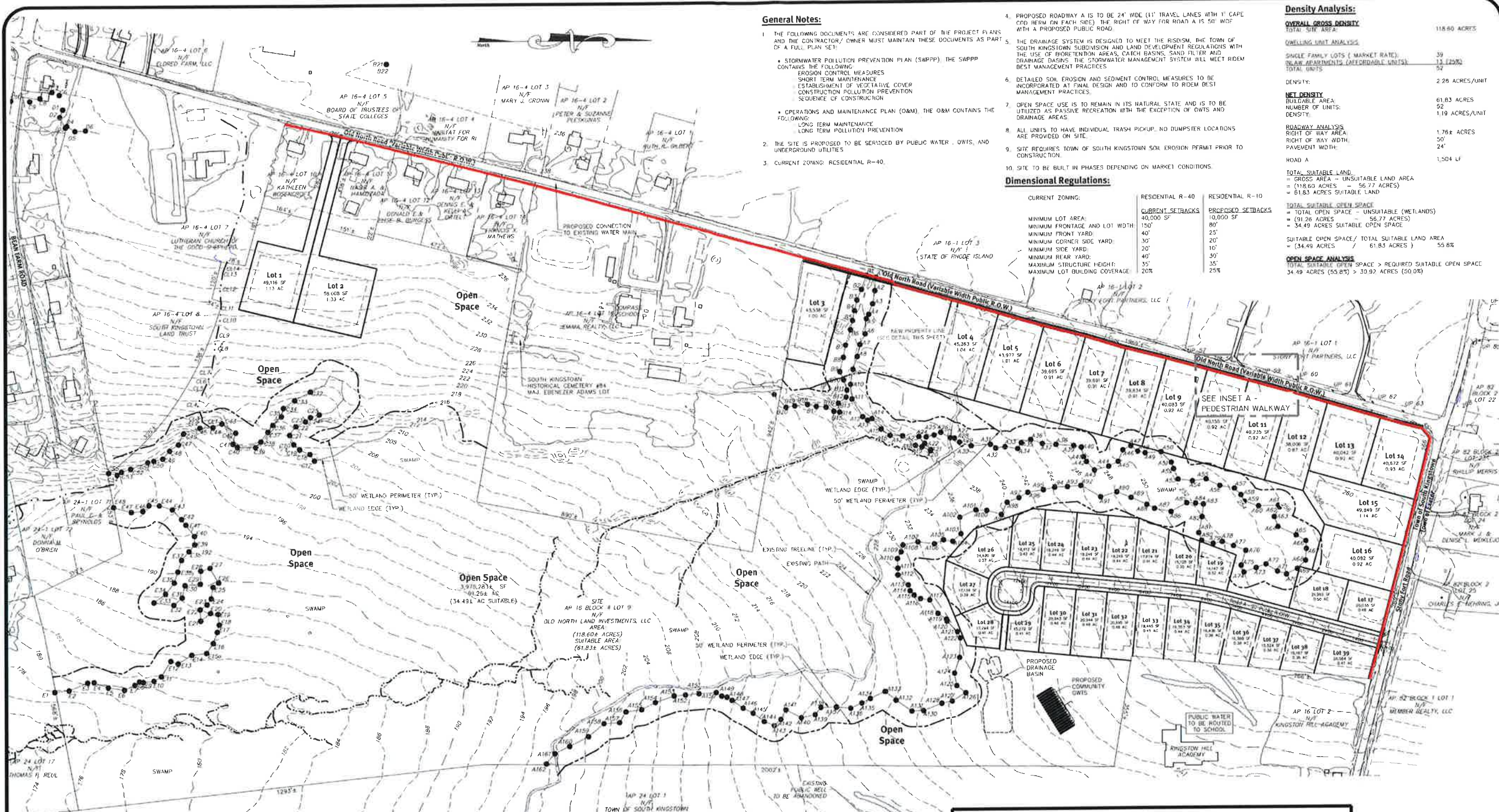


EXHIBIT F



General Notes:

- THE FOLLOWING DOCUMENTS ARE CONSIDERED PART OF THE PROJECT PLANS AND THE CONTRACTOR/OWNER MUST MAINTAIN THESE DOCUMENTS AS PART OF A FULL PLAN SET:
 - STORMWATER POLLUTION PREVENTION PLAN (SWPPP). THE SWPPP CONTAINS THE FOLLOWING:
 - EROSION CONTROL MEASURES
 - SHORT TERM MAINTENANCE
 - ESTABLISHMENT OF VEGETATIVE COVER
 - CONSTRUCTION POLLUTION PREVENTION SEQUENCE OF CONSTRUCTION
 - OPERATIONS AND MAINTENANCE PLAN (O&M). THE O&M CONTAINS THE FOLLOWING:
 - LONG TERM MAINTENANCE
 - LONG TERM POLLUTION PREVENTION
- THE SITE IS PROPOSED TO BE SERVICED BY PUBLIC WATER, OWIS, AND UNDERGROUND UTILITIES
- CURRENT ZONING: RESIDENTIAL R-40.
- PROPOSED ROADWAY A IS TO BE 24' WIDE (11' TRAVEL LANES WITH 1' CAFE CURB ON EACH SIDE) THE RIGHT OF WAY FOR ROAD A IS 50' WIDE WITH A PROPOSED PUBLIC ROAD.
- THE DRAINAGE SYSTEM IS DESIGNED TO MEET THE RISE/RETAIN, THE TOWN OF SOUTH KINGSTOWN SUBDIVISION AREAS, CATCH BASINS, SAND FILTER AND DRAINAGE BASINS. THE STORMWATER MANAGEMENT SYSTEM WILL MEET RISE/RETAIN BEST MANAGEMENT PRACTICES.
- DETAILED SOIL EROSION AND SEDIMENT CONTROL MEASURES TO BE INCORPORATED AT FINAL DESIGN AND TO CONFORM TO RIDEM BEST MANAGEMENT PRACTICES.
- OPEN SPACE USE IS TO REMAIN IN ITS NATURAL STATE AND IS TO BE UTILIZED AS PASSIVE RECREATION WITH THE EXCEPTION OF OWIS AND DRAINAGE AREAS.
- ALL UNITS TO HAVE INDIVIDUAL TRASH PICKUP. NO DUMPSTER LOCATIONS ARE PROVIDED ON SITE.
- SITE REQUIRES TOWN OF SOUTH KINGSTOWN SOIL EROSION PERMIT PRIOR TO CONSTRUCTION.
- SITE TO BE BUILT IN PHASES DEPENDING ON MARKET CONDITIONS.

Dimensional Regulations:

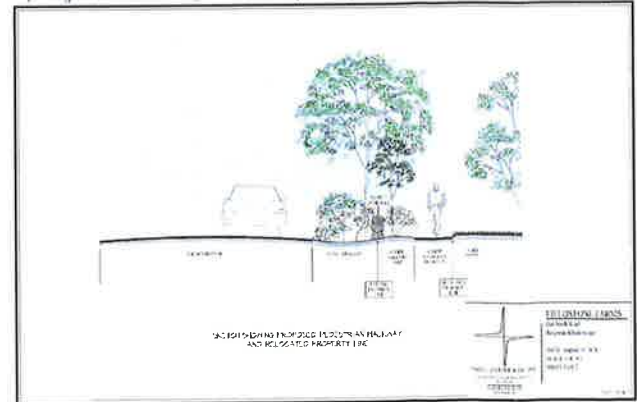
CURRENT ZONING:	RESIDENTIAL R-40	RESIDENTIAL R-10
MINIMUM LOT AREA:	40,000 SF	10,000 SF
MINIMUM FRONTAGE AND LOT WIDTH:	150'	80'
MINIMUM FRONT YARD:	40'	25'
MINIMUM CORNER SIDE YARD:	30'	20'
MINIMUM SIDE YARD:	10'	5'
MINIMUM REAR YARD:	40'	30'
MAXIMUM STRUCTURE HEIGHT:	35'	35'
MAXIMUM LOT BUILDING COVERAGE:	20%	25%

Density Analysis:

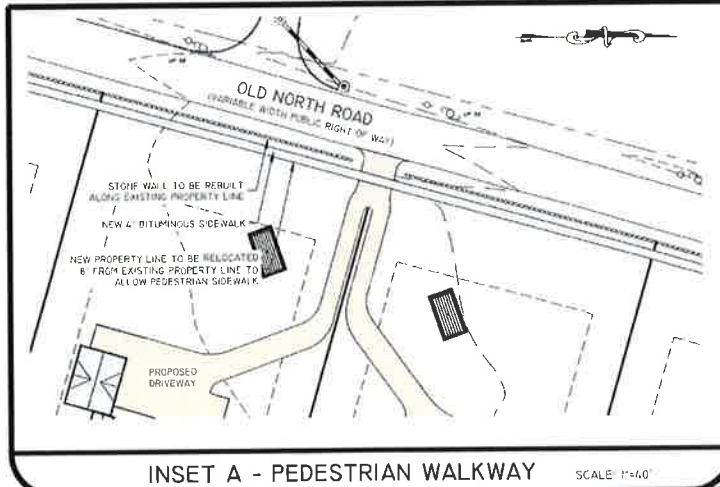
OVERALL GROSS DENSITY	TOTAL SITE AREA:	118.60 ACRES
DWELLING UNIT ANALYSIS	SINGLE FAMILY LOTS (MARKET RATE):	39
	DUAR APARTMENTS (AFFORDABLE UNITS):	52
	TOTAL UNITS:	91
	DENSITY:	2.28 ACRES/UNIT
NET DENSITY	BUILDABLE AREA:	61.83 ACRES
	NUMBER OF UNITS:	91
	DENSITY:	1.19 ACRES/UNIT
ROADWAY ANALYSIS	RIGHT OF WAY AREA:	1.76± ACRES
	RIGHT OF WAY WIDTH:	50'
	PAVEMENT WIDTH:	24'
	ROAD A	1.504 LF
TOTAL SUITABLE LAND	= GROSS AREA - UNSUITABLE LAND AREA	= 118.60 ACRES - 56.77 ACRES
	= 61.83 ACRES SUITABLE LAND	
TOTAL SUITABLE OPEN SPACE	= TOTAL OPEN SPACE - UNSUITABLE (WETLANDS)	= 61.26 ACRES - 56.77 ACRES
	= 34.49 ACRES SUITABLE OPEN SPACE	
	SUITABLE OPEN SPACE / TOTAL SUITABLE LAND AREA	= 34.49 ACRES / 61.83 ACRES = 55.8%
OPEN SPACE ANALYSIS	TOTAL SUITABLE OPEN SPACE > REQUIRED SUITABLE OPEN SPACE	34.49 ACRES (55.8%) > 30.92 ACRES (50.0%)

Legend:

ASSESSOR'S LINES	---	EXISTING UTILITY POLE	—○—
PROPERTY LINE	—	EXISTING MAJOR CONTOUR	--- 240 ---
SOIL BOUNDARY LINE	—+—	EXISTING MINOR CONTOUR	--- 242 ---
WETLAND EDGE	—	AP	ASSESSOR'S PLAT
100' RIVERBANK WETLAND	—	UP	UTILITY POLE
50' PERIMETER WETLAND	—	N/F	NOW OR FORMERLY
200' RIVERBANK WETLAND	—	W/F	WETLAND FLAG
EXISTING TREELINE	—	W/F	WETLAND HATCH
EXISTING STREAM	—	SoC	SOIL EVALUATIONS 2009 RIDEM VERIFIED
EXISTING FENCE	—	SoC	SOIL EVALUATIONS 2007 RIDEM VERIFIED
SOIL IDENTIFICATION	BoC	SoC	SOIL EVALUATIONS 2012 RIDEM WITNESSED & UNCHANGED
EXISTING STONEWALL	—		
EXISTING BUILDING	—		



OLD NORTH ROAD PEDESTRIAN WALKWAY
NOT TO SCALE



INSET A - PEDESTRIAN WALKWAY
SCALE: 1"=40'



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Engineers • Planners • Surveyors

ERIC M. BRIVE
No. 8662
REGISTERED PROFESSIONAL ENGINEER
CIVIL

Offsite Pedestrian Exhibit
Fieldstone Farms

Assessor's Plat 26-4, Lot 9
Old North Land Investments LLC
75 Lambert Lind Highway
Fieldstone, Rhode Island 02881
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