

EXHIBIT I

PLAN & ELEVATION DISCLAIMER:
 THESE PLANS ARE FOR BUILDING PERMITS ONLY. FINAL FIXTURES, FINISH MATERIALS & CONSTRUCTION DETAILS MAY VARY AND WILL BE PER CODE AND PER THE FINAL CONTRACT DOCUMENTS. THE GRADES SHOWN ON THE HOUSEPLANS DO NOT REFLECT THE ACTUAL GRADES ON THE LOT. THE AMOUNT OF EXPOSED FOUNDATION AND THE ACTUAL NUMBER OF STEPS WILL BE DETERMINED ON SITE AND AT THE BUILDER'S DISCRETION.

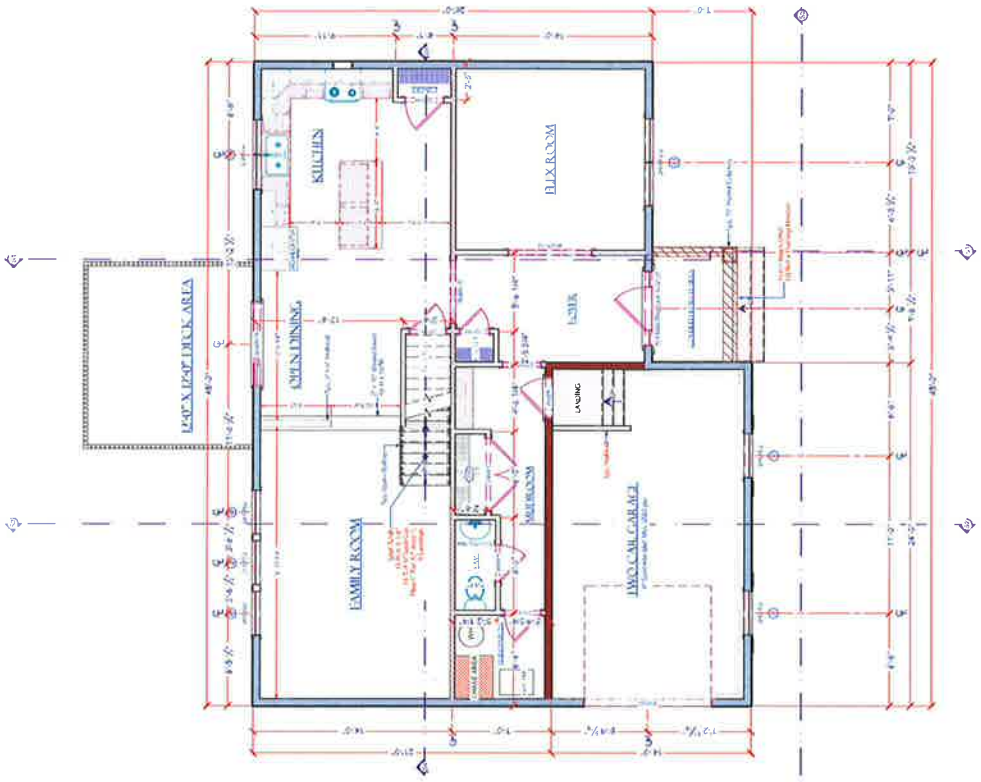
CLIENT INITIALS: _____

DATE: _____

PROJECT TITLE:
 The Chatham Affordable (LSE)

CLIENT INFORMATION:
 Mr. & Mrs. [Name]
 12345 Main Street
 Toronto, Ontario M1M 1M1
 Tel: (416) 123-4567
 Email: info@chathamaffordable.com

PROJECT INFORMATION:
 Drawn by: [Name]
 Checked by: [Name]
 Date: 11/27/24
 Scale: AS NOTED
 Sheet of 5
 SHEET: A-4



FIRST FLOOR LAYOUT PLAN
 1/4" = 1'-0"

FINISH SCHEDULE

NO.	DESCRIPTION	UNIT	QTY	REMARKS
1	Paint (Living Room)	Sq. Ft.	1,200	White
2	Paint (Kitchen)	Sq. Ft.	800	White
3	Paint (Bathroom)	Sq. Ft.	400	White
4	Paint (Bedroom)	Sq. Ft.	600	White
5	Paint (Hallway)	Sq. Ft.	200	White
6	Paint (Staircase)	Sq. Ft.	100	White
7	Paint (Deck)	Sq. Ft.	100	White

DOOR SCHEDULE

NO.	DESCRIPTION	UNIT	QTY	REMARKS
1	Living Room	Each	1	6'0" x 8'0"
2	Dining Room	Each	1	6'0" x 8'0"
3	Kitchen	Each	1	6'0" x 8'0"
4	Family Room	Each	1	6'0" x 8'0"
5	Bedroom	Each	1	6'0" x 8'0"
6	Bathroom	Each	1	6'0" x 8'0"
7	Hallway	Each	1	6'0" x 8'0"
8	Staircase	Each	1	6'0" x 8'0"
9	Deck	Each	1	6'0" x 8'0"

WINDOW SCHEDULE

NO.	DESCRIPTION	UNIT	QTY	REMARKS
1	Living Room	Each	1	6'0" x 8'0"
2	Dining Room	Each	1	6'0" x 8'0"
3	Kitchen	Each	1	6'0" x 8'0"
4	Family Room	Each	1	6'0" x 8'0"
5	Bedroom	Each	1	6'0" x 8'0"
6	Bathroom	Each	1	6'0" x 8'0"
7	Hallway	Each	1	6'0" x 8'0"
8	Staircase	Each	1	6'0" x 8'0"
9	Deck	Each	1	6'0" x 8'0"

FLOOR LEVEL SUMMARY

FLOOR LEVEL	NO. OF ROOMS	TOTAL AREA (SQ. FT.)	OUTLINE
FIRST FLOOR LEVEL	8	1,200	[Outline]
SECOND FLOOR LEVEL	2	400	[Outline]
TOTAL	10	1,600	

FINISH SCHEDULE

NO.	DESCRIPTION	UNIT	QTY	REMARKS
1	Paint (Living Room)	Sq. Ft.	1,200	White
2	Paint (Kitchen)	Sq. Ft.	800	White
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9	Deck	Each	1	6'0" x 8'0"

Disclaimer:

ClearVue Design Inc. And Our Employees Assume No Responsibility For Any Discrepancies Or Changes Made To Any Portion Of The Structure. Any Discrepancy In Structure Uniformity Such As Material Consistency, The Structure Being Plumb, Level, And Square Could Cause The Structure To Become Physically Unsafe. The Homeowner And Or Contractor/Builder Shall Verify All Plan Dimensions, Structural Details, And Building Codes Requirements. They Notify The Architect/Designer Of Any Dimensional Errors, Omissions Or Discrepancies Before Beginning Or Fabricating Any Work On The Project.

To The Best Of Our Knowledge These Plans Are Drawn To Comply With Owners' And/ Or Building Specifications And Other Plans Made On Their Alter Parts. We Made Will Be Verified On The Site. The Contractor Shall Verify All Dimensions And Enclosed Drawing.

ClearVue Design Inc. Is Not Liable For Errors Once Construction Has Begun. While Every Effort Has Been Made In The Preparation Of This Plan To Avoid Mistakes, The Maker Can Not Guarantee Against Human Error. The Contractor Of The Job Must Check All Dimensions And Other Details Prior To Construction And Be Specially Responsible Thereafter. Unforeseen Site Conditions:

Unforeseen Site Conditions May Cause A Deviation From The Construction Documents And All Dimensions Must Be Field Verified By Builder/Contractor And Sub-Contractors. It Is The Sole Responsibility Of The Builder/Contractor To Insure Structural Stability And Conformance To All Applicable Codes.

Final Grade & Site Conditions:
The Final Finish Grade Around The Structure May Vary From The Construction Documents Submitted. Due To Actual Unforeseen Site Conditions. The Number Of Steps To Meet The Finish Grade And Or Finish Floors Of Garage And Or House Shall Be As Required To Meet All Applicable Building & Civil Codes.

General Plan Notes:
Where Discrepancies Exist Between The Standard Comments And Notes From The Designer Professional Or The Code, The Most Restrictive Shall Apply. All Construction Shall Comply With State Building Codes.

All Dimensions, Notes, And Other Information Contained In These Drawings Are For Construction Purposes And Are Subject To Change. All Dimensions Must Be Field Verified By Builder/Contractor And Sub-Contractors. All Work Performed Is To Be In Accordance With All Local And State Building Codes.

CODE REVIEW SCHEDULE	
BUILDING CODE-1	MECHANICAL, PLUMBING, AND ELECTRICAL REQUIREMENTS
BUILDING CODE-2	REGULATIONS REGARDING STATE AND LOCAL FIRE DEPARTMENT REQUIREMENTS
PLUMBING CODE	REGULATIONS REGARDING PLUMBING, MECHANICAL, AND ELECTRICAL REQUIREMENTS
MECHANICAL CODE	REGULATIONS REGARDING MECHANICAL, PLUMBING, AND ELECTRICAL REQUIREMENTS
ELECTRICAL CODE	REGULATIONS REGARDING ELECTRICAL REQUIREMENTS
ENERGY CODE	REGULATIONS REGARDING ENERGY CONSERVATION CODES AND ENERGY EFFICIENCY REQUIREMENTS
FUEL GAS CODE	REGULATIONS REGARDING FUEL GAS REQUIREMENTS
HIGH WIND CODE	REGULATIONS REGARDING HIGH WIND REQUIREMENTS
R.I. FIRE SAFETY CODE	REGULATIONS REGARDING FIRE SAFETY REQUIREMENTS

CONSTRUCTION DESIGN CRITERIA

CONSTRUCTION TYPE	5B
LIVE & DEAD LOADS ALL FLOORS	40-PSF/LL 15-PSF/DL
TOTAL FLOOR LOADING	55-PSF
SNOW LIVE & DEAD LOADS ALL ROOFS	30-PSF/LL 15-PSF/DL
TOTAL ROOF LOADING	45-PSF
BALCONIES LIVE LOAD	60-PSF
DECKS LIVE LOAD	40-PSF/LL
UNINHABITABLE ATTICS LIVE LOAD	20-PSF
SOIL BEARING PRESSURE (ASSUMED)	2000-PSF
DESIGNED WIND EXPOSURE & WIND SPEED	B / ZONE-3 100-MPH
CLIMATE ZONE DESIGN LOCATION	5A
FROST DEPTH DESIGN	(4'-0")
BUILDING HEIGHT MAX. (FROM AVERAGE FRONT GRADE)	(35'-0")

PLAN COPIES AND REPRODUCTION

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THE CHATHAM TEMPLATE (LSE)

LABEL	TITLE
OC-1	DESIGN CRITERIA AND NOTES
G-1	GENERAL NOTES & BUILDING CODE NOTES
A-2	FOUNDATION LAYOUT PLAN
A-3	BASEMENT LAYOUT PLAN
A-4	1ST FLOOR LAYOUT PLAN
A-5	2ND FLOOR LAYOUT PLAN
A-6	EXTERIOR ELEVATION FRONT & REAR VIEWS
A-7	EXTERIOR ELEVATION LEFT & RIGHT SIDE VIEWS
A-8	CROSS SECTION DETAIL VIEWS S1 & S2
A-20	STANDARD DECK DETAILS UNLESS OTHERWISE NOTED
A-21	STANDARD SHEARWALL DETAILS
A-22	STANDARD SHEARWALL DETAILS

PLAN & ELEVATION DISCLAIMER:
THESE PLANS ARE FOR BUILDING PERMIT AND DESIGN/LAYOUT PURPOSES ONLY. FINAL FRAMING PLAN, MATERIALS & CONSTRUCTION DETAILS MAY VARY AND WILL BE PER CODE AND PER THE FINAL CONTRACT DOCUMENTS. THE GRADES SHOWN ON THE HOUSE PLANS DO NOT REFLECT THE ACTUAL GRADES ON THE LOT. THE AMOUNT OF EXPOSED FOUNDATION AND THE ACTUAL NUMBER OF STEPS WILL BE DETERMINED ON SITE AND AT THE BUILDER'S DISCRETION.

CLIENT INITIALS:

FLOOR LEVEL	TOTAL LIVING AREA (SQ. FT.)	FLOOR OUTLINE
BASEMENT LEVEL	0	
FIRST FLOOR LEVEL	1820	
SECOND FLOOR LEVEL	563	
TOTAL	2383	

LABEL	DATE	REVISION BY	DESCRIPTION

PROJECT TITLE: The Chatham Template (LSE)

PROJECT INFORMATION:
The Client: [Redacted]
The Designer: ClearVue Design Inc. & SMD
The Project: [Redacted]

CLIENT INFORMATION:
ClearVue Design
1111 Main Street
Providence, RI 02903
Tel: 401-940-8883
Web: www.clearvuedesign.com

DRAWN BY: [Redacted]
DATE: 11-20-24
SCALE: AS NOTED
SHEET OF: 1-12
SHEET: SHEET 1

OC-1

PLAN & ELEVATION DISCLAIMER:
 THESE PLANS ARE FOR BUILDING PERMITS AND FINAL FRAMING PLAN. MATERIALS & CONSTRUCTION DETAILS MAY VARY AND WILL BE PER CODE AND PER THE FINAL CONTRACT DOCUMENTS. THE GRADES SHOWN ON THE HOUSEPLANS DO NOT REFLECT THE ACTUAL GRADES ON THE SITE. THE GRADES WILL BE DETERMINED BY THE SURVEYOR AND THE ACTUAL NUMBER OF STEPS WILL BE DETERMINED ON SITE AND AT THE BUILDER'S DISCRETION.

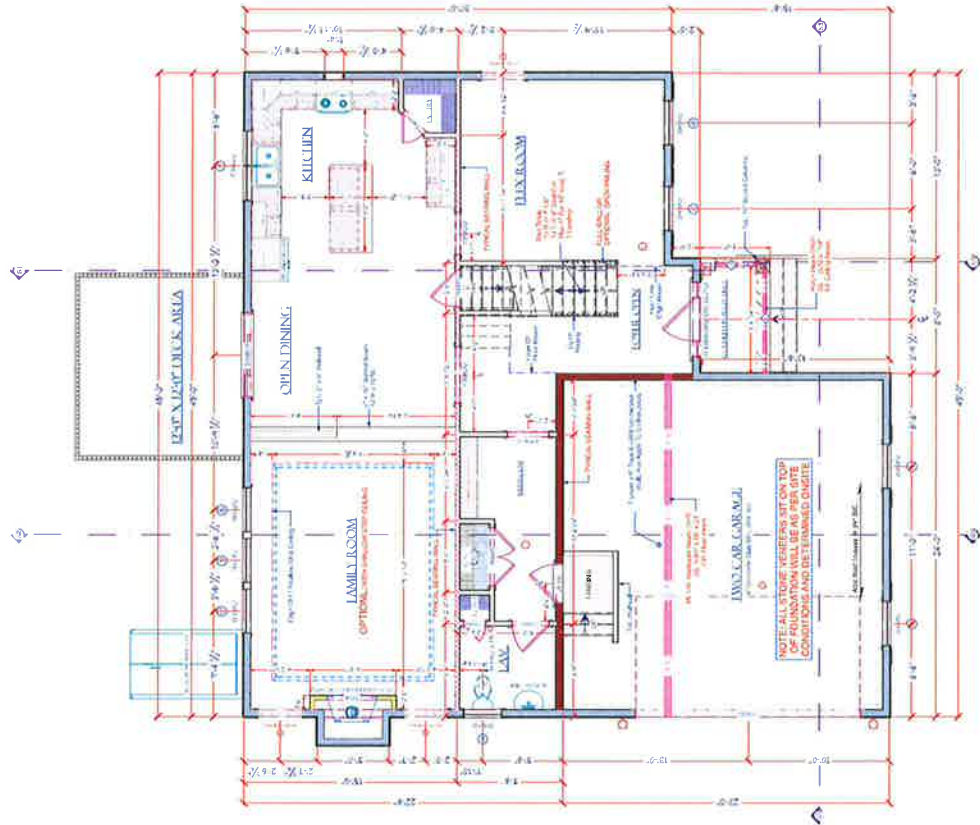
CLIENT INITIALS:

PROJECT TITLE:
 The Chatham Template (LSE)

PROJECT INFORMATION:
 The Chatham Template (LSE) - Owners: Blake & Berni
 10000 Hwy 100, Suite 100, Raleigh, NC 27617
 FIELDSTONE (2024) 2024-058
 (Fieldstone Plans/Cad-Files)

CLIENT INFORMATION:
 ClearVie Design
 Philip C. Calhoun
 (410) 940-8833
 M: 410-940-8833
 Email: philip@clearviedesign.com

DRAWN BY:
 Philip C. Calhoun
DATE:
 11/26/24
SCALE:
 AS NOTED
SHEET OF:
 5 OF 12
SHEET:
 A-4



1ST FLOOR LAYOUT PLAN
 W/IN=1/11'

FINISH SCHEDULE

NO.	DESCRIPTION	UNIT	QTY	UNIT PRICE	TOTAL
1	Paint (Interior)	sq ft	1000	1.50	1500.00
2	Paint (Exterior)	sq ft	500	2.00	1000.00
3	Carpet	sq ft	200	10.00	2000.00
4	Hardwood	sq ft	100	15.00	1500.00
5	Tile	sq ft	50	20.00	1000.00
6	Plaster	sq ft	100	1.00	100.00
7	Drywall	sq ft	100	1.00	100.00
8	Insulation	sq ft	100	1.00	100.00
9	Roofing	sq ft	100	1.00	100.00
10	Foundation	sq ft	100	1.00	100.00

FOUNDATION SCHEDULE

NO.	DESCRIPTION	UNIT	QTY	UNIT PRICE	TOTAL
1	Foundation	sq ft	100	1.00	100.00
2	Foundation	sq ft	100	1.00	100.00
3	Foundation	sq ft	100	1.00	100.00

MECHANICAL SCHEDULE

NO.	DESCRIPTION	UNIT	QTY	UNIT PRICE	TOTAL
1	MECHANICAL	sq ft	100	1.00	100.00
2	MECHANICAL	sq ft	100	1.00	100.00
3	MECHANICAL	sq ft	100	1.00	100.00

MECHANICAL SCHEDULE

NO.	DESCRIPTION	UNIT	QTY	UNIT PRICE	TOTAL
1	MECHANICAL	sq ft	100	1.00	100.00
2	MECHANICAL	sq ft	100	1.00	100.00
3	MECHANICAL	sq ft	100	1.00	100.00

TOUCH LIVING AREA FINISH

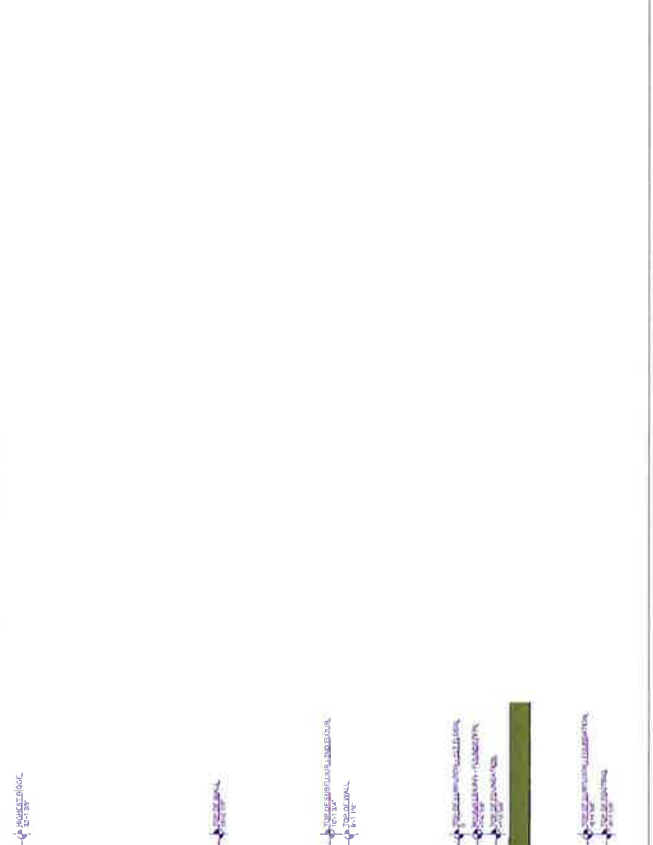
FLOOR LEVEL	TOUCH LIVING AREA FINISH	FLOOR AREA (SQ FT)	FINISH
BASMENT LEVEL	TOUCH LIVING AREA FINISH	0	TOUCH LIVING AREA FINISH
FIRST FLOOR LEVEL	TOUCH LIVING AREA FINISH	100	TOUCH LIVING AREA FINISH
SECOND FLOOR LEVEL	TOUCH LIVING AREA FINISH	500	TOUCH LIVING AREA FINISH

MECHANICAL SCHEDULE

NO.	DESCRIPTION	UNIT	QTY	UNIT PRICE	TOTAL
1	MECHANICAL	sq ft	100	1.00	100.00
2	MECHANICAL	sq ft	100	1.00	100.00
3	MECHANICAL	sq ft	100	1.00	100.00

FINISH SCHEDULE

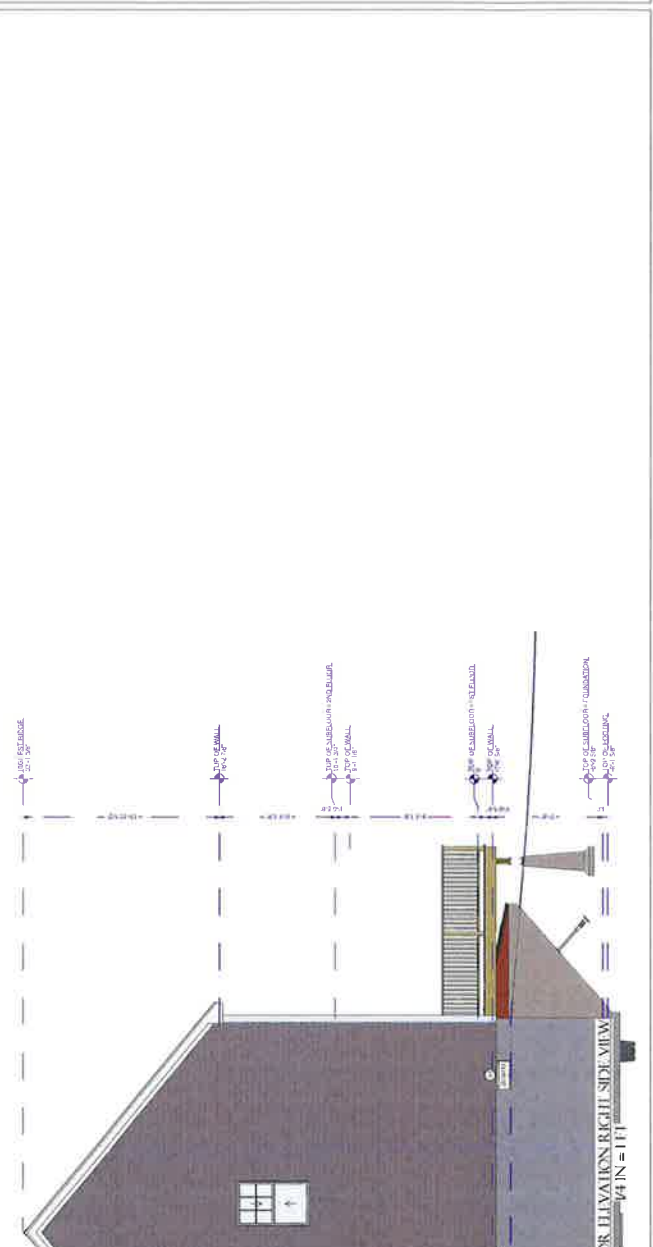
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CLIENT INITIALS: _____



DRAWN BY: Philip C. Caldar	DATE: 11/20/24	SCALE: AS NOTED	SHEET OF: 7 OF 12	SHEET: A-6
--------------------------------------	--------------------------	---------------------------	-----------------------------	----------------------

CLIENT INFORMATION:
 The Client's Name: _____
 Site Address: _____
 City/State/Zip: _____
 Phone: _____
 Email: _____

PLAN & ELEVATION DISCLAIMER:
 THESE PLANS ARE PRELIMINARY PROPOSALS ONLY. THE FINAL FRAMING PLAN, MATERIALS & CONSTRUCTION DETAILS MAY VARY AND WILL BE PER CODE AND PER THE FINAL CONTRACT DOCUMENTS. THE GRADES SHOWN ON THE HOUSEPLANS DO NOT REFLECT THE ACTUAL GRADES ON THE LOT. THE NUMBER OF STEPS WILL BE DETERMINED ON SITE AND AT THE BUILDER'S DISCRETION.
 CLIENT INITIALS: _____



DISCLAIMER: Clearvue Design, Inc. And Or Its Employees Assume No Responsibility For Any Discrepancies, Omissions, Or Changes Made To Any Portion Of The Structure, Any Occupancy In Structure, Unworkability, Such As Material Inconsistency, The Structure Being Plumb, Level, And Square Could Cause The Structure To Become Physically Unsafe, The Homeowner And Or Contractor/Builder Shall Verify All Plan Dimensions, Structural Details, And Building Codes Requirements, Then Notify The Architect/Designer Of Any Dimensional Errors, Omissions Or Discrepancies Before Beginning Of Fabricating Any Components And Reproduction. To The Best Of Our Knowledge These Plans Are Drawn To Comply With Owner's And Or Builder's Specifications And Any Changes Made On Them After Prints Are Made Will Be Done At The Owner's And Or Builder's Expense And Responsibility. The Contractor Shall Verify All Dimensions And Enclosed Drawing. Clearvue Design, Inc. Is Not Liable For Errors Once Construction Has Begun, While Every Effort Has Been Made In The Preparation Of This Plan To Avoid Mistakes, The Maker Can Not Guarantee Against Human Error. The Contractor Of The Job Must Check All Dimensions And Other Details Prior To Construction And Be Solely Responsible Thereafter. **Unforeseen Site Conditions:** Unforeseen Site Conditions May Cause A Deviation From The Construction Documents And All Dimensions Must Be Field Verified By Builder/Contractor And Sub-Contractors. It Is The Sole Responsibility Of The Builder/Contractor To Insure Structural Stability And C Informing All Applicable Codes. **Final Construction Conditions:** The Final Construction Conditions May Vary From The Construction Documents Submitted Due To Actual Unforeseen Site Conditions. The Number Of Stairs To Meet The Finish Grade And Or Finish Floors Of Garage And Or House Shall Be As Required To Meet All Applicable Building & Civil Codes.

General Plan Notes: Where Discrepancies Exist Between The Standard Comments And Notes From The Design Professional Or The Code, The Most Restrictive Shall Apply. All Construction Shall Comply With State Building Codes. All Dimensions, Notes, And Other Information Conveyed In These Drawings Are For Construction Purposes And Are Subject To Change. All Dimensions Must Be Field Verified By Builder/Contractor And Sub-Contractors. All Work Performed Is To Be In Accordance With All Local And State Building Codes.



THE OAKRIDGE PLAN (LSE)

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PROJECT INFORMATION:
 PROJECT NAME: INFORMATION
 PROJECT NUMBER: 2024/2024-058
 PROJECT DATE: 11/27/24
 PROJECT LOCATION: THE OAKRIDGE PLAN (LSE) - ALBANY
 PROJECT ARCHITECT: CLEARVUE DESIGN INC.
 PROJECT ENGINEER: PHILIP G. GALABRO
 PROJECT CONTRACTOR: PHILIP G. GALABRO

CLIENT INFORMATION:
 Client: Clearvue Design Inc.
 101 W. Main St.
 Albany, NY 12202
 Phone: 518-866-1111
 Email: info@clearvue.com
 Website: www.clearvue.com

PROJECT INFORMATION:
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 PROJECT ENGINEER: PHILIP G. GALABRO
 PROJECT CONTRACTOR: PHILIP G. GALABRO

TOTAL LIVING AREA BY FLOOR	
FLOOR LEVEL NAME	LEVEL TOTAL LIVING AREA (SQ.FT.)
BASINMENT FLOOR LEVEL	0
FIRST FLOOR LEVEL	702
SECOND FLOOR LEVEL	1010
TOTAL S.	1712

DISCLAIMER: This plan is for building permit and design/layout purposes. Final framing plans, framing materials and construction details may vary and will be in accordance with State Building Codes and per the contract documents. The grades shown on the house plans do not reflect the actual grades on the lot. The amount of exposed foundation and the actual number of exterior steps and garage steps will be determined on-site and at the builder's discretion.

CONSTRUCTION DESIGN CRITERIA

- OCCUPANCY TYPE: R3
- CONSTRUCTION TYPE: SB
- LIVE & DEAD LOADS ALL FLOORS: 40-PSF/LL 15-PSF/DL
- TOTAL FLOOR LOADING: 55-PSF
- SNOW LIVE & DEAD LOADS ALL ROOFS: 30-PSF/LL 15-PSF/DL
- TOTAL ROOF LOADING: 45-PSF
- BALCONIES LIVE LOAD: 60-PSF
- DECKS LIVE LOAD: 40-PSF/LL
- UNINHABITABLE ATTICS LIVE LOAD: 20-PSF
- SOIL BEARING PRESSURE (ASSUMED): 2000-PSF
- DESIGNED WIND EXPOSURE & WIND SPEED: B / ZONE-1 100-MPH
- CLIMATE ZONE DESIGN LOCATION: 5A
- FROST DEPTH DESIGN: (4'-0")
- BUILDING HEIGHT MAX. (FROM AVERAGE FRONT GRADE): (35'-0")

CODE REVIEW SCHEDULE

BUILDING CODE-1	IBC-12031 RHODE ISLAND BUILDING CODE
BUILDING CODE-2	IBC-32021 RHODE ISLAND STATE ONE AND TWO FAMILY DWELLINGS
ENERGY CODE	IBC-32021 RHODE ISLAND ENERGY CONSERVATION CODE
PLUMBING CODE	IBC-32016 RHODE ISLAND PLUMBING CODE
MECHANICAL CODE	IBC-32011 RHODE ISLAND MECHANICAL CODE
FUEL GAS CODE	IBC-12027 RHODE ISLAND FUEL & GAS CODE
ELECTRICAL CODE	NEC ELECTRICAL CODE 2020 EDITION
MECHANICAL CODE	IBC-32011 RHODE ISLAND MECHANICAL CODE
HIGH WIND CODE	IBC-32021 Rhodn Island Building Code
RL FIRE SAFETY CODE	UNIFORM FIRE CODE OF THE NATIONAL FIRE PROTECTION ASSOCIATION
	IBC STANDARD 1 (IFPA 1.5.10.1) 2018 EDITION, WITH AMENDMENTS

LAYOUT PAGE TABLE

LABEL	TITLE
C-1	DESIGN CRITERIA AND NOTES
G-1	GENERAL NOTES & BUILDING CODE NOTES
A-2	1ST FLOOR LAYOUT PLAN
A-3	ALL EXTERIOR ELEVATIONS
A-4	ALL CROSS SECTION DETAIL VIEWS
A-5	ALL FLOOR FRAMING LAYOUT PLANS
A-6	ALL HEADER & WALL FRAMING LAYOUT PLANS
A-7	STANDARD DETAILS UNLESS OTHERWISE NOTED
A-8	STANDARD DECK DETAILS UNLESS OTHERWISE NOTED

REVISION TABLE

LABEL	DATE	REVISION BY	REVISION FOR
REV-1	11/27/24	PHILIP G. GALABRO	PRELIM REVIEW

CLIENT INFORMATION:
 Client: Clearvue Design Inc.
 101 W. Main St.
 Albany, NY 12202
 Phone: 518-866-1111
 Email: info@clearvue.com
 Website: www.clearvue.com

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 PROJECT CONTRACTOR: PHILIP G. GALABRO

CLIENT INFORMATION:
 Client: Clearvue Design Inc.
 101 W. Main St.
 Albany, NY 12202
 Phone: 518-866-1111
 Email: info@clearvue.com
 Website: www.clearvue.com

PROJECT INFORMATION:
 PROJECT NAME: INFORMATION
 PROJECT NUMBER: 2024/2024-058
 PROJECT DATE: 11/27/24
 PROJECT LOCATION: THE OAKRIDGE PLAN (LSE) - ALBANY
 PROJECT ARCHITECT: CLEARVUE DESIGN INC.
 PROJECT ENGINEER: PHILIP G. GALABRO
 PROJECT CONTRACTOR: PHILIP G. GALABRO

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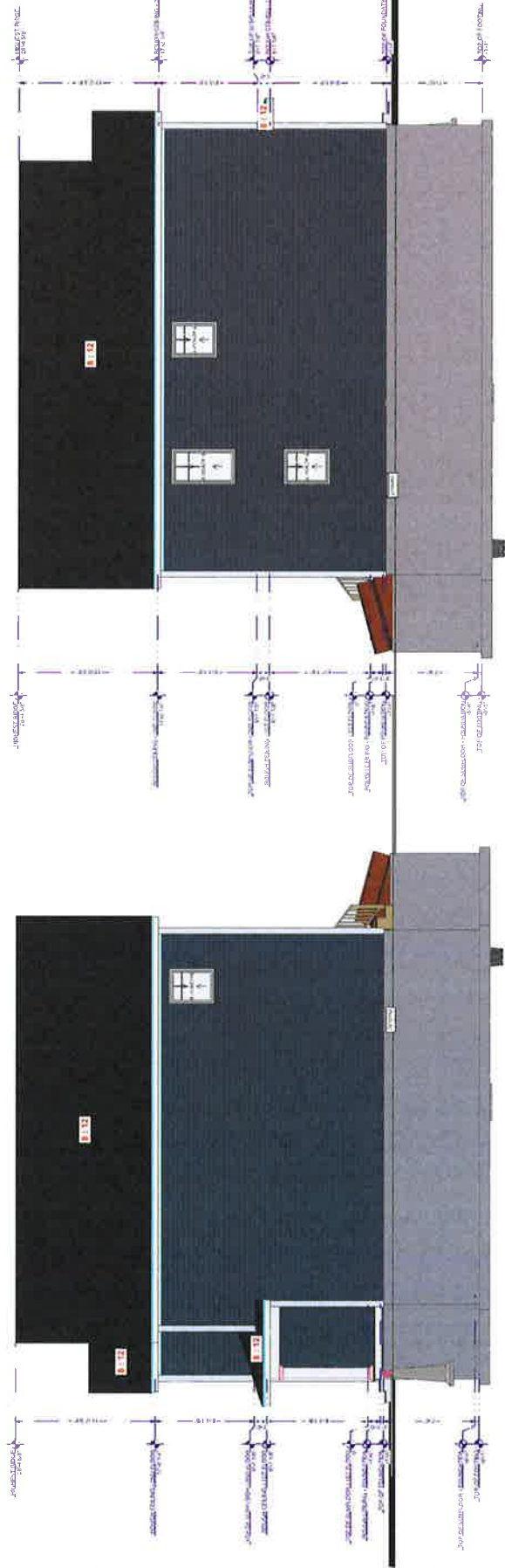
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 PROJECT CONTRACTOR: PHILIP G. GALABRO

CLIENT INFORMATION:
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 101 W. Main St.
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 Phone: 518-866-1111
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 Website: www.clearvue.com

DISCLAIMER:
 This plan is for building permit and design/layout purposes. Final framing plans, finishing materials and construction details may vary and will be in accordance with applicable building codes and manufacturer's instructions. The amount of exposed foundation and the actual number of exterior steps and garage steps will be determined on-site and at the builder's discretion.



PROJECT TITLE:
 The Oakridge Plan (LSE)

PROJECT INFORMATION:
 The Oakridge Plan (LSE) - Urban
 1800 West 10th Street, Suite 100
 Edmonton, Alberta T6R 0L7
 (780) 483-7222 / 202-495-1115
 E-MAIL: info@celdesign.com

CLIENT INFORMATION:
 Celvive Design Inc.
 1800 West 10th Street, Suite 100
 Edmonton, Alberta T6R 0L7
 (780) 483-7222 / 202-495-1115
 E-MAIL: info@celdesign.com

CEL DESIGN INC.
 E A R
 Celvive Design Inc.
 1800 West 10th Street, Suite 100
 Edmonton, Alberta T6R 0L7
 (780) 483-7222 / 202-495-1115
 E-MAIL: info@celdesign.com

DRAWN BY:	DATE:
PROJECT:	11/27/24
SCALE:	
AS NOTED	
SHEET OF	4
SHEET	4

A-3

DISCLAIMER: Clearvue Design, Inc. And Or Its Employees Assume No Responsibility For Any Dimensional Discrepancies, Or Changes Made To Any Portion Of The Structure, Any Discrepancy In Structure Uniformity, Such As Material Consistency, The Structure Being Plumb, Level, And Square Could Cause The Structure To Become Physically Unsafe, The Homeowner And Or Contractor/Builder Shall Verify All Plan Dimensions, Structural Details, And Building Codes Requirements, Then Notify The Architect/Designer Of Any Dimensional Errors, Omissions Or Discrepancies Before Beginning Or Fabricating Any Work On The Project.

Clearvue Design, Inc. These Plans Are Drawn To Comply With Owners And/Or Building Codes, And Other Codes, Ordinances, And Regulations, And Where Applicable, One At The Owners And/Or Builders Expense And Responsibility, The Contractor Shall Verify All Dimensions And Encompassed Drawing.

Clearvue Design, Inc. Is Not Liable For Errors Once Construction Has Begun, While Every Effort Has Been Made In The Preparation Of This Plan To Avoid Mistakes, The Maker Can Not Guarantee Against Human Error. The Contractor Of The Job Must Check All Dimensions And Other Details Prior To Construction And Be Solely Responsible Thereafter.

Unforeseen Site Conditions: Unforeseen Site Conditions May Cause A Deviation From The Construction Documents And All Dimensions Must Be Field Verified By Builder/Contractor And Sub-Contractors. It Is The Sole Responsibility Of The Builder/Contractor To Insure Structural Stability And A Compliance With All Applicable Codes.

Final Grading & Site Conditions: The Final Grading And Site Conditions May Vary From The Construction Documents Shown On The Plans. The Contractor Shall Verify All Dimensions, Grades, Slopes, Etc. For The Finish Grade And Or Finish Floors Of Garage And Or House Shall Be As Required To Meet All Applicable Building & Civil Codes.

General Plan Notes: Where Discrepancies Exist Between The Standard Comments And Notes From The Design Professional Or The Code, The Most Restrictive Shall Apply. All Construction Shall Comply With State Building Codes.

All Dimensions, Notes, And Other Information Conveyed In These Drawings Are For Construction Purposes And Are Subject To Change. All Dimensions Must Be Field Verified By Builder/Contractor And Sub-Contractors. All Work Performed Is To Be In Accordance With All Local And State Building Codes.

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THE OAKRIDGE PLAN (LSE)

CLIENT INFORMATION:

Project Name: **THE OAKRIDGE PLAN (LSE) - Phase 2**
 Project Location: **10000 Clearvue Drive, Warwick, RI 02886**
 Project Status: **Final Design**

PROJECT INFORMATION:

Project Name: **THE OAKRIDGE PLAN (LSE)**
 Project Location: **10000 Clearvue Drive, Warwick, RI 02886**
 Project Status: **Final Design**

LAYOUT PAGE TABLE

LABEL	TITLE
C-1	DESIGN CRITERIA AND NOTES
G-1	GENERAL NOTES & BUILDING CODE NOTES
A-1	1ST FLOOR LAYOUT PLAN
A-2	1ST FLOOR ELEVATIONS
A-3	ALL EXTERIOR ELEVATIONS
A-4	ALL CROSS SECTION DETAIL VIEWS
A-5	ALL FLOOR FRAMING LAYOUT PLANS
A-6	ALL HEADER & WALL FRAMING LAYOUT PLANS
A-7	STANDARD DETAILS UNLESS OTHERWISE NOTED
A-8	STANDARD DECK DETAILS UNLESS OTHERWISE NOTED

DESIGN CRITERIA AND NOTES

GENERAL NOTES & BUILDING CODE NOTES

1ST FLOOR LAYOUT PLAN

1ST FLOOR ELEVATIONS

ALL EXTERIOR ELEVATIONS

ALL CROSS SECTION DETAIL VIEWS

ALL FLOOR FRAMING LAYOUT PLANS

ALL HEADER & WALL FRAMING LAYOUT PLANS

STANDARD DETAILS UNLESS OTHERWISE NOTED

STANDARD DECK DETAILS UNLESS OTHERWISE NOTED

REVISION TABLE

NO.	DATE	REVISION BY	DESCRIPTION
REV-1	11/27/24	PHILIP G. GALABRO	PRELIM REVIEW

REVISION TABLE

NO.	DATE	REVISION BY	DESCRIPTION
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			

DISCLAIMER: This plan is for building permit and design/layout purposes. Final framing plans, framing materials and construction details may vary and will be in accordance with State Building Codes and per the contract documents. The amount of exposed house plans do not reflect the actual grades on the lot. The amount of exposed foundation and the actual number of exterior steps and grades steps will be determined on-site and at the builder's discretion.

TOTAL LIVING AREA BY FLOOR

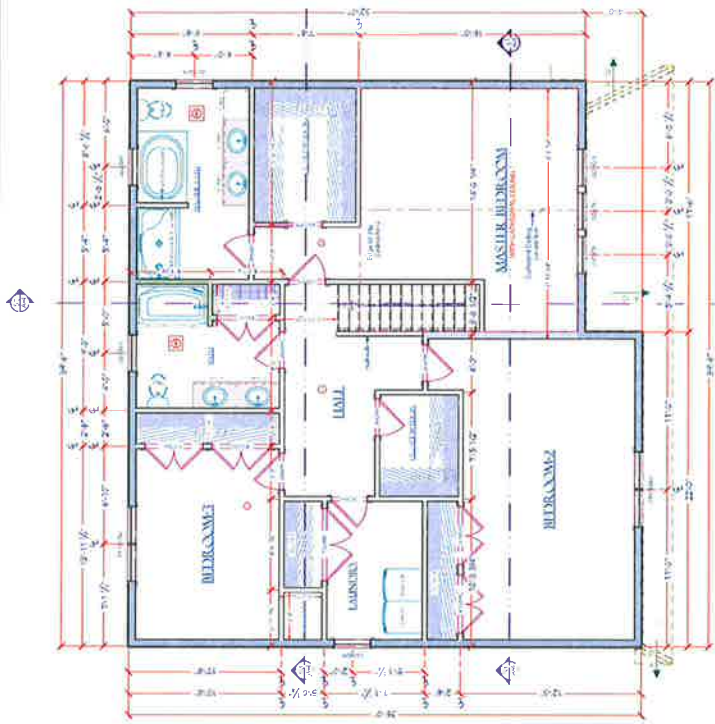
FLOOR LEVEL NAME	LEVEL NUM.	TOTAL LIVING AREA (SQ.FT.)	FLOOR OUTLINE
BASINMENT FLOOR LEVEL	0	0	
FIRST FLOOR LEVEL	1	840	
SECOND FLOOR LEVEL	2	1352	
TOTALS:		2192	

CODE REVIEW SCHEDULE

BUILDING CODE-1	SBC-1-2021 RHODE ISLAND BUILDING CODE
BUILDING CODE-2 <td>SBC-2-2021 RHODE ISLAND STATE ONE AND TWO FAMILY DWELLINGS</td>	SBC-2-2021 RHODE ISLAND STATE ONE AND TWO FAMILY DWELLINGS
ENERGY CODE <td>SBC-3-2021 RHODE ISLAND ENERGY CONSERVATION CODE</td>	SBC-3-2021 RHODE ISLAND ENERGY CONSERVATION CODE
PLUMBING CODE <td>SBC-3-2018 RHODE ISLAND PLUMBING CODE</td>	SBC-3-2018 RHODE ISLAND PLUMBING CODE
MECHANICAL CODE <td>SBC-4-2021 RHODE ISLAND MECHANICAL CODE</td>	SBC-4-2021 RHODE ISLAND MECHANICAL CODE
FUEL GAS CODE <td>SBC-19-2021 RHODE ISLAND FUEL & GAS CODE</td>	SBC-19-2021 RHODE ISLAND FUEL & GAS CODE
ELECTRICAL CODE <td>NEC-2023 ELECTRICAL CODE 2023 EDITION RISBC'S RHODE ISLAND ELECTRICAL CODE</td>	NEC-2023 ELECTRICAL CODE 2023 EDITION RISBC'S RHODE ISLAND ELECTRICAL CODE
HIGH WIND CODE <td>SBC-2021 Rhode Island Building Code Appendix AA- HIGH WIND PRESCRIPTIVE DESIGN</td>	SBC-2021 Rhode Island Building Code Appendix AA- HIGH WIND PRESCRIPTIVE DESIGN
R.I. FIRE SAFETY CODE <td>UNIFORM FIRE CODE OF THE NATIONAL FIRE PROTECTION ASSOCIATION INC. STANDARD 1 (NFPA 1 & 101), 2018 EDITION, WITH APPENDICES</td>	UNIFORM FIRE CODE OF THE NATIONAL FIRE PROTECTION ASSOCIATION INC. STANDARD 1 (NFPA 1 & 101), 2018 EDITION, WITH APPENDICES

CONSTRUCTION DESIGN CRITERIA

● OCCUPANCY TYPE	R3
● CONSTRUCTION TYPE	5B
● LIVE & DEAD LOADS ALL FLOORS	40-PSF/LL 15-PSF/DL
● TOTAL FLOOR LOADING	55-PSF
● SNOW LIVE & DEAD LOADS ALL ROOFS	30-PSF/LL 15-PSF/DL
● TOTAL ROOF LOADING	45-PSF
● BALCONIES LIVE LOAD	60-PSF
● DECKS LIVE LOAD	40-PSF/LL
● UNINHABITABLE ATTICS LIVE LOAD	20-PSF
● SOIL BEARING PRESSURE (ASSUMED)	2000-PSF
● DESIGNED WIND EXPOSURE & WIND SPEED	B / ZONE-1 100-MPH
● CLIMATE ZONE DESIGN LOCATION	5A
● FROST DEPTH DESIGN	(4'-0")
● BUILDING HEIGHT MAX. FROM AVERAGE FRONT GRADE	(35'-0")



1ST FLOOR LAYOUT PLAN
1/4 IN = 1 FT

ITEM	QTY	UNIT	DESCRIPTION	CONSTRUCTION	FINISH	NOTES
1	1	sq ft	Living Room	11'0" x 12'0"	Carpet	
2	1	sq ft	Kitchen	10'0" x 11'0"	Tile	
3	1	sq ft	Dining	10'0" x 11'0"	Tile	
4	1	sq ft	Living Room	11'0" x 12'0"	Carpet	
5	1	sq ft	Master Bedroom	12'0" x 13'0"	Carpet	

FINISHES AND MATERIALS

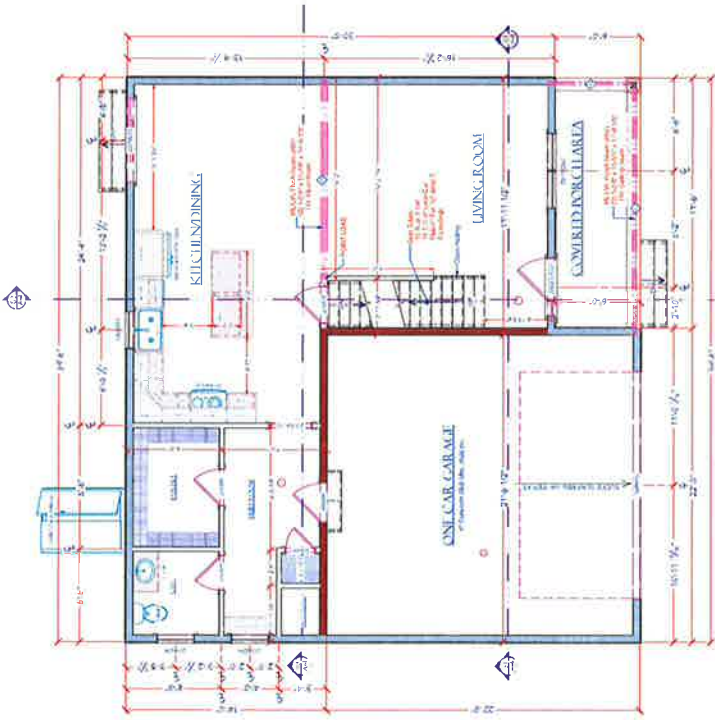
NO.	DESCRIPTION	FINISH
1	Living Room	Carpet
2	Kitchen	Tile
3	Dining	Tile
4	Living Room	Carpet
5	Master Bedroom	Carpet

WALL FINISHES

NO.	DESCRIPTION	FINISH
1	Living Room	Paint
2	Kitchen	Tile
3	Dining	Tile
4	Living Room	Paint
5	Master Bedroom	Paint

CEILING FINISHES

NO.	DESCRIPTION	FINISH
1	Living Room	Paint
2	Kitchen	Tile
3	Dining	Tile
4	Living Room	Paint
5	Master Bedroom	Paint



2ND FLOOR LAYOUT PLAN
1/4 IN = 1 FT

ITEM	QTY	UNIT	DESCRIPTION	CONSTRUCTION	FINISH	NOTES
1	1	sq ft	Living Room	11'0" x 12'0"	Carpet	
2	1	sq ft	Kitchen	10'0" x 11'0"	Tile	
3	1	sq ft	Dining	10'0" x 11'0"	Tile	
4	1	sq ft	Living Room	11'0" x 12'0"	Carpet	
5	1	sq ft	Master Bedroom	12'0" x 13'0"	Carpet	

FINISHES AND MATERIALS

NO.	DESCRIPTION	FINISH
1	Living Room	Carpet
2	Kitchen	Tile
3	Dining	Tile
4	Living Room	Carpet
5	Master Bedroom	Carpet

WALL FINISHES

NO.	DESCRIPTION	FINISH
1	Living Room	Paint
2	Kitchen	Tile
3	Dining	Tile
4	Living Room	Paint
5	Master Bedroom	Paint

CEILING FINISHES

NO.	DESCRIPTION	FINISH
1	Living Room	Paint
2	Kitchen	Tile
3	Dining	Tile
4	Living Room	Paint
5	Master Bedroom	Paint

DRAWN BY:	Philip C. Calton
DATE:	11/26/24
SCALE:	AS NOTED
SHEET OF:	7 / 10
SHEET:	SHEET

ClearVinc Design
 Philip C. Calton
 413 401-946-8833
 Web: www.clearvincdesign.com
 Email: phil@clearvincdesign.com

CLIENT INFORMATION:
 PROJECT NO.: 2024-058
 PROJECT TITLE:
 The Oasis Affordable Plan (LSE)
 FIELD NO.: 2024-058
 FIELD DATE: 11/26/24
 DRAWN BY: Philip C. Calton

PROJECT TITLE:
 The Oasis Affordable Plan (LSE)



ROOM SCHEDULE

NO.	ROOM NO.	ROOM NAME	AREA (SQ. FT.)	PERIMETER (LINEAR FEET)	FINISHES	REMARKS
1	101	RECEPTION	150	100	Hardwood, Acoustic Ceiling	
2	102	OFFICE	120	80	Carpet, Acoustic Ceiling	
3	103	CONFERENCE	200	120	Hardwood, Acoustic Ceiling	
4	104	MEETING	80	60	Carpet, Acoustic Ceiling	
5	105	RESTROOM	40	40	Porcelain, Acoustic Ceiling	
6	106	STAIR	100	100	Concrete, Acoustic Ceiling	
7	107	ELEVATOR	50	50	Concrete, Acoustic Ceiling	
8	108	LOBBY	300	200	Hardwood, Acoustic Ceiling	
9	109	RECEPTION	150	100	Hardwood, Acoustic Ceiling	
10	110	OFFICE	120	80	Carpet, Acoustic Ceiling	
11	111	CONFERENCE	200	120	Hardwood, Acoustic Ceiling	
12	112	MEETING	80	60	Carpet, Acoustic Ceiling	
13	113	RESTROOM	40	40	Porcelain, Acoustic Ceiling	
14	114	STAIR	100	100	Concrete, Acoustic Ceiling	
15	115	ELEVATOR	50	50	Concrete, Acoustic Ceiling	
16	116	LOBBY	300	200	Hardwood, Acoustic Ceiling	

FINISHES SCHEDULE

NO.	FINISH NAME	AREA (SQ. FT.)	PERIMETER (LINEAR FEET)	REMARKS
1	Hardwood	1000	1000	Living Area, Reception
2	Carpet	800	800	Offices, Meeting
3	Porcelain	400	400	Restrooms
4	Concrete	200	200	Stairs, Elevators
5	Acoustic Ceiling	10000	10000	All Rooms

DOOR SCHEDULE

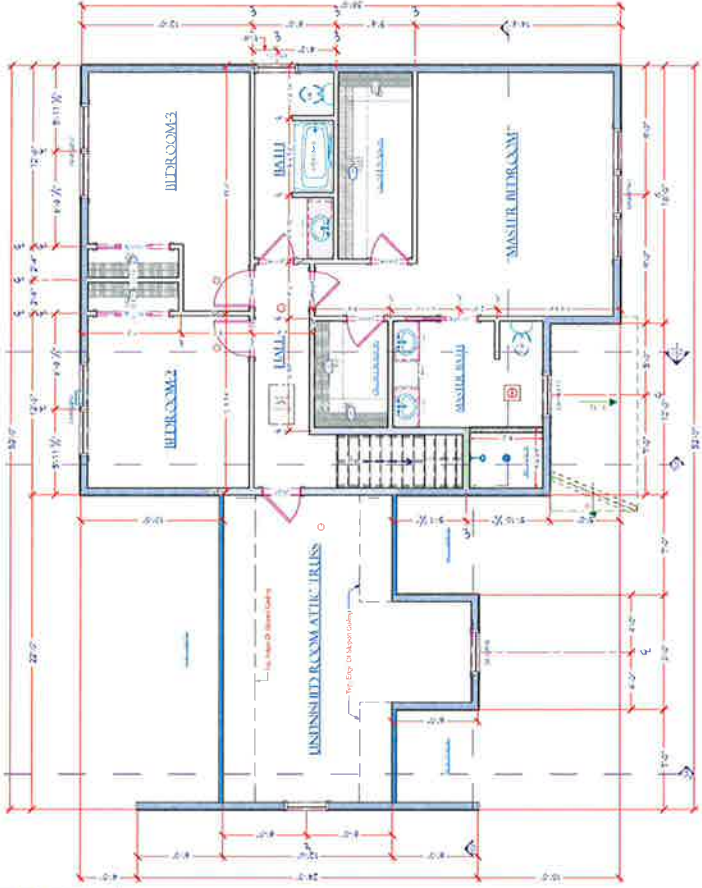
NO.	DOOR NO.	DOOR NAME	AREA (SQ. FT.)	PERIMETER (LINEAR FEET)	REMARKS
1	D101	RECEPTION	150	100	Hardwood, Acoustic Ceiling
2	D102	OFFICE	120	80	Carpet, Acoustic Ceiling
3	D103	CONFERENCE	200	120	Hardwood, Acoustic Ceiling
4	D104	MEETING	80	60	Carpet, Acoustic Ceiling
5	D105	RESTROOM	40	40	Porcelain, Acoustic Ceiling
6	D106	STAIR	100	100	Concrete, Acoustic Ceiling
7	D107	ELEVATOR	50	50	Concrete, Acoustic Ceiling
8	D108	LOBBY	300	200	Hardwood, Acoustic Ceiling
9	D109	RECEPTION	150	100	Hardwood, Acoustic Ceiling
10	D110	OFFICE	120	80	Carpet, Acoustic Ceiling
11	D111	CONFERENCE	200	120	Hardwood, Acoustic Ceiling
12	D112	MEETING	80	60	Carpet, Acoustic Ceiling
13	D113	RESTROOM	40	40	Porcelain, Acoustic Ceiling
14	D114	STAIR	100	100	Concrete, Acoustic Ceiling
15	D115	ELEVATOR	50	50	Concrete, Acoustic Ceiling
16	D116	LOBBY	300	200	Hardwood, Acoustic Ceiling

WINDOW SCHEDULE

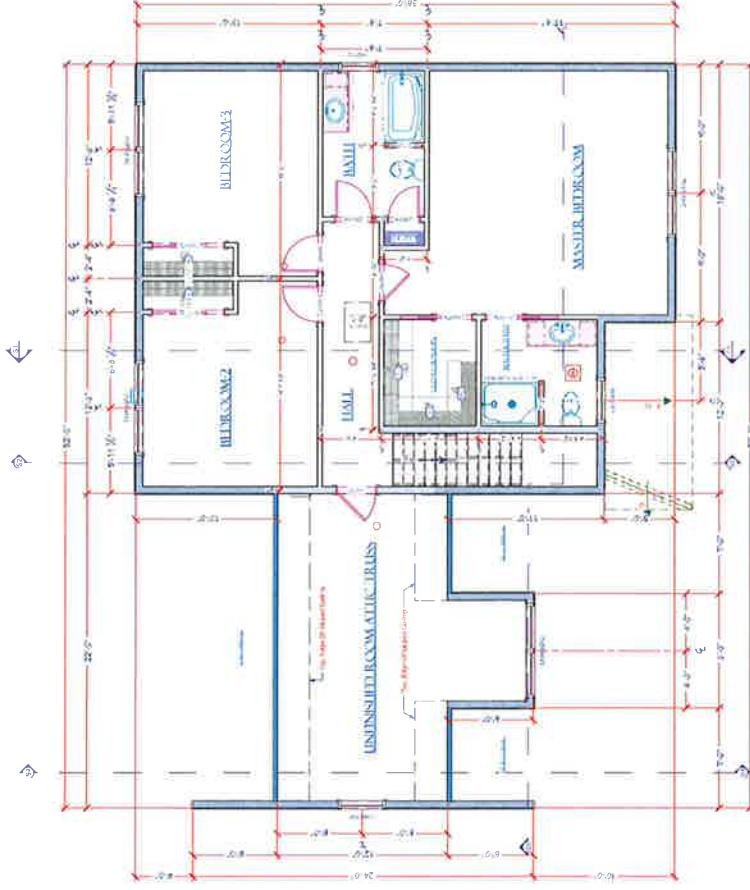
NO.	WINDOW NO.	WINDOW NAME	AREA (SQ. FT.)	PERIMETER (LINEAR FEET)	REMARKS
1	W101	RECEPTION	150	100	Hardwood, Acoustic Ceiling
2	W102	OFFICE	120	80	Carpet, Acoustic Ceiling
3	W103	CONFERENCE	200	120	Hardwood, Acoustic Ceiling
4	W104	MEETING	80	60	Carpet, Acoustic Ceiling
5	W105	RESTROOM	40	40	Porcelain, Acoustic Ceiling
6	W106	STAIR	100	100	Concrete, Acoustic Ceiling
7	W107	ELEVATOR	50	50	Concrete, Acoustic Ceiling
8	W108	LOBBY	300	200	Hardwood, Acoustic Ceiling
9	W109	RECEPTION	150	100	Hardwood, Acoustic Ceiling
10	W110	OFFICE	120	80	Carpet, Acoustic Ceiling
11	W111	CONFERENCE	200	120	Hardwood, Acoustic Ceiling
12	W112	MEETING	80	60	Carpet, Acoustic Ceiling
13	W113	RESTROOM	40	40	Porcelain, Acoustic Ceiling
14	W114	STAIR	100	100	Concrete, Acoustic Ceiling
15	W115	ELEVATOR	50	50	Concrete, Acoustic Ceiling
16	W116	LOBBY	300	200	Hardwood, Acoustic Ceiling

FLOOR LEVEL SUMMARY

FLOOR LEVEL	ROOM	FLOOR AREA (SQ. FT.)	FLOOR OUTLINE
BASMENT LEVEL	0		
FIRST FLOOR LEVEL	100		
SECOND FLOOR LEVEL	200		
THIRD FLOOR LEVEL	300		
ROOF LEVEL	400		



2ND FLOOR LAYOUT PLAN
1/4" = 1'-0"



2ND FLOOR LAYOUT PLAN
 (1/1" = 1/1")

NO.	DESCRIPTION	UNIT	QUANTITY	UNIT PRICE	TOTAL PRICE
1	Concrete Slab (100mm)	m ²	100	1.200	120.000
2	Reinforcement (D10)	kg	1000	1.500	1.500.000
3	Formwork (1000x1000)	m ²	100	1.000	100.000
4	Paint (Emulsion)	kg	100	1.000	100.000
5	Plaster (1:3:3)	m ²	100	1.000	100.000
6	Tile (Ceramic 60x60)	m ²	100	1.000	100.000
7	Waterproofing	m ²	100	1.000	100.000
8	Handover	lot	1	1.000.000	1.000.000
9	Subtotal				2.920.000
10	Grand Total				2.920.000

NO.	DESCRIPTION	UNIT	QUANTITY	UNIT PRICE	TOTAL PRICE
1	Concrete Slab (100mm)	m ²	100	1.200	120.000
2	Reinforcement (D10)	kg	1000	1.500	1.500.000
3	Formwork (1000x1000)	m ²	100	1.000	100.000
4	Paint (Emulsion)	kg	100	1.000	100.000
5	Plaster (1:3:3)	m ²	100	1.000	100.000
6	Tile (Ceramic 60x60)	m ²	100	1.000	100.000
7	Waterproofing	m ²	100	1.000	100.000
8	Handover	lot	1	1.000.000	1.000.000
9	Subtotal				2.920.000
10	Grand Total				2.920.000

NO.	DESCRIPTION	UNIT	QUANTITY	UNIT PRICE	TOTAL PRICE
1	Concrete Slab (100mm)	m ²	100	1.200	120.000
2	Reinforcement (D10)	kg	1000	1.500	1.500.000
3	Formwork (1000x1000)	m ²	100	1.000	100.000
4	Paint (Emulsion)	kg	100	1.000	100.000
5	Plaster (1:3:3)	m ²	100	1.000	100.000
6	Tile (Ceramic 60x60)	m ²	100	1.000	100.000
7	Waterproofing	m ²	100	1.000	100.000
8	Handover	lot	1	1.000.000	1.000.000
9	Subtotal				2.920.000
10	Grand Total				2.920.000

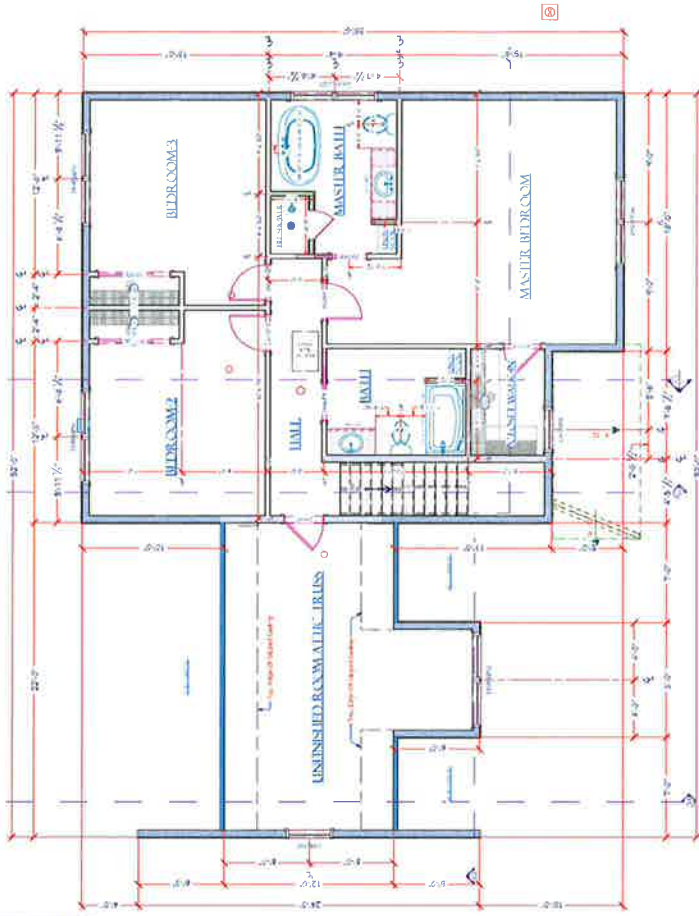
NO.	DESCRIPTION	UNIT	QUANTITY	UNIT PRICE	TOTAL PRICE
1	Concrete Slab (100mm)	m ²	100	1.200	120.000
2	Reinforcement (D10)	kg	1000	1.500	1.500.000
3	Formwork (1000x1000)	m ²	100	1.000	100.000
4	Paint (Emulsion)	kg	100	1.000	100.000
5	Plaster (1:3:3)	m ²	100	1.000	100.000
6	Tile (Ceramic 60x60)	m ²	100	1.000	100.000
7	Waterproofing	m ²	100	1.000	100.000
8	Handover	lot	1	1.000.000	1.000.000
9	Subtotal				2.920.000
10	Grand Total				2.920.000

NO.	DESCRIPTION	UNIT	QUANTITY	UNIT PRICE	TOTAL PRICE
1	Concrete Slab (100mm)	m ²	100	1.200	120.000
2	Reinforcement (D10)	kg	1000	1.500	1.500.000
3	Formwork (1000x1000)	m ²	100	1.000	100.000
4	Paint (Emulsion)	kg	100	1.000	100.000
5	Plaster (1:3:3)	m ²	100	1.000	100.000
6	Tile (Ceramic 60x60)	m ²	100	1.000	100.000
7	Waterproofing	m ²	100	1.000	100.000
8	Handover	lot	1	1.000.000	1.000.000
9	Subtotal				2.920.000
10	Grand Total				2.920.000

NO.	DESCRIPTION	UNIT	QUANTITY	UNIT PRICE	TOTAL PRICE
1	Concrete Slab (100mm)	m ²	100	1.200	120.000
2	Reinforcement (D10)	kg	1000	1.500	1.500.000
3	Formwork (1000x1000)	m ²	100	1.000	100.000
4	Paint (Emulsion)	kg	100	1.000	100.000
5	Plaster (1:3:3)	m ²	100	1.000	100.000
6	Tile (Ceramic 60x60)	m ²	100	1.000	100.000
7	Waterproofing	m ²	100	1.000	100.000
8	Handover	lot	1	1.000.000	1.000.000
9	Subtotal				2.920.000
10	Grand Total				2.920.000

FLOOR LEVEL	ROOM	AREA (SQ. FT.)	OUTLINE
RESIDENT LIVING LEVEL		0	
RESIDENTIAL L1	BR01		
SUCUNDA LIVING LEVEL	BR01		
UNRESIDENTIAL L1	BR	30	
TOTAL		30	

NO.	DESCRIPTION	UNIT	QUANTITY	UNIT PRICE	TOTAL PRICE
1	Concrete Slab (100mm)	m ²	100	1.200	120.000
2	Reinforcement (D10)	kg	1000	1.500	1.500.000
3	Formwork (1000x1000)	m ²	100	1.000	100.000
4	Paint (Emulsion)	kg	100	1.000	100.000
5	Plaster (1:3:3)	m ²	100	1.000	100.000
6	Tile (Ceramic 60x60)	m ²	100	1.000	100.000
7	Waterproofing	m ²	100	1.000	100.000
8	Handover	lot	1	1.000.000	1.000.000
9	Subtotal				2.920.000
10	Grand Total				2.920.000



INSTRUKSI WINDUWAS (LIRUS)

No	Spesifikasi	Ukuran	Material	Warna	Detail
1	1.1.1.1	1.1.1.1	1.1.1.1	1.1.1.1	1.1.1.1
2	1.1.1.2	1.1.1.2	1.1.1.2	1.1.1.2	1.1.1.2
3	1.1.1.3	1.1.1.3	1.1.1.3	1.1.1.3	1.1.1.3
4	1.1.1.4	1.1.1.4	1.1.1.4	1.1.1.4	1.1.1.4
5	1.1.1.5	1.1.1.5	1.1.1.5	1.1.1.5	1.1.1.5
6	1.1.1.6	1.1.1.6	1.1.1.6	1.1.1.6	1.1.1.6
7	1.1.1.7	1.1.1.7	1.1.1.7	1.1.1.7	1.1.1.7
8	1.1.1.8	1.1.1.8	1.1.1.8	1.1.1.8	1.1.1.8
9	1.1.1.9	1.1.1.9	1.1.1.9	1.1.1.9	1.1.1.9
10	1.1.1.10	1.1.1.10	1.1.1.10	1.1.1.10	1.1.1.10

INSTRUKSI PAINTS DAN S. HIRSI

No	Spesifikasi	Ukuran	Material	Warna	Detail
1	1.1.1.1	1.1.1.1	1.1.1.1	1.1.1.1	1.1.1.1
2	1.1.1.2	1.1.1.2	1.1.1.2	1.1.1.2	1.1.1.2
3	1.1.1.3	1.1.1.3	1.1.1.3	1.1.1.3	1.1.1.3
4	1.1.1.4	1.1.1.4	1.1.1.4	1.1.1.4	1.1.1.4
5	1.1.1.5	1.1.1.5	1.1.1.5	1.1.1.5	1.1.1.5
6	1.1.1.6	1.1.1.6	1.1.1.6	1.1.1.6	1.1.1.6
7	1.1.1.7	1.1.1.7	1.1.1.7	1.1.1.7	1.1.1.7
8	1.1.1.8	1.1.1.8	1.1.1.8	1.1.1.8	1.1.1.8
9	1.1.1.9	1.1.1.9	1.1.1.9	1.1.1.9	1.1.1.9
10	1.1.1.10	1.1.1.10	1.1.1.10	1.1.1.10	1.1.1.10

INSTRUKSI WALK-INS HIRSI

No	Spesifikasi	Ukuran	Material	Warna	Detail
1	1.1.1.1	1.1.1.1	1.1.1.1	1.1.1.1	1.1.1.1
2	1.1.1.2	1.1.1.2	1.1.1.2	1.1.1.2	1.1.1.2
3	1.1.1.3	1.1.1.3	1.1.1.3	1.1.1.3	1.1.1.3
4	1.1.1.4	1.1.1.4	1.1.1.4	1.1.1.4	1.1.1.4
5	1.1.1.5	1.1.1.5	1.1.1.5	1.1.1.5	1.1.1.5
6	1.1.1.6	1.1.1.6	1.1.1.6	1.1.1.6	1.1.1.6
7	1.1.1.7	1.1.1.7	1.1.1.7	1.1.1.7	1.1.1.7
8	1.1.1.8	1.1.1.8	1.1.1.8	1.1.1.8	1.1.1.8
9	1.1.1.9	1.1.1.9	1.1.1.9	1.1.1.9	1.1.1.9
10	1.1.1.10	1.1.1.10	1.1.1.10	1.1.1.10	1.1.1.10

INSTRUKSI LUMENSI HIRSI

No	Spesifikasi	Ukuran	Material	Warna	Detail
1	1.1.1.1	1.1.1.1	1.1.1.1	1.1.1.1	1.1.1.1
2	1.1.1.2	1.1.1.2	1.1.1.2	1.1.1.2	1.1.1.2
3	1.1.1.3	1.1.1.3	1.1.1.3	1.1.1.3	1.1.1.3
4	1.1.1.4	1.1.1.4	1.1.1.4	1.1.1.4	1.1.1.4
5	1.1.1.5	1.1.1.5	1.1.1.5	1.1.1.5	1.1.1.5
6	1.1.1.6	1.1.1.6	1.1.1.6	1.1.1.6	1.1.1.6
7	1.1.1.7	1.1.1.7	1.1.1.7	1.1.1.7	1.1.1.7
8	1.1.1.8	1.1.1.8	1.1.1.8	1.1.1.8	1.1.1.8
9	1.1.1.9	1.1.1.9	1.1.1.9	1.1.1.9	1.1.1.9
10	1.1.1.10	1.1.1.10	1.1.1.10	1.1.1.10	1.1.1.10

INSTRUKSI LUMENSI HIRSI

No	Spesifikasi	Ukuran	Material	Warna	Detail
1	1.1.1.1	1.1.1.1	1.1.1.1	1.1.1.1	1.1.1.1
2	1.1.1.2	1.1.1.2	1.1.1.2	1.1.1.2	1.1.1.2
3	1.1.1.3	1.1.1.3	1.1.1.3	1.1.1.3	1.1.1.3
4	1.1.1.4	1.1.1.4	1.1.1.4	1.1.1.4	1.1.1.4
5	1.1.1.5	1.1.1.5	1.1.1.5	1.1.1.5	1.1.1.5
6	1.1.1.6	1.1.1.6	1.1.1.6	1.1.1.6	1.1.1.6
7	1.1.1.7	1.1.1.7	1.1.1.7	1.1.1.7	1.1.1.7
8	1.1.1.8	1.1.1.8	1.1.1.8	1.1.1.8	1.1.1.8
9	1.1.1.9	1.1.1.9	1.1.1.9	1.1.1.9	1.1.1.9
10	1.1.1.10	1.1.1.10	1.1.1.10	1.1.1.10	1.1.1.10

INSTRUKSI SILLI HIRSI

No	Spesifikasi	Ukuran	Material	Warna	Detail
1	1.1.1.1	1.1.1.1	1.1.1.1	1.1.1.1	1.1.1.1
2	1.1.1.2	1.1.1.2	1.1.1.2	1.1.1.2	1.1.1.2
3	1.1.1.3	1.1.1.3	1.1.1.3	1.1.1.3	1.1.1.3
4	1.1.1.4	1.1.1.4	1.1.1.4	1.1.1.4	1.1.1.4
5	1.1.1.5	1.1.1.5	1.1.1.5	1.1.1.5	1.1.1.5
6	1.1.1.6	1.1.1.6	1.1.1.6	1.1.1.6	1.1.1.6
7	1.1.1.7	1.1.1.7	1.1.1.7	1.1.1.7	1.1.1.7
8	1.1.1.8	1.1.1.8	1.1.1.8	1.1.1.8	1.1.1.8
9	1.1.1.9	1.1.1.9	1.1.1.9	1.1.1.9	1.1.1.9
10	1.1.1.10	1.1.1.10	1.1.1.10	1.1.1.10	1.1.1.10

INSTRUKSI MANJUR HIRSI

No	Spesifikasi	Ukuran	Material	Warna	Detail
1	1.1.1.1	1.1.1.1	1.1.1.1	1.1.1.1	1.1.1.1
2	1.1.1.2	1.1.1.2	1.1.1.2	1.1.1.2	1.1.1.2
3	1.1.1.3	1.1.1.3	1.1.1.3	1.1.1.3	1.1.1.3
4	1.1.1.4	1.1.1.4	1.1.1.4	1.1.1.4	1.1.1.4
5	1.1.1.5	1.1.1.5	1.1.1.5	1.1.1.5	1.1.1.5
6	1.1.1.6	1.1.1.6	1.1.1.6	1.1.1.6	1.1.1.6
7	1.1.1.7	1.1.1.7	1.1.1.7	1.1.1.7	1.1.1.7
8	1.1.1.8	1.1.1.8	1.1.1.8	1.1.1.8	1.1.1.8
9	1.1.1.9	1.1.1.9	1.1.1.9	1.1.1.9	1.1.1.9
10	1.1.1.10	1.1.1.10	1.1.1.10	1.1.1.10	1.1.1.10

INSTRUKSI LUMENSI HIRSI

FLOOR LEVEL	TOTAL LIVING AREA OUTLINE	DETAIL
BASMENT LEVEL	0	
FIRST FLOOR	100	
SECOND FLOOR	100	
THIRD FLOOR	100	

2D FLOOR LAYOUT PLAN

DRAWN BY:	Philip C. Calzone
DATE:	11/25/24
SCALE:	AS NOTED
SHEET OF:	14 OF 15
SHEET:	

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CLIENT INFORMATION:
 The Oasis Plus Plan Template (LSE) - /
 Overgrown/Labrador/Blackwood/Stone
 Fieldstone (2024/2024/08/Stone
 Fieldstone Plans)/CAD files

PROJECT TITLE:
 The Oasis Plus Plan Template (LSE)

EXTERIOR ELEVATION FRONT VIEW
1/4" IN = 1' 11"



EXTERIOR ELEVATION REAR VIEW
1/4" IN = 1' 11"



