLLOWING TO THE ENGINEER FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE:
    - A STRUCTURAL EVALUATION BY A REGISTERED STRUCTURAL ENGINEER THAT DEMONSTRATES THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12 ARE MET.
    - STRUCTURAL CROSS SECTION DETAIL ON WHICH THE STRUCTURAL CROSS SECTION IS BASED.
  - THE INSTALLATION OF CHAMBERS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S LATEST INSTALLATION INSTRUCTIONS.

**SLAM**  
 The S/L/A/M Collaborative  
 One Cedar Street  
 Suite 201  
 Providence, RI 02903  
 Phone: 401.563.7046  
 www.slamcoll.com

Drawn: **KJA/KKY**  
 Checked: **SSH**  
 GAROFALO & ASSOCIATES, INC.  
 CIVIL & STRUCTURAL ENGINEERS/SURVEYORS  
 LAND PLANNERS/ENVIRONMENTAL SCIENTISTS  
 85 CORLISS STREET, P.O. BOX 614  
 PROVIDENCE, RI 02940 (tel)401-273-6000

**SOUTH KINGSTOWN SCHOOL DISTRICT**  
 South Kingstown High School  
 215 Columbia Street  
 South Kingstown, RI 02879

**KEYPLAN**

Number Date Issued For

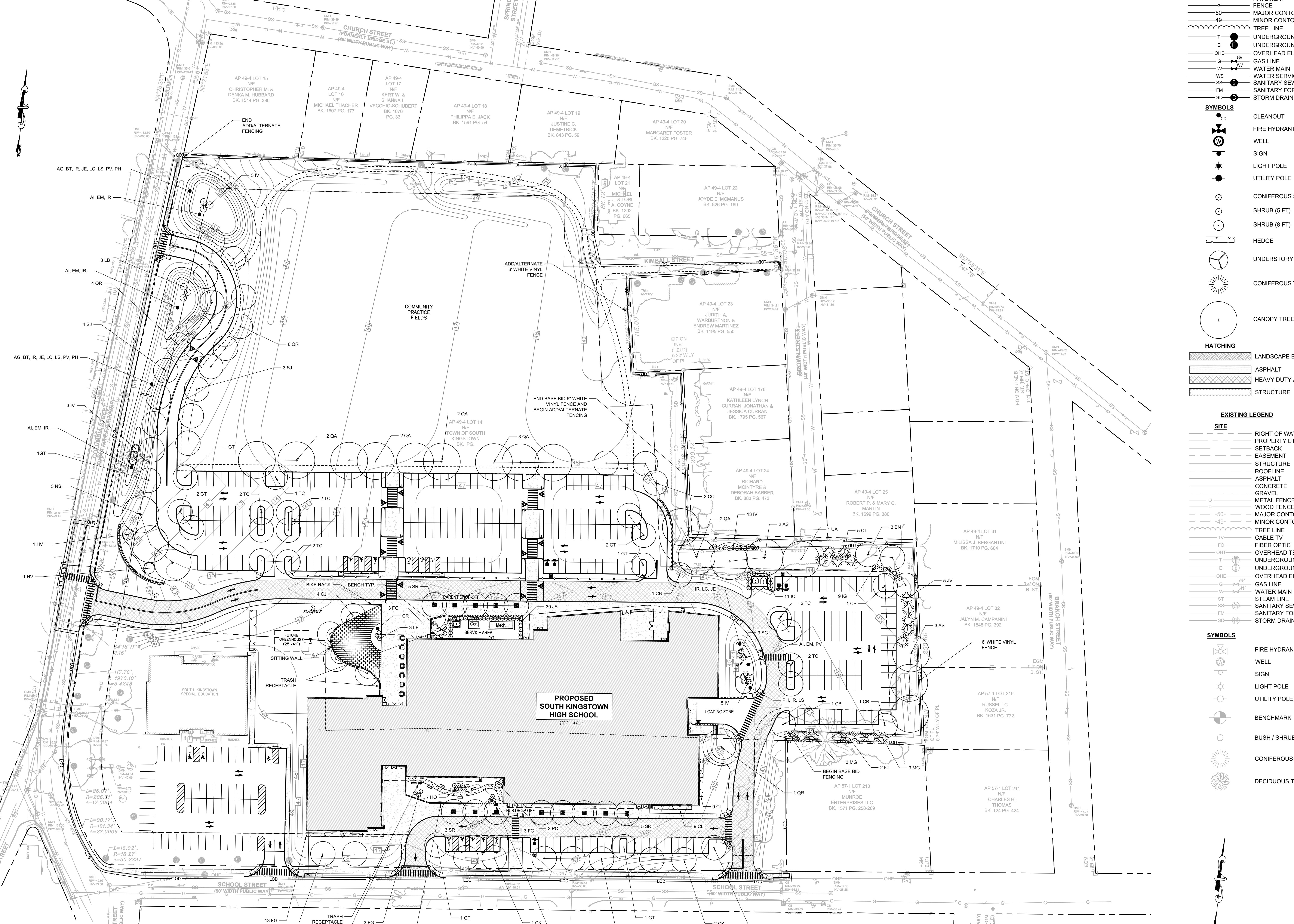
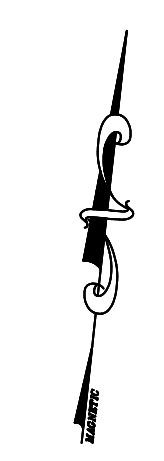
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**CONSTRUCTION DETAILS - 2**

Date: **[04/25/2025]** Drawing Number: **C-9**  
 Scale: **AS SHOWN**  
 Proj. Number: **[7458.00]**

MAJOR LAND DEVELOPMENT  
 SOUTH KINGSTOWN HIGH SCHOOL  
 A.P. 49-4 LOT 14 & AP 57-1 LOT 209  
 215 COLUMBIA STREET & 153 SCHOOL STREET  
 SOUTH KINGSTOWN, R.I. 02879  
 TOWN OF SOUTH KINGSTOWN  
 SOUTH KINGSTOWN SCHOOL DEPARTMENT  
 300 CURTISS CORNER RD.  
 SOUTH KINGSTOWN, RI 02879  
 ZONE: GOVERNMENT & INSTITUTIONAL - ED INSTITUTION  
 10/16/2022/2025  
 Zone "X"  
 Plat No. 44000203K  
 Effective Date: 4/3/2020





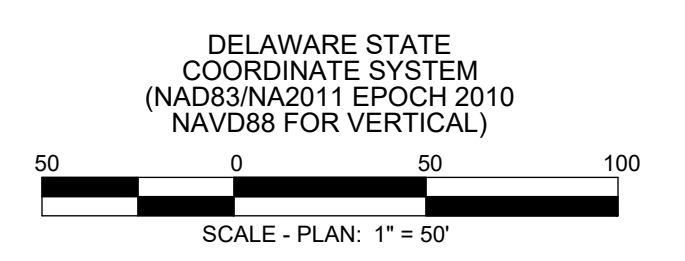
- PROPOSED LEGEND**
- SITE**
  - RIGHT OF WAY
  - PROPERTY LINE
  - - - SETBACK
  - - - EASEMENT
  - - - TCE
  - - - TEMPORARY EASEMENT
  - STRUCTURE
  - ROOFLINE
  - PAVEMENT
  - - - FENCE
  - 50 MAJOR CONTOUR
  - 40 MINOR CONTOUR
  - TREE LINE
  - UNDERGROUND TELECOM
  - UNDERGROUND ELECTRIC
  - OVERHEAD ELECTRIC
  - GAS LINE
  - WATER MAIN
  - WATER SERVICE
  - SANITARY SEWER
  - SANITARY FORCE MAIN
  - STORM DRAIN

- SYMBOLS**
- CLEANOUT
  - FIRE HYDRANT
  - WELL
  - SIGN
  - LIGHT POLE
  - UTILITY POLE
  - CONIFEROUS SHRUB (5 FT)
  - SHRUB (5 FT)
  - SHRUB (8 FT)
  - HEDGE
  - UNDERSTORY TREE (15 FT)
  - CONIFEROUS TREE (15 FT)
  - CANOPY TREE (30 FT)

- HATCHING**
- ▨ LANDSCAPE BED
  - ▨ ASPHALT
  - ▨ HEAVY DUTY ASPHALT
  - ▨ STRUCTURE

- EXISTING LEGEND**
- SITE**
  - RIGHT OF WAY
  - PROPERTY LINE
  - - - SETBACK
  - - - EASEMENT
  - - - STRUCTURE
  - - - ROOFLINE
  - - - ASPHALT
  - - - CONCRETE
  - - - GRAVE
  - - - METAL FENCE
  - - - WOOD FENCE
  - - - MAJOR CONTOUR
  - - - MINOR CONTOUR
  - - - TREE LINE
  - - - CABLE TV
  - - - FIBER OPTIC
  - - - OVERHEAD TELECOM
  - - - UNDERGROUND TELECOM
  - - - UNDERGROUND ELECTRIC
  - - - OVERHEAD ELECTRIC
  - - - GAS LINE
  - - - WATER MAIN
  - - - STEAM LINE
  - - - SANITARY SEWER
  - - - SANITARY FORCE MAIN
  - - - STORM DRAIN

- SYMBOLS**
- FIRE HYDRANT
  - WELL
  - SIGN
  - LIGHT POLE
  - UTILITY POLE
  - BENCHMARK
  - BUSH / SHRUB
  - CONIFEROUS TREE
  - DECIDUOUS TREE



One Cedar Street  
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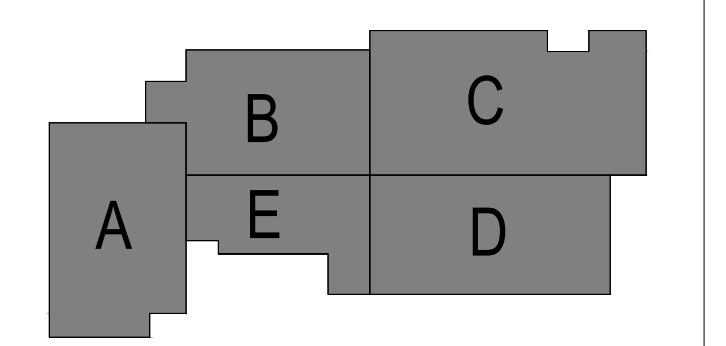
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Checked: BM



South Kingstown School District

South Kingstown High School

215 Columbia Street  
South Kingstown, RI 02879



KEYPLAN

Number	Date	Issued For

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CONSTRUCTION

LANDSCAPE PLAN

Date: 10/01/2024	Drawing Number: L100
Scale: 1" = 50'	Proj. Number: 240008

### PLANT SCHEDULE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	COND.	REMARKS
<b>LARGE CANOPY TREE</b>						
AS	5	ACER SACCHARUM	SUGAR MAPLE	2" + CALIPER		B&B
CJ	4	CERCIDIPHYLLUM JAPONICUM	KATSURA TREE	2" + CALIPER		B&B
CK	8	CLADRASTIS KENTUCKEA	AMERICAN YELLOWWOOD	2" + CALIPER		B&B
GT	10	GLEDITSIA TRIACANTHOS VAR. INERMIS	THORNLESS HONEYLOCUST	2" + CALIPER		B&B
NS	3	NYSSA SYLVATICA	BLACK GUM	2" + CALIPER		B&B
QA	11	QUERCUS ALBA	WHITE OAK	2" + CALIPER		B&B
QR	11	QUERCUS PRINOIDES	DWARF CHESTNUT OAK	2" + CALIPER		B&B
TC	11	TILIA CORDATA	LITTLELEAF LINDEN	2" + CALIPER		B&B
UA	1	ULMUS AMERICANA	AMERICAN ELM	2" + CALIPER		B&B
<b>MEDIUM CANOPY TREE</b>						
BN	3	BETULA NIGRA	RIVER BIRCH	2" + CALIPER	3 STEM MAX	B&B
CB	3	CARPINUS BETULUS	EUROPEAN HORNBEAM	2" + CALIPER		B&B
SJ	7	STYPHNOLOBIUM JAPONICUM	PAGODA TREE	2" + CALIPER		B&B
SR	13	SYRINGA RETICULATA	JAPANESE TREE LILAC	2" + CALIPER		B&B
<b>EVERGREEN TREE</b>						
CT	5	CHAMEACYPARIS THYOIDES	ATLANTIC WHITECEDAR	5 GALLON		B&B
JV	5	JUNIPERUS VIRGINIANA	EASTERN REDCEDAR	5 GALLON		B&B
MG	6	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	5 GALLON		B&B
<b>UNDERSTORY TREE</b>						
CC	3	CERCIS CANADENSIS	REDBUD	1.5" - 2" CALIPER		B&B
<b>SHRUBS</b>						
CL	18	CLETHRA ALNIFOLIA	SUMMERSWEET	1.5" - 3" HEIGHT		CONTAINER
FG	21	FOTHERGILLA GARDENII	DWARF FOTHERGILLA	1.5" - 3" HEIGHT		CONTAINER
HQ	7	HYDRANGEA QUERCIFOLIA	OAKLEAF HYDRANGEA	1.5" - 3" HEIGHT		CONTAINER
HV	2	HAMAMELIS VIRGINIANA	COMMON WITCHHAZEL	1.5" - 3" HEIGHT		CONTAINER
IC	13	ILEX CRENATA 'SKY PENCIL'	SKY PENCIL HOLLY	1.5" - 3" HEIGHT		CONTAINER
IV	24	ITEA VIRGINICA	VIRGINIA SWEETSPIRE	1.5" - 3" HEIGHT		CONTAINER
JS	30	JUNIPERUS SCOPULORUM	SKYROCKET JUNIPER	1.5" - 3" HEIGHT		CONTAINER
LB	3	LINDERA BENZOIN	SPICEBUSH	1.5" - 3" HEIGHT		CONTAINER
LF	3	LEUCOTHOE FONTANESIANA	COAST LEUCOTHOE	1.5" - 3" HEIGHT		CONTAINER
PC	3	PRUNUS X CISTENA	PURPLE-LEAF SAND CHERRY	1.5" - 3" HEIGHT		CONTAINER
SC	3	SAMBUCUS CANADENSIS	ELDERBERRY	1.5" - 3" HEIGHT		CONTAINER
<b>BIO-RETENTION PLANTINGS</b>						
AG		ANDROPOGON GERARDI	BIG BLUESTEM			CONTAINER
AI		ASCLEPIAS INCARNATA	SWAMP MILKWEED			CONTAINER
BT		BAPTISIA TINCTORIA	YELLOW WILD INDIGO			CONTAINER
EM		EUPATORIUM MACULATUM	SPOTTED JOE-PYE WEED			CONTAINER
IR		IRIS VERSICOLOR	BLUE IRIS			CONTAINER
JE		JUNCUS EFFUSUS	SOFT RUSH			CONTAINER
LC		LOBELIA CARDINALIS	CARDINAL FLOWER			CONTAINER
LS		LOBELIA SIPHILITICA	BLUE CARDINAL FLOWER			CONTAINER
PV		PANICUM VIRGATUM	SWITCHGRASS			CONTAINER
PH		PENSTEMON HIRSUTUS	NORTHERN BEARDOUONGUE			CONTAINER

### LANDSCAPING REQUIREMENTS

STREET LANDSCAPING	788 LINEAR FEET
LINEAR FEET OF PARKING ADJOINING PUBLIC STREET RIGHT-OF-WAY OPTION WITH OF YARD PLANTINGS REQUIRED PLANTINGS PROVIDED	12 FEET 5 ORNAMENTAL TREES PER 40 FEET = 99 ORNAMENTAL TREES 99 ORNAMENTAL TREES
PERIMETER LANDSCAPING	
LINEAR FEET OF PERIMETER WIDTH PLANTINGS REQUIRED PLANTINGS PROVIDED	1088 LINEAR FEET 10 FEET 1 TREE AND 3 SHRUBS PER 35 LINEAR FEET = 32 TREES AND 94 SHRUBS 32 TREES AND 96 SHRUBS
INTERIOR LANDSCAPING	
PARKING LOT 1 AREA REQUIRED LANDSCAPING PROVIDED LANDSCAPING ISLANDS PLANTING REQUIRED PLANTING PROVIDED	70,370 SQUARE FEET 10% OF PARKING AREA = 7,037 SQUARE FEET 6,494 SQUARE FEET 6 INTERMEDIATE ISLANDS, 12 HALF END ISLANDS, 506 LINEAR FEET OF DRIVE ISLANDS 12 TREES + 12 TREES + 16 TREES = 40 TREES 40 TREES
PARKING LOT 2 AREA REQUIRED LANDSCAPING PROVIDED LANDSCAPING ISLANDS PLANTING REQUIRED PLANTING PROVIDED	25,509 SQUARE FEET 8% OF PARKING AREA = 2,040 SQUARE FEET 1,290 SQUARE FEET 2 INTERMEDIATE ISLANDS, 1 HALF END ISLAND, 1 FULL END ISLAND 4 TREES + 1 TREES + 1 TREES = 6 TREES 6 TREES
PARKING LOT 3 AREA REQUIRED LANDSCAPING PROVIDED LANDSCAPING ISLANDS PLANTING REQUIRED PLANTING PROVIDED	5,800 SQUARE FEET 5% OF PARKING AREA = 290 SQUARE FEET 304 SQUARE FEET 2 HALF END ISLANDS 2 TREES 2 TREES
PARKING LOT 4 AREA REQUIRED LANDSCAPING PROVIDED LANDSCAPING ISLANDS PLANTING REQUIRED PLANTING PROVIDED	16,377 SQUARE FEET 5% OF PARKING AREA = 819 SQUARE FEET 1,774 SQUARE FEET 2 INTERMEDIATE ISLANDS, 1 HALF END ISLANDS, 3 FULL END ISLANDS 4 TREES + 1 TREES + 3 TREES = 8 TREES 8 TREES

### PLANT MATERIALS - SOUTH KINGSTOWN

PLANT MATERIALS SHALL CONFORM TO THE REQUIREMENTS DESCRIBED IN THE LATEST EDITION OF AMERICAN STANDARD FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN. PLANT MATERIALS SHALL BE SELECTED FROM THE PUBLICATION ENTITLED SUSTAINABLE TREES AND SHRUBS FOR SOUTHERN NEW ENGLAND, UNIVERSITY OF RHODE ISLAND AND UNIVERSITY OF MASSACHUSETTS COOPERATIVE EXTENSION SYSTEM, 2ND EDITION, 1995, OR LATEST AMENDMENT, AT TIME OF PLANTING, PLANTS SHALL CONFORM TO THE MEASUREMENTS SPECIFIED BELOW:

- STREET TREES AND SHADE TREES SHALL MEET THE REQUIREMENTS OF ARTICLE XIII, SECTION 13 OF THESE REGULATIONS.
- MINIMUM SIZE FOR SMALL EVERGREEN TREES OR LARGE SHRUBS SHALL BE SIX TO EIGHT (6-8) FEET IN HEIGHT.
- MINIMUM SIZE FOR LOW SHRUBS SHALL BE FOUR (4) FT. IN HEIGHT.
- SPACING OF SHRUBS AND OTHER PLANT MATERIALS WHICH ARE INTENDED TO PROVIDE A VISUAL AND/OR AUDIO SCREEN SHALL BE DETERMINED BY THE ANTICIPATED HEIGHT AND SPREAD OF THE PLANT AT MATURITY, BUT SHALL BE PLANTED IN STAGGERED ROWS SO AS TO ACHIEVE A DENSE APPEARANCE WITHIN ONE YEAR OF PLANTING, IN ADDITION TO PLANT MATERIALS, THE PLANNING BOARD MAY REQUIRE THE PLACEMENT OF A SIX-FOOT-HIGH OPAQUE FENCE OR OTHER BARRIER IF THE BOARD DETERMINES THAT THE INITIAL PLANTING WILL NOT ARCHIVE THE INTENDED SCREENING EFFECT WITHIN ONE YEAR OF PLANTING.
- ALL PLANTINGS SHALL BE MAINTAINED AND GUARANTEED A PERIOD OF ONE YEAR.

**PLANTING - SOUTH KINGSTOWN**  
THE SUBDIVIDER SHALL ENGAGE A RHODE ISLAND LICENSED ARBORIST TO BE ON SITE DURING PLANTING TO ENSURE THAT THE FOLLOWING STANDARDS AND PROCEDURES ARE OBSERVED DURING PLANTING:

- THE TOP 50% OF BURLAP AND WIRE BASKET SHALL BE REMOVED.
- ENOUGH SOIL FROM THE TOP OF THE ROOT BALL SHALL BE REMOVED TO EXPOSE TRUNK/ROOT FLARE.
- TORN OR RAGGED ROOTS SHALL BE PRUNED TO MAKE A CLEAN TERMINATION.
- TREES SHALL BE PLANTED IN BOWL-SHAPED HOLE THREE (3) TIMES THE WIDTH OF THE ROOT BALL.
- THE SOIL AT THE BOTTOM OF THE HOLE SHALL BE COMPACTED TO RESIST SETTLING OF THE TREE.
- SOIL THAT IS NUTRIENT DEFICIENT SHALL BE AMENDED BY THE ADDITION OF COMPOST PRIOR TO BACKFILLING THE HOLE.
- TREES SHALL BE PLANTED AT A DEPTH THAT ALLOWS FULL EXPOSURE OF TRUNK/ROOT FLARE.
- TREES SHALL BE STAKED AND GUYED, USING ARBOR TAPE THAT IS NOT PULLED TAUT.
- SOIL FROM THE PLANTING HOLE SHALL BE BUILT UP ALONG THE PERIMETER, TO ACT AS A DAM TO RETAIN WATER.
- TREES SHALL BE MULCHED WITH 2 (TWO) TO 3 (THREE) INCHES OF MULCH, KEEPING MULCH 3 (THREE) INCHES AWAY FROM TRUNK



The S/L/A/M Collaborative  
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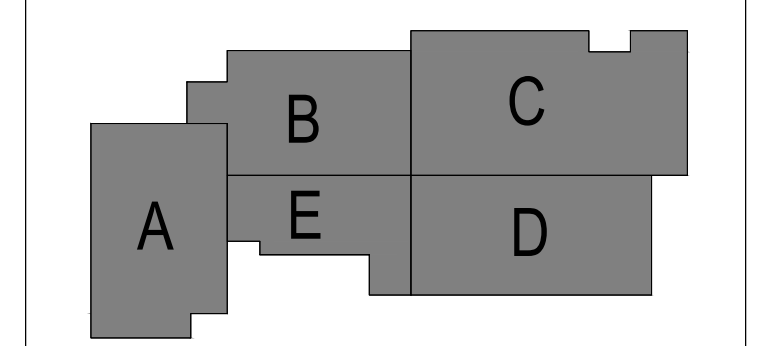
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Checked  
**BM**



South Kingstown School District

South Kingstown High School

215 Columbia Street  
South Kingstown, RI 02879



### KEYPLAN

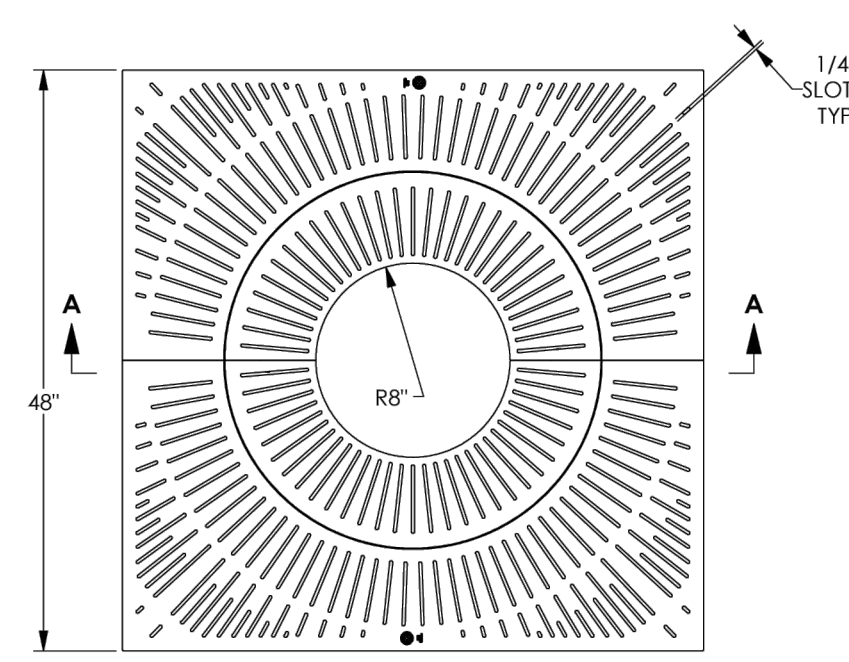
Number	Date	Issued For

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### LANDSCAPE PLAN

Date <b>10/01/2024</b>	Drawing Number <b>L100</b>
Scale <b>1" = 50'</b>	Proj. Number <b>240008</b>

### 8854 8654 SUNRAY NOVA Tree Grate Set



Product Number  
008854/02  
Design Features  
Materials  
Tree Grate  
Gray Iron (CL308)

Design Load  
Non-Traffic  
Open Area  
202 @ 20 IN.  
Casting  
Unpainted  
√/Designates Machined Surface

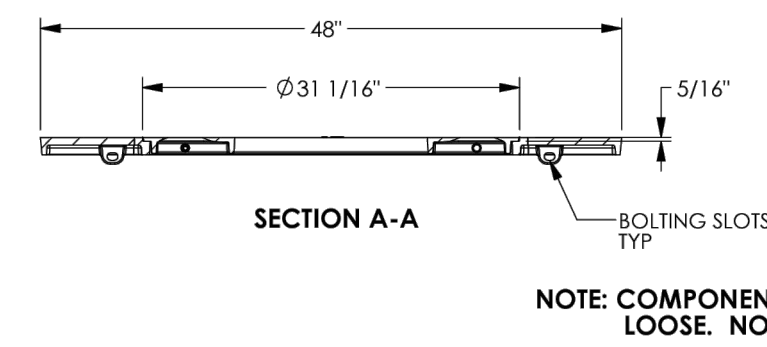
Certification  
ASTM A48  
A104  
Country of Origin: USA

Major Components  
008854/01  
008854/02

Drawing Revision  
10/01/2024 Designer: MAM  
Reviewed By:

Disclaimer  
The manufacturer warrants that the product is free from defects in material and workmanship under normal use and conditions. The manufacturer does not warrant the product for use in applications not intended by the manufacturer. The manufacturer is not responsible for any damage or injury resulting from the use of the product in any manner not intended by the manufacturer.

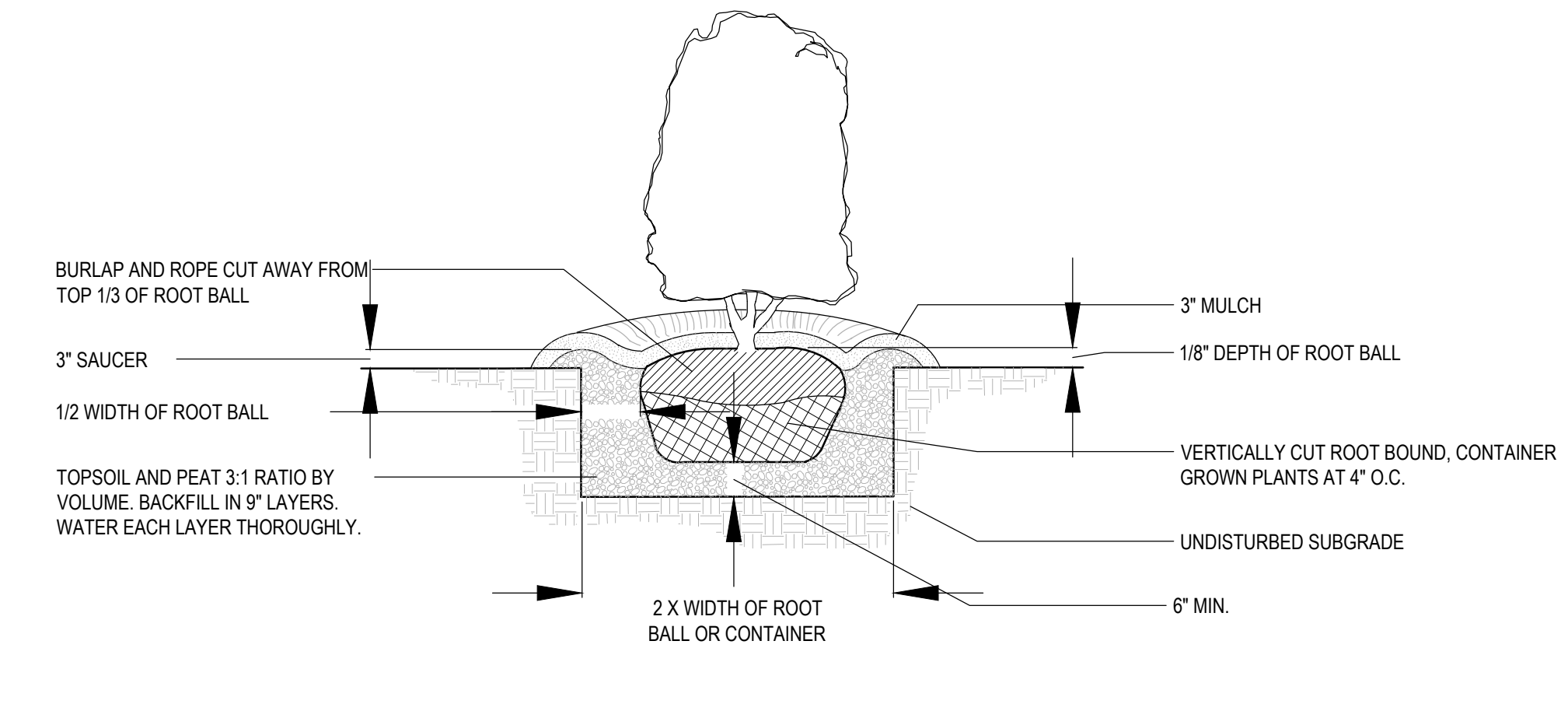
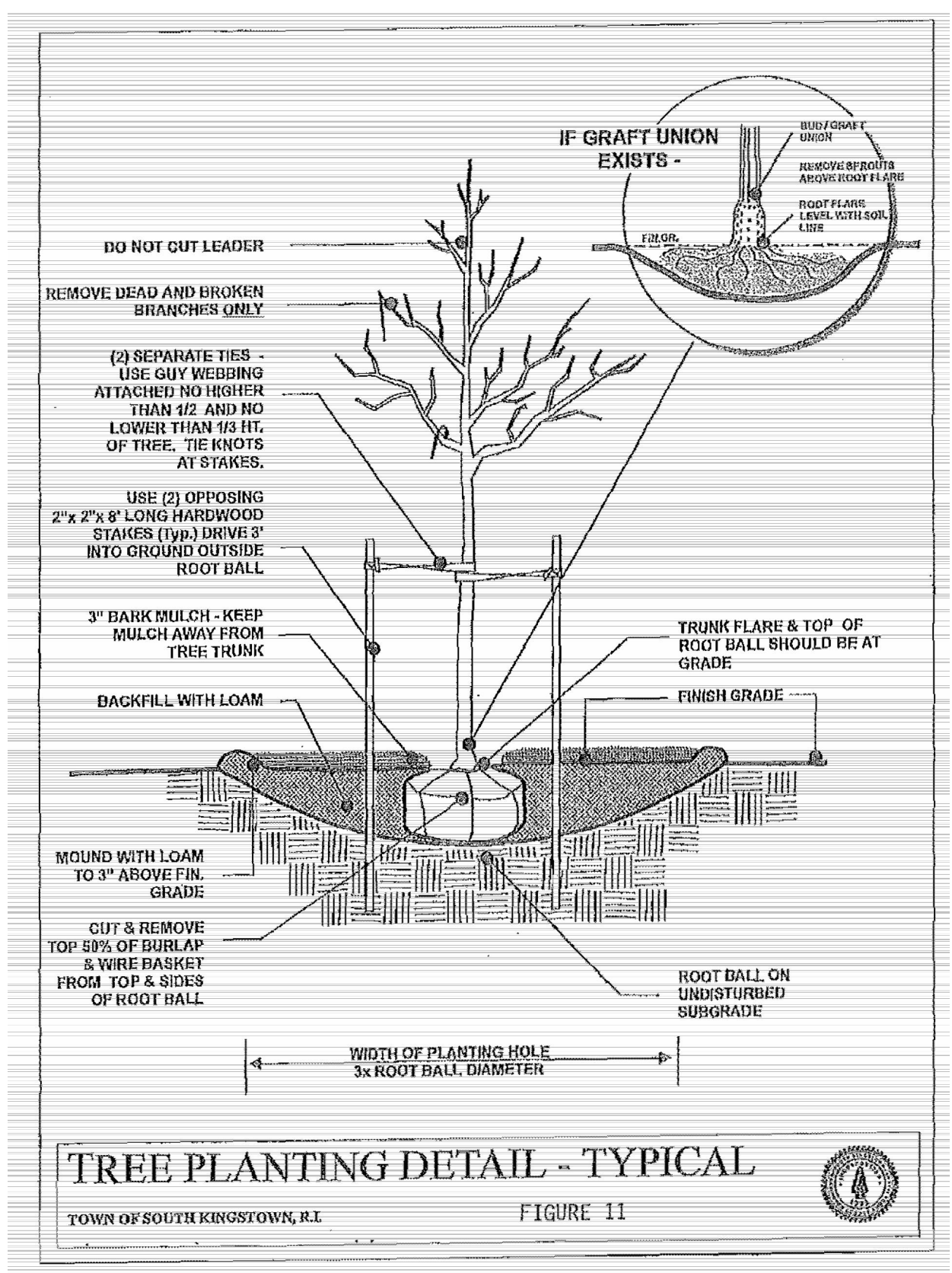
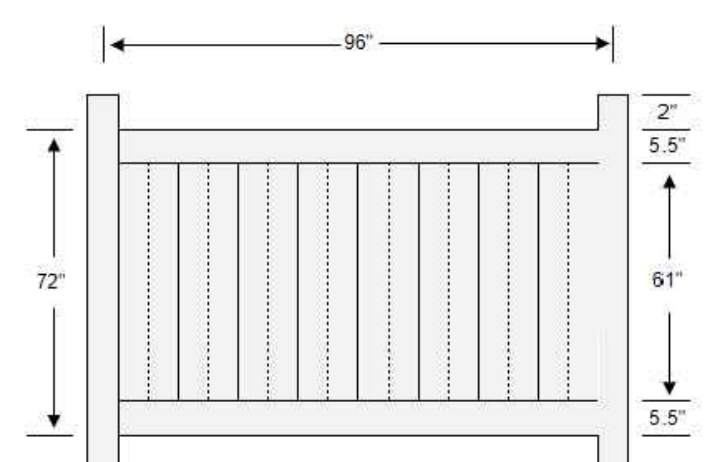
Contact  
800 528 4623  
800 528 4623



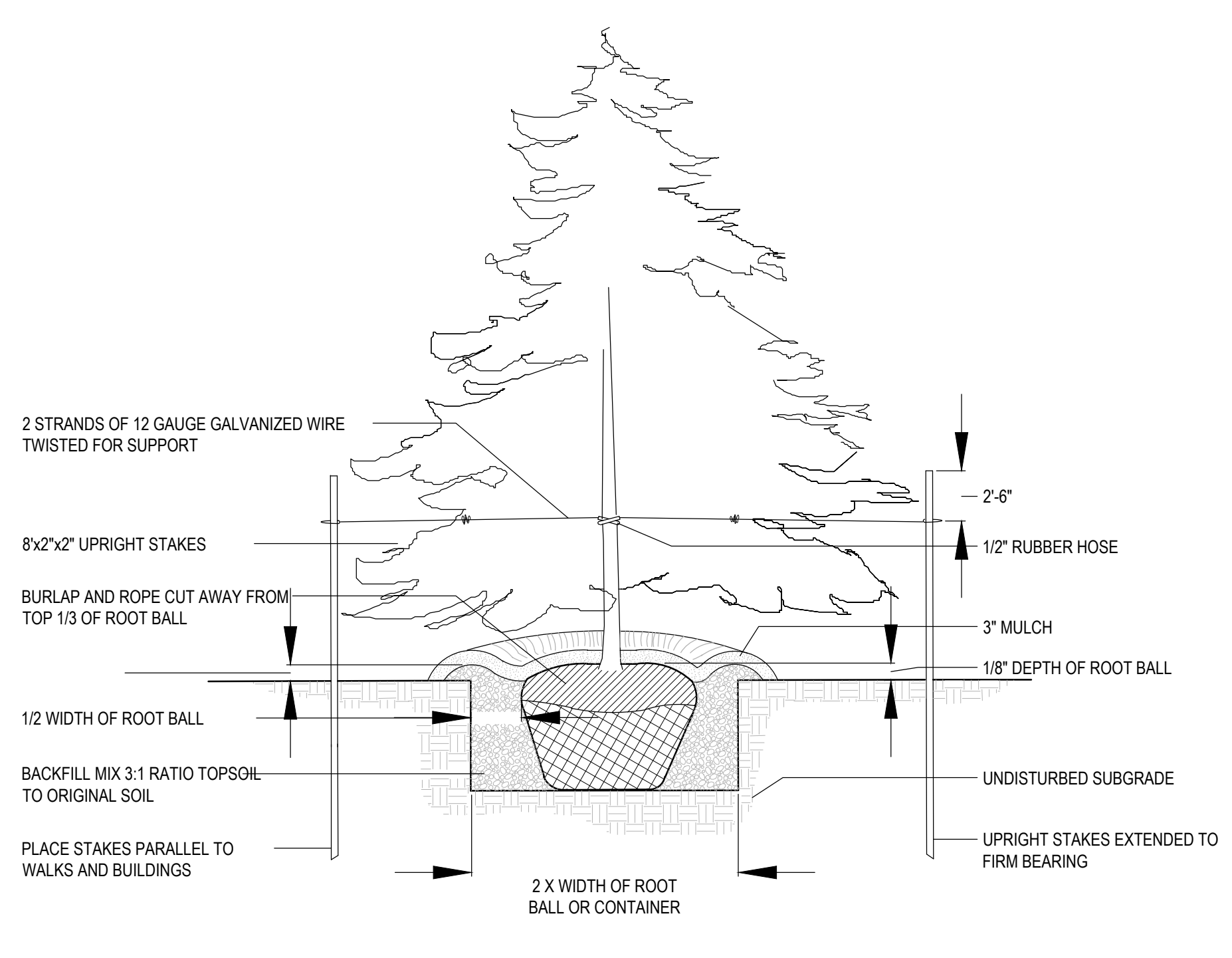
NOTE: COMPONENTS ARE SHIPPED LOOSE. NOT ASSEMBLED.

### Material List - 6x8 Panel

ITEM	QTY	DIMENSIONS
Top Rail	1	1.5" x 5.5" x 95.5"
Bottom Rail	1	1.5" x 5.5" x 95.5"
Metal	1	1.25" x 1.75" x 95.5"
U-Channel	2	1.25" x 1.5" x 61"
T&G Pickets	8	0.875" x 11.3" x 64.25"



SHRUB PLANTING DETAIL  
B&B AND CONTAINER GROWN  
NOT TO SCALE



EVERGREEN TREE PLANTING DETAIL  
B&B  
NOT TO SCALE

A

B

C

D

E



