

Champagne Heights

South Kingstown, RI



PRELIMINARY PLAN APPLICATION

October 17, 2024



Project Team

SKHA Services & Development Corporation

BARBARASOKOLOFFASSOCIATES
A Development and Community Planning Consulting Firm

WDC Women's
Development
Corporation

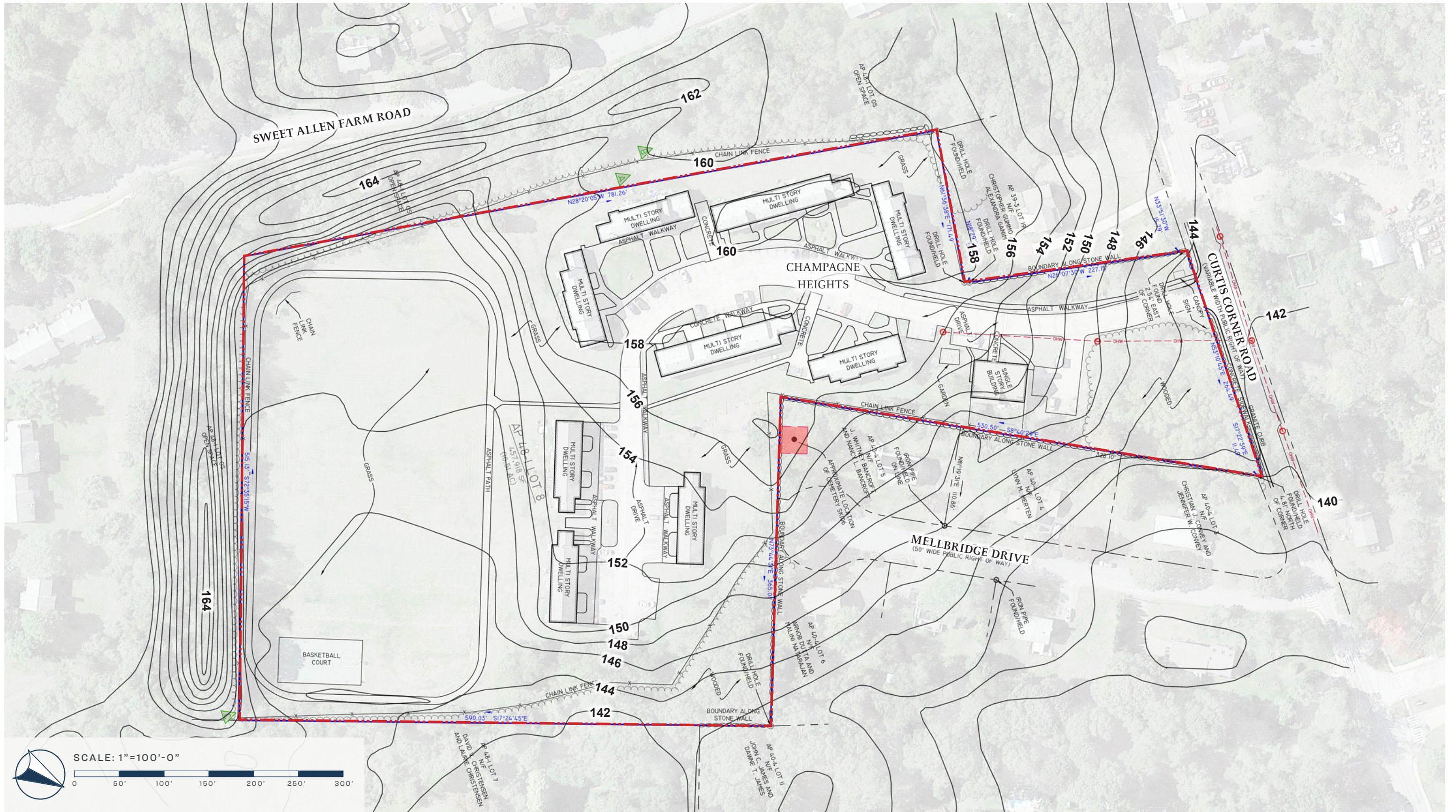
 **UNION**

 **DiPrete Engineering**
Boston • Providence • Newport



Champagne Heights

EXISTING CONDITIONS - AERIAL
OCTOBER 17, 2024



Champagne Heights

EXISTING CONDITIONS - SURVEY
OCTOBER 17, 2024





Champagne Heights

ILLUSTRATIVE SITE PLAN
OCTOBER 17, 2024





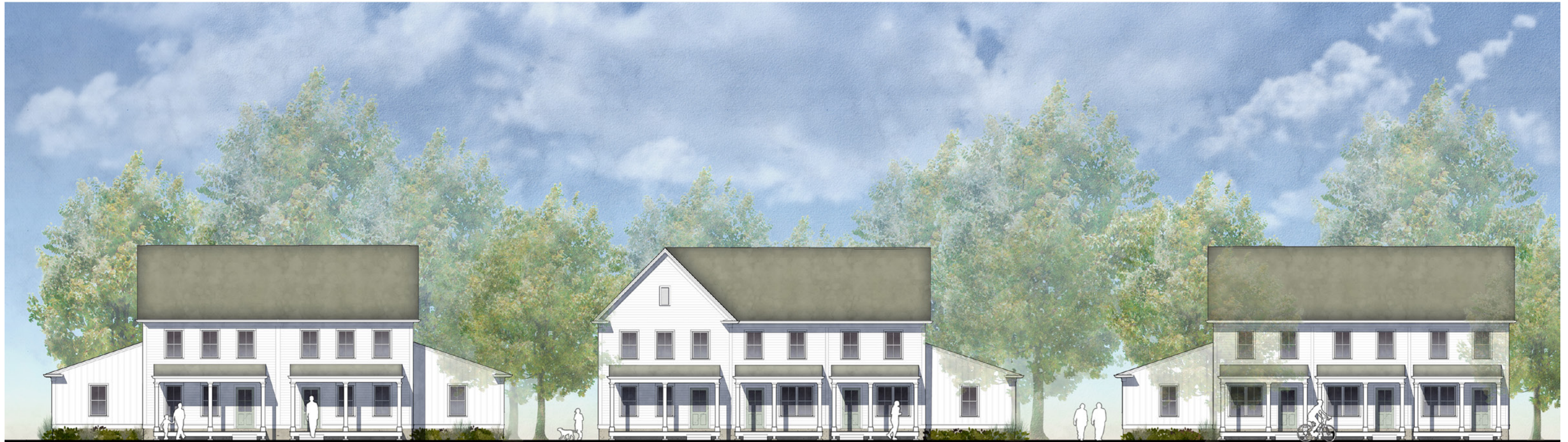
Champagne Heights

PERSPECTIVE VIEW - PRIMARY GREEN
OCTOBER 17, 2024



Champagne Heights

PERSPECTIVE VIEW - SECONDARY GREEN
OCTOBER 17, 2024



5BR/5BRA DUPLEX

3BR/2BR/4BR TRIPLEX

2BR/2BR/4BR TRIPLEX

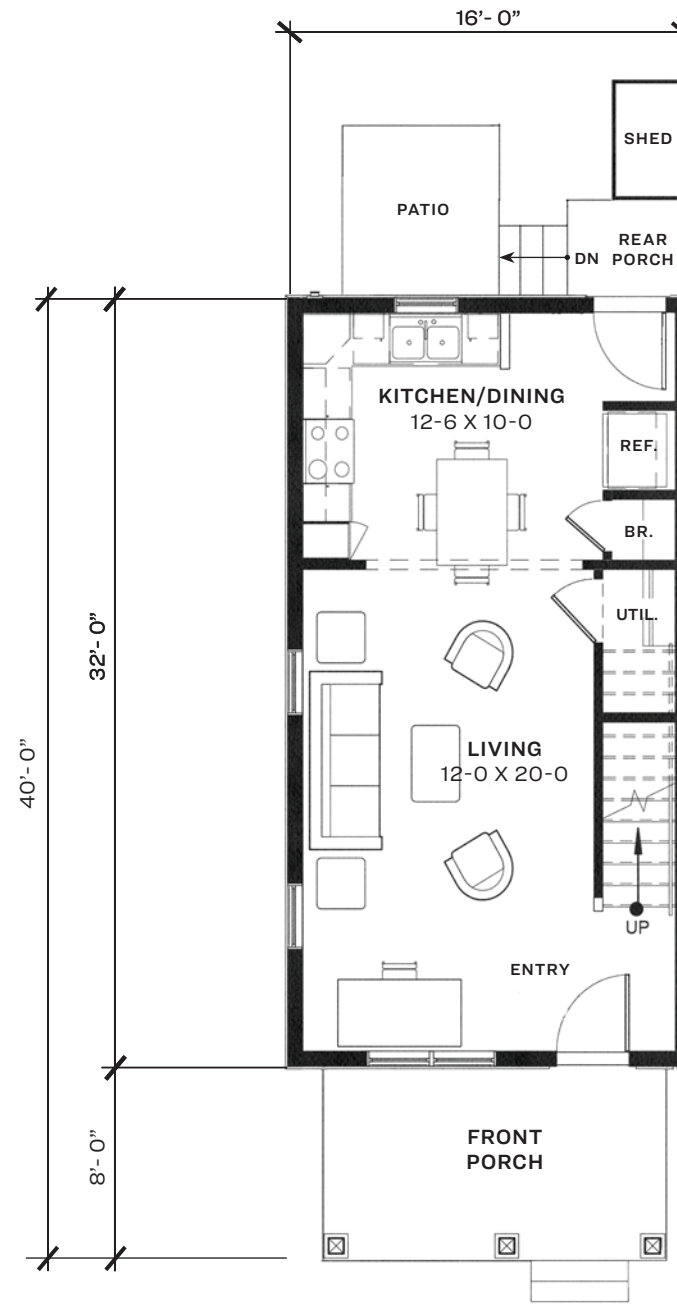


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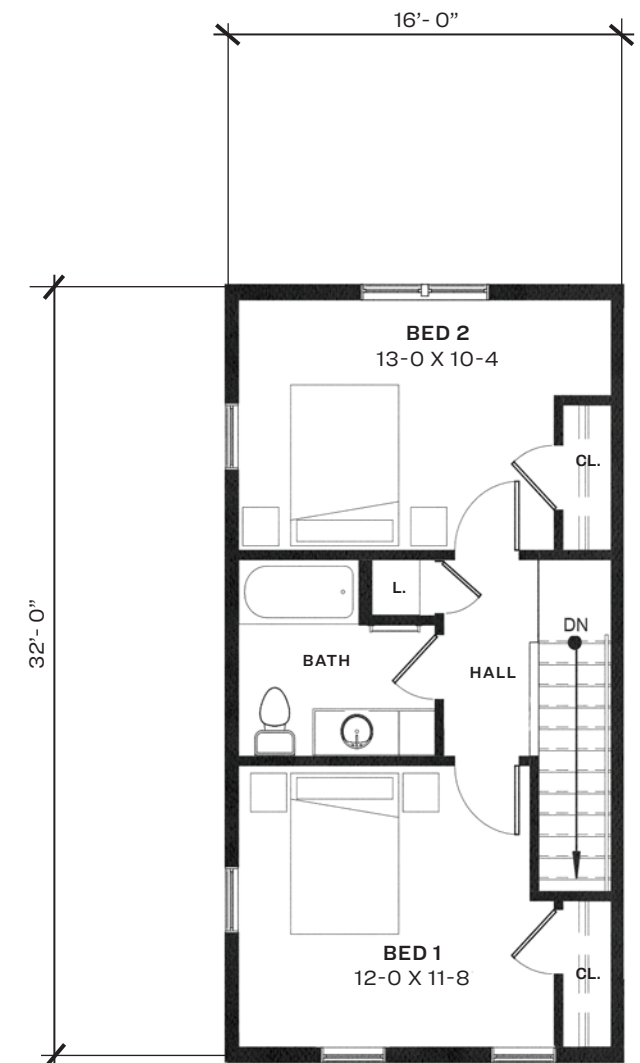
TYPICAL STREETSCAPE
OCTOBER 17, 2024



KEY PLAN



FIRST FLOOR



SECOND FLOOR

2 BEDROOM UNIT (1,024 SF, 2 BR, 1 BATH)
 SCALE: 1/8"=1'-0"



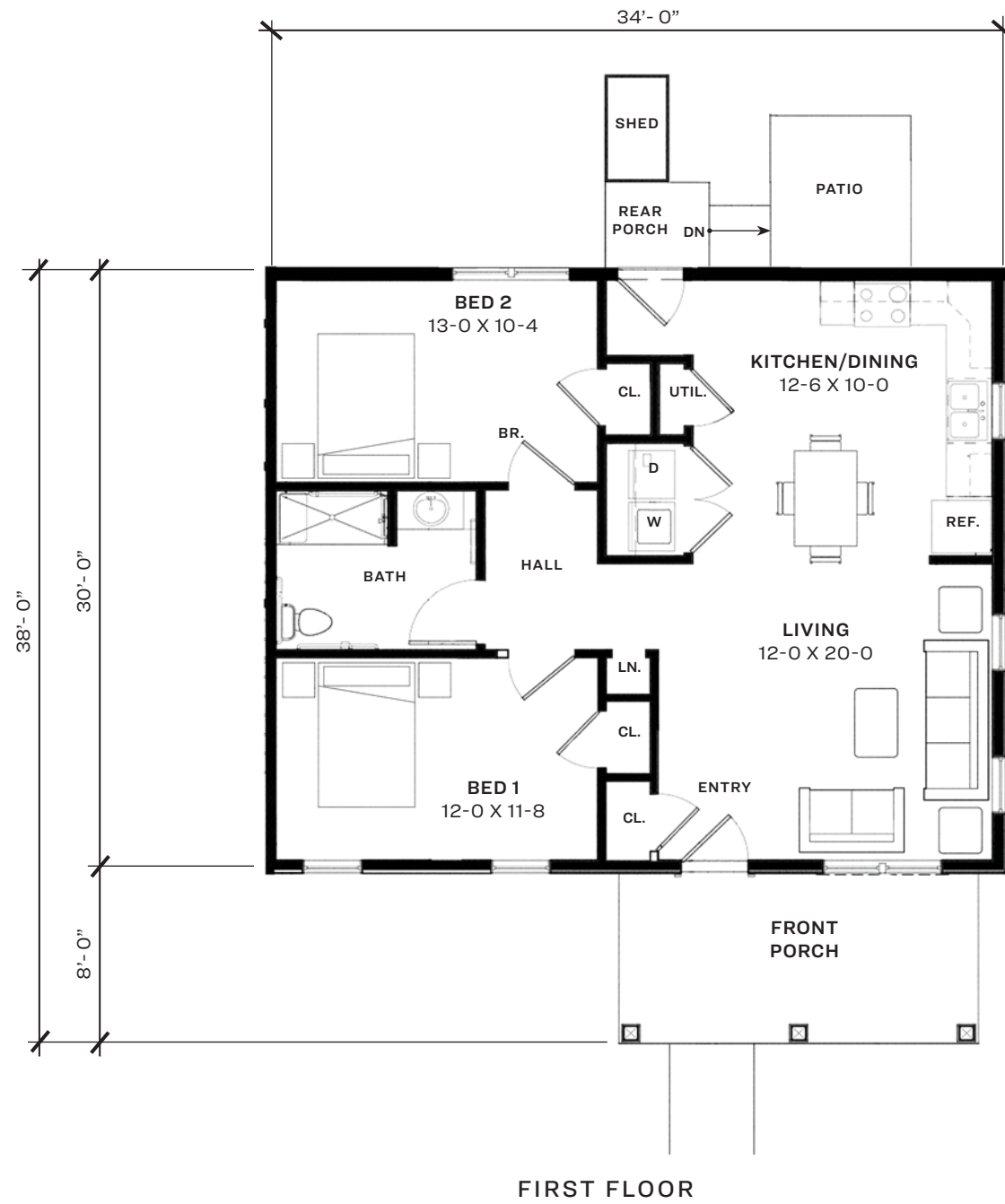
Champagne Heights

SCHEMATIC DESIGN - UNIT PLANS
 OCTOBER 17, 2024





KEY PLAN



2 BEDROOM UNIT- ADA (1,020 SF, 2 BR, 1 BATH)

SCALE: 1/8"=1'-0"



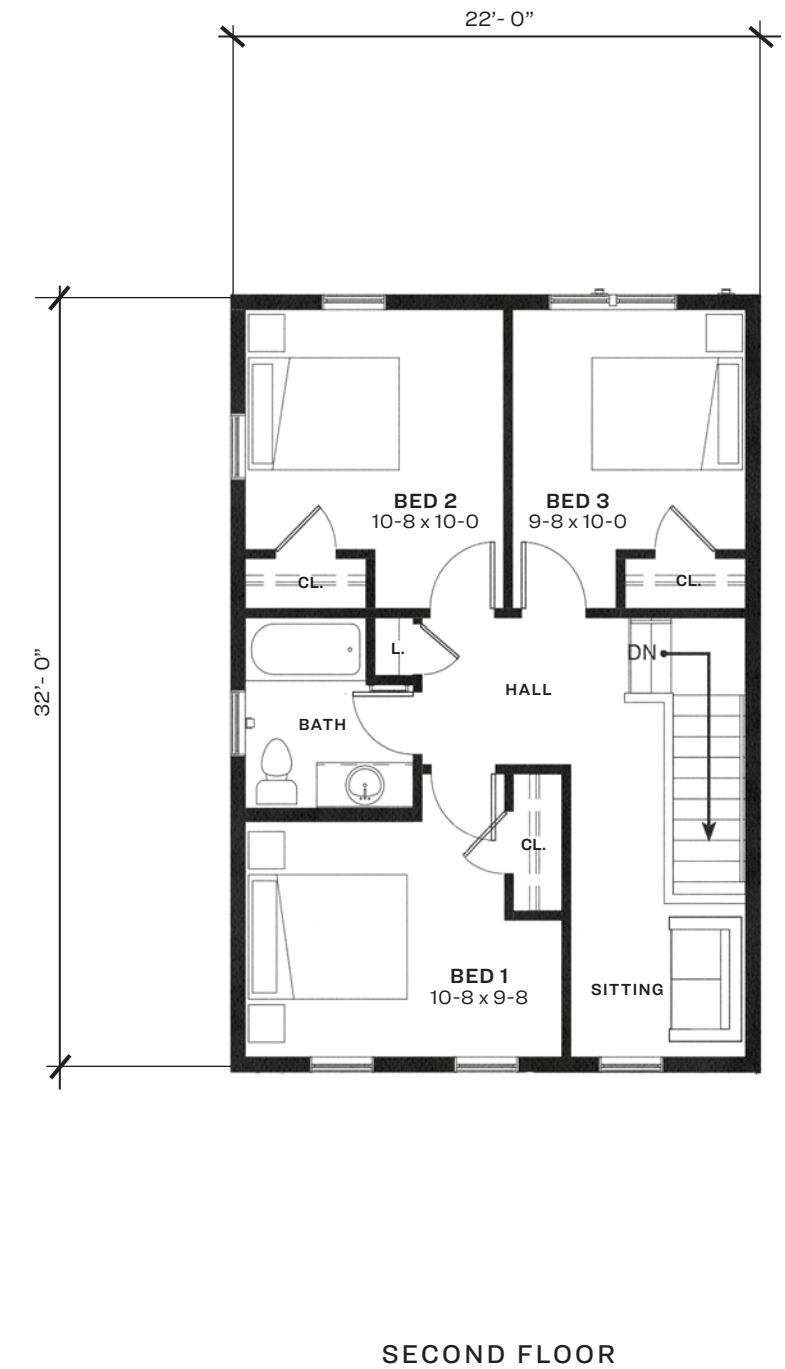
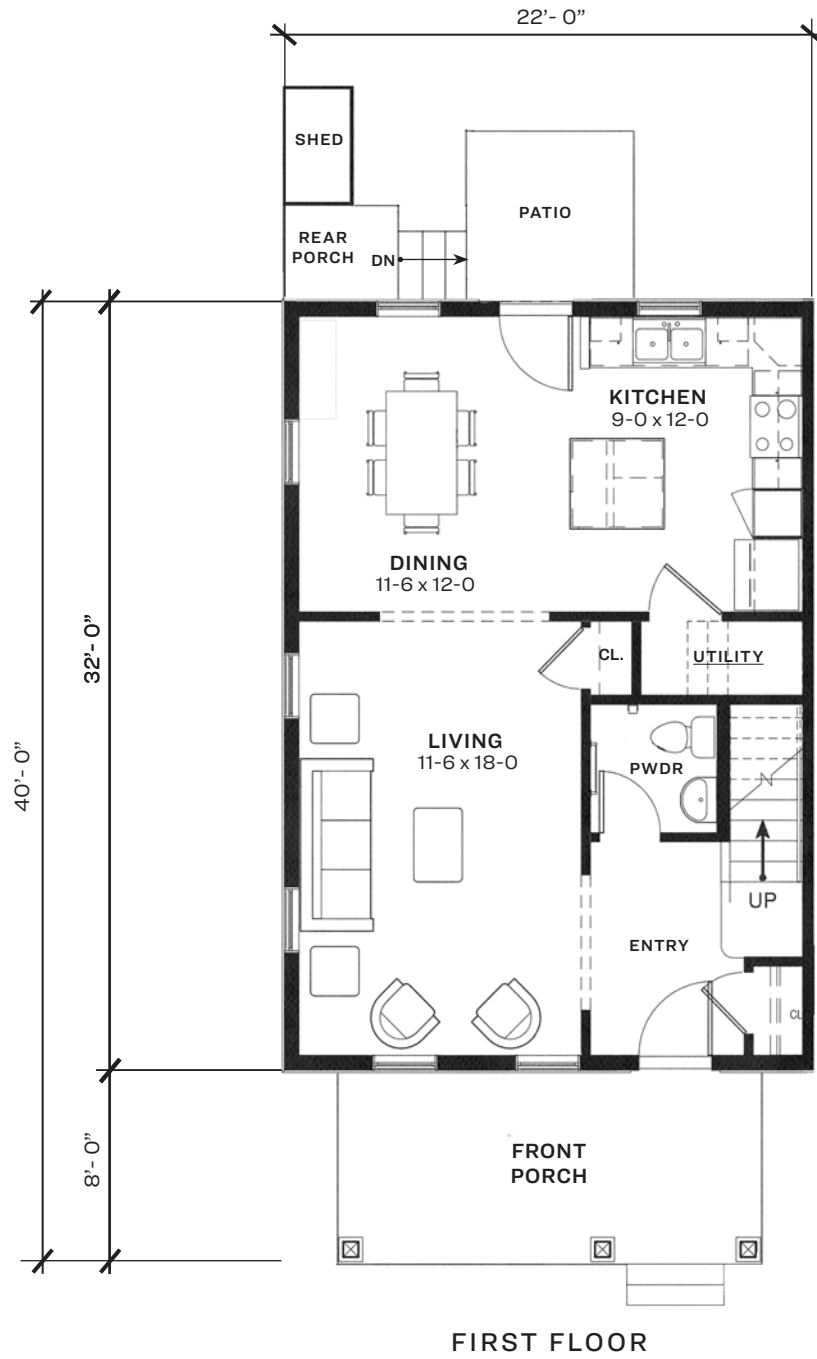
Champagne Heights

SCHEMATIC DESIGN - UNIT PLANS
OCTOBER 17, 2024





KEY PLAN



3 BEDROOM UNIT (1,408 SF, 3 BR, 1.5 BATH)
 SCALE: 1/8"=1'-0"



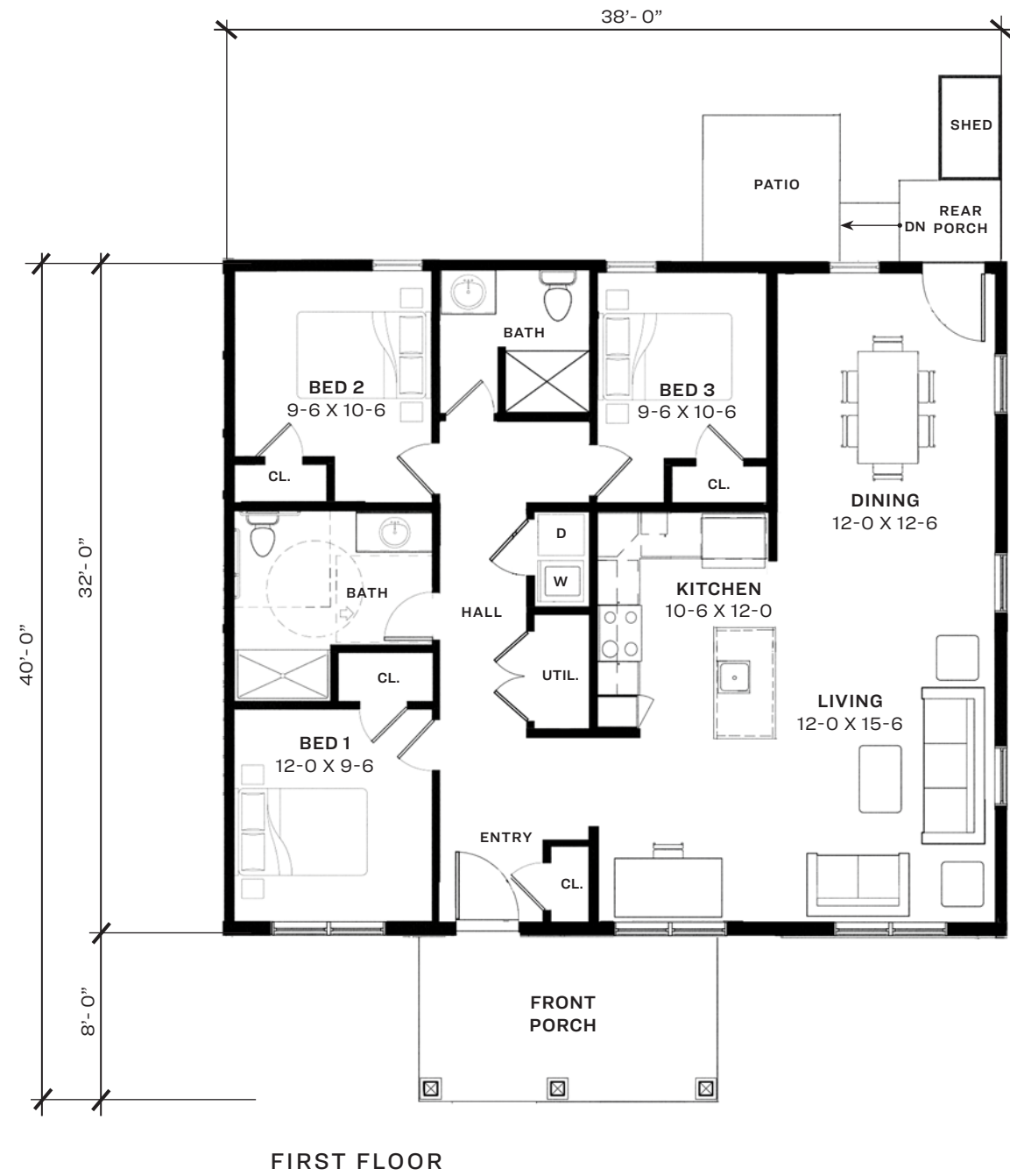
Champagne Heights

SCHEMATIC DESIGN - UNIT PLANS
 OCTOBER 17, 2024





KEY PLAN



FIRST FLOOR

3 BEDROOM UNIT- ADA (1,216 SF, 3 BR, 2 BATH)
SCALE: 1/8"=1'-0"



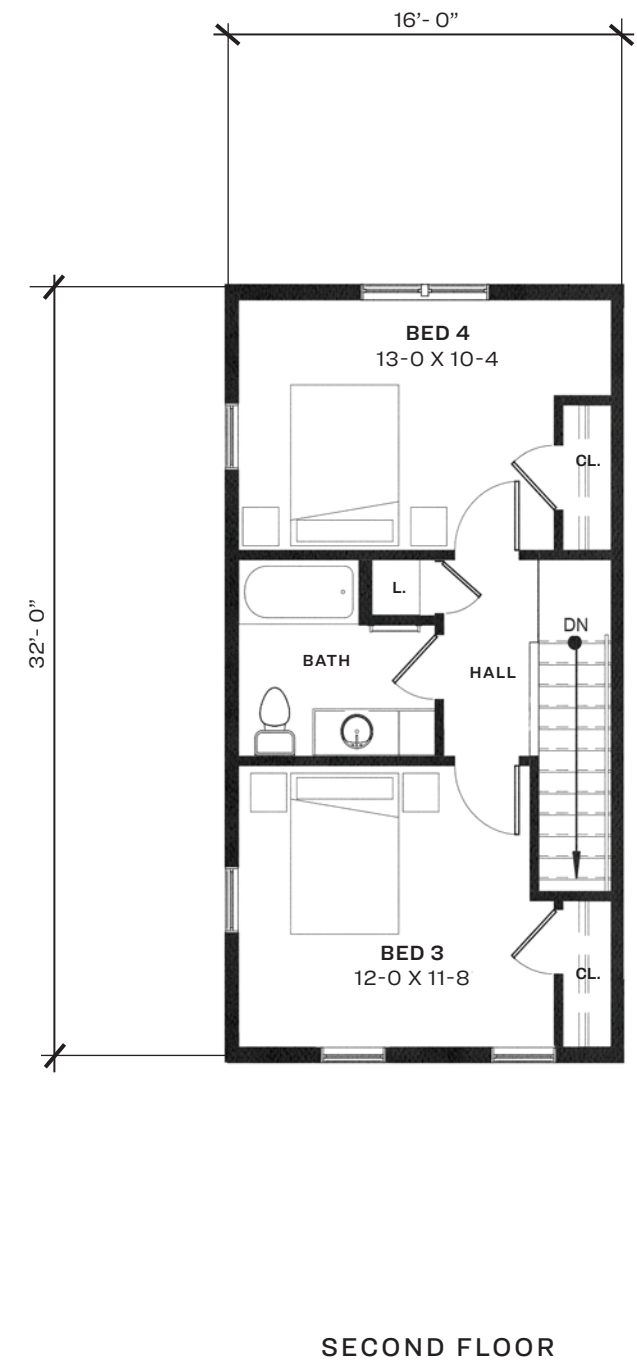
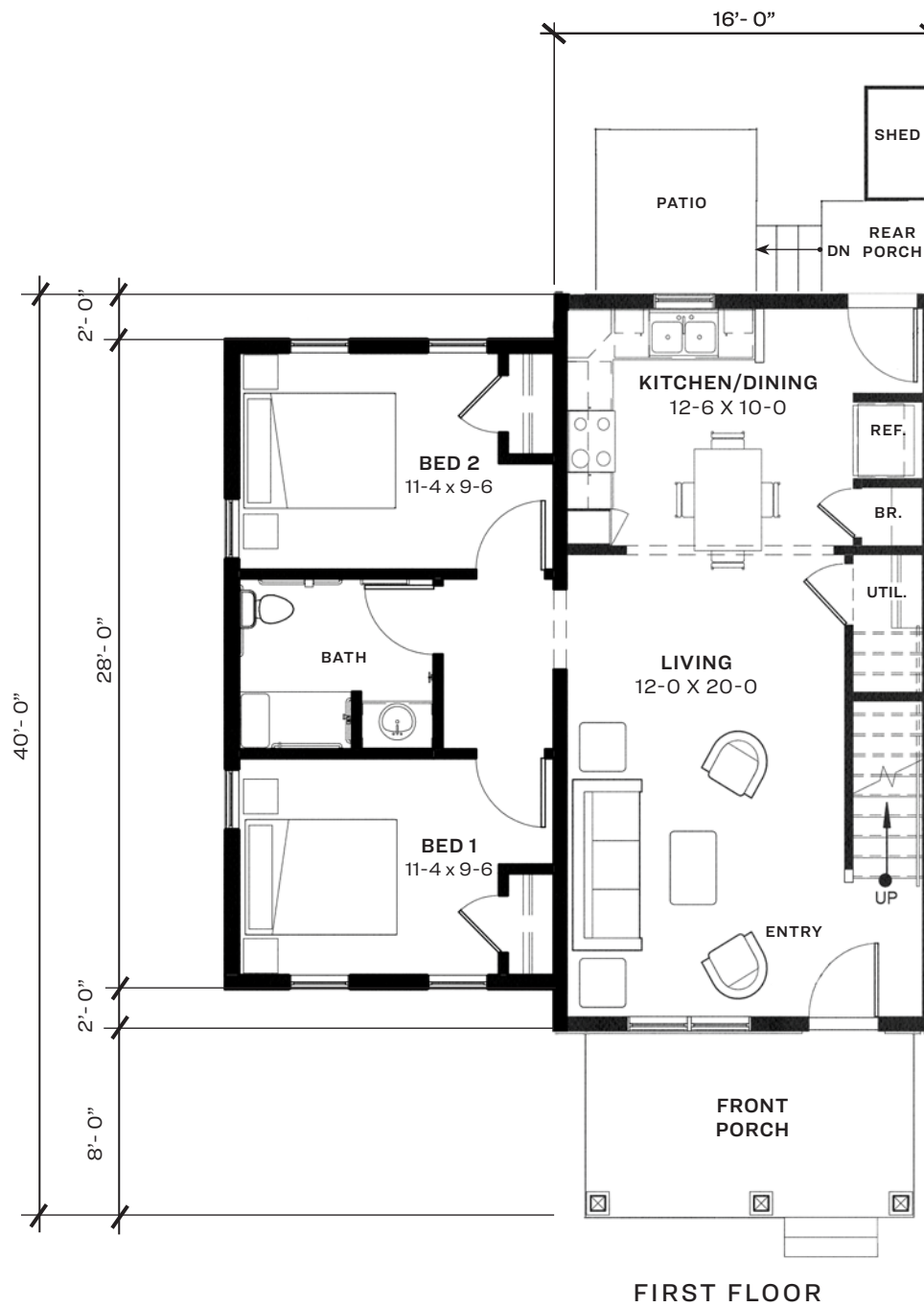
Champagne Heights

SCHEMATIC DESIGN - UNIT PLANS
OCTOBER 17, 2024





KEY PLAN



4 BEDROOM UNIT (1,416 SF, 4 BR, 2 BATH)
 ONE 4-BED UNIT TO BE ACCESSIBLE AS DEFINED BY UFAS
 SCALE: 1/8"=1'-0"



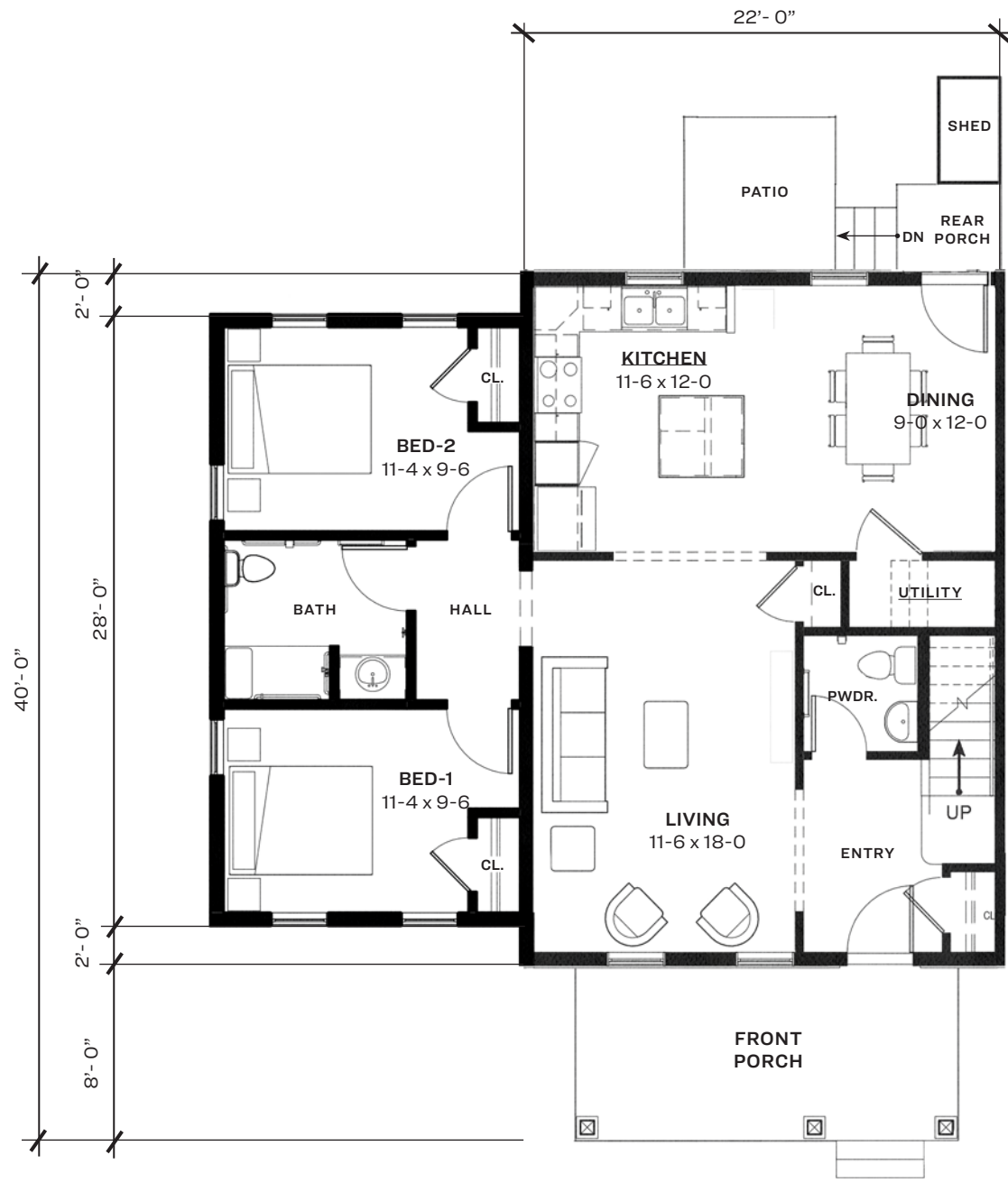
Champagne Heights

SCHEMATIC DESIGN - UNIT PLANS
 OCTOBER 17, 2024

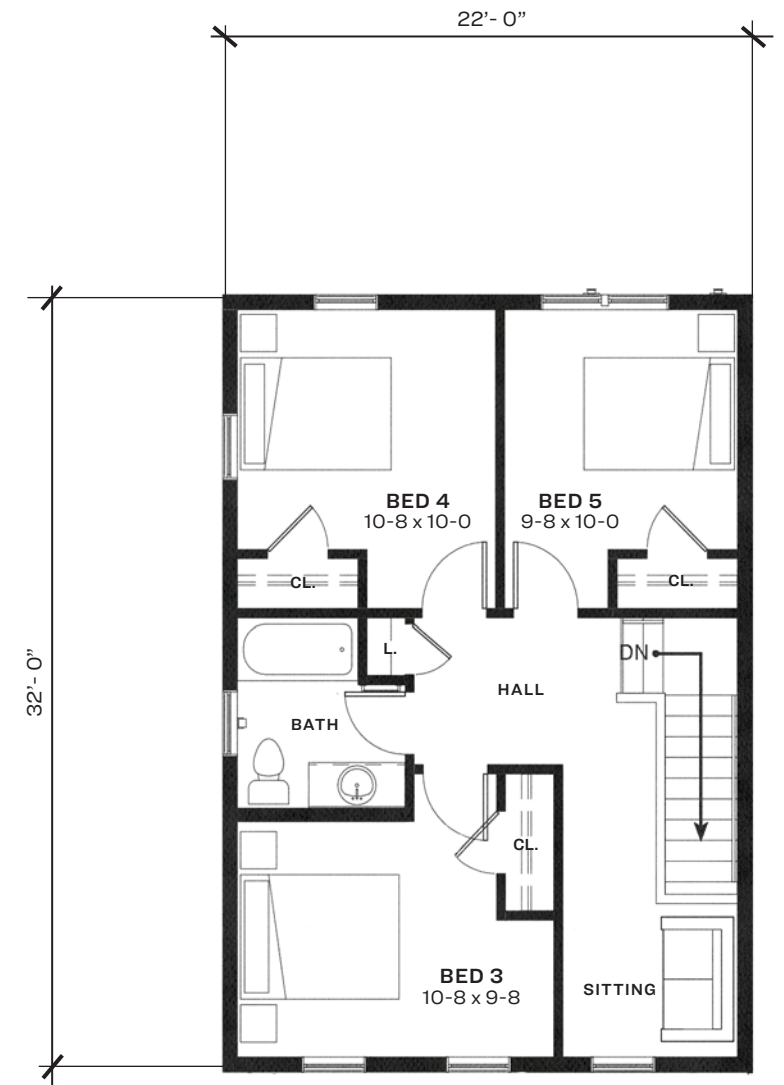




Unit	Total	Target
1BR	0	1
2BR	29 [1 Acc]	18
3BR	42 [2 Acc]	20
4BR	12 [1 Acc]	11
5BR	2 [1 Acc]	2
Total Units	85	52



FIRST FLOOR



SECOND FLOOR

5 BEDROOM UNIT (1,800 SF, 5 BR, 2.5 BATH)
 ONE 5-BED UNIT TO BE ACCESSIBLE AS DEFINED BY UFAS
 SCALE: 1/8"=1'-0"



KEY PLAN

Champagne Heights

SCHEMATIC DESIGN - UNIT PLANS
 OCTOBER 17, 2024

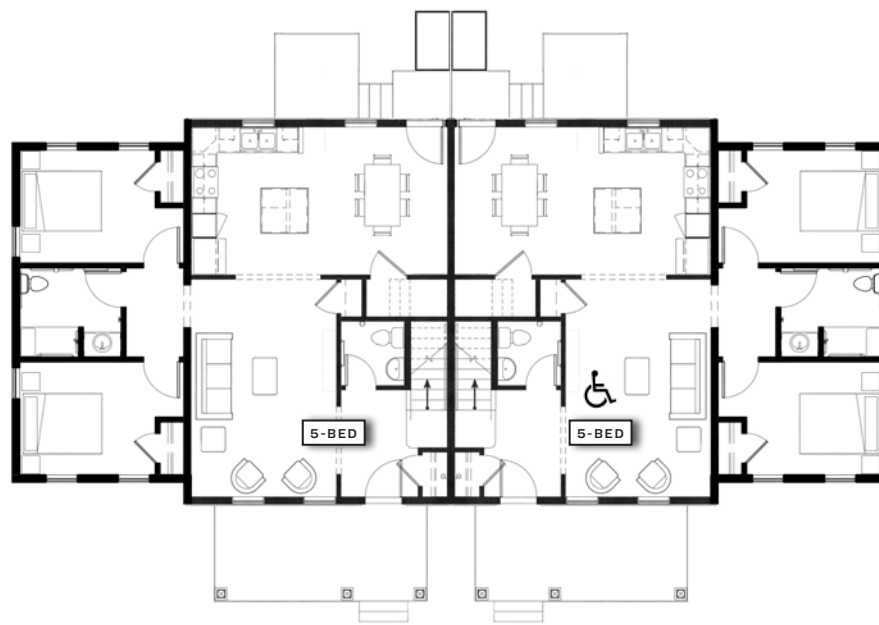




KEY PLAN



FRONT ELEVATION



TYPICAL FLOOR PLAN

TYPICAL EXTERIOR

- 25 YEAR ASPHALT SHINGLE ROOF
- PAINTED LAP SIDING
- PAINTED COMPOSITE RUNNING TRIM, CORNERBOARDS, AND WINDOW TRIM
- DOUBLE-HUNG INSULATED FIBERGLASS WINDOWS
- PAINTED, INSULATED FIBERGLASS DOORS
- ALUMINUM GUTTERS AND DOWNSPOUTS

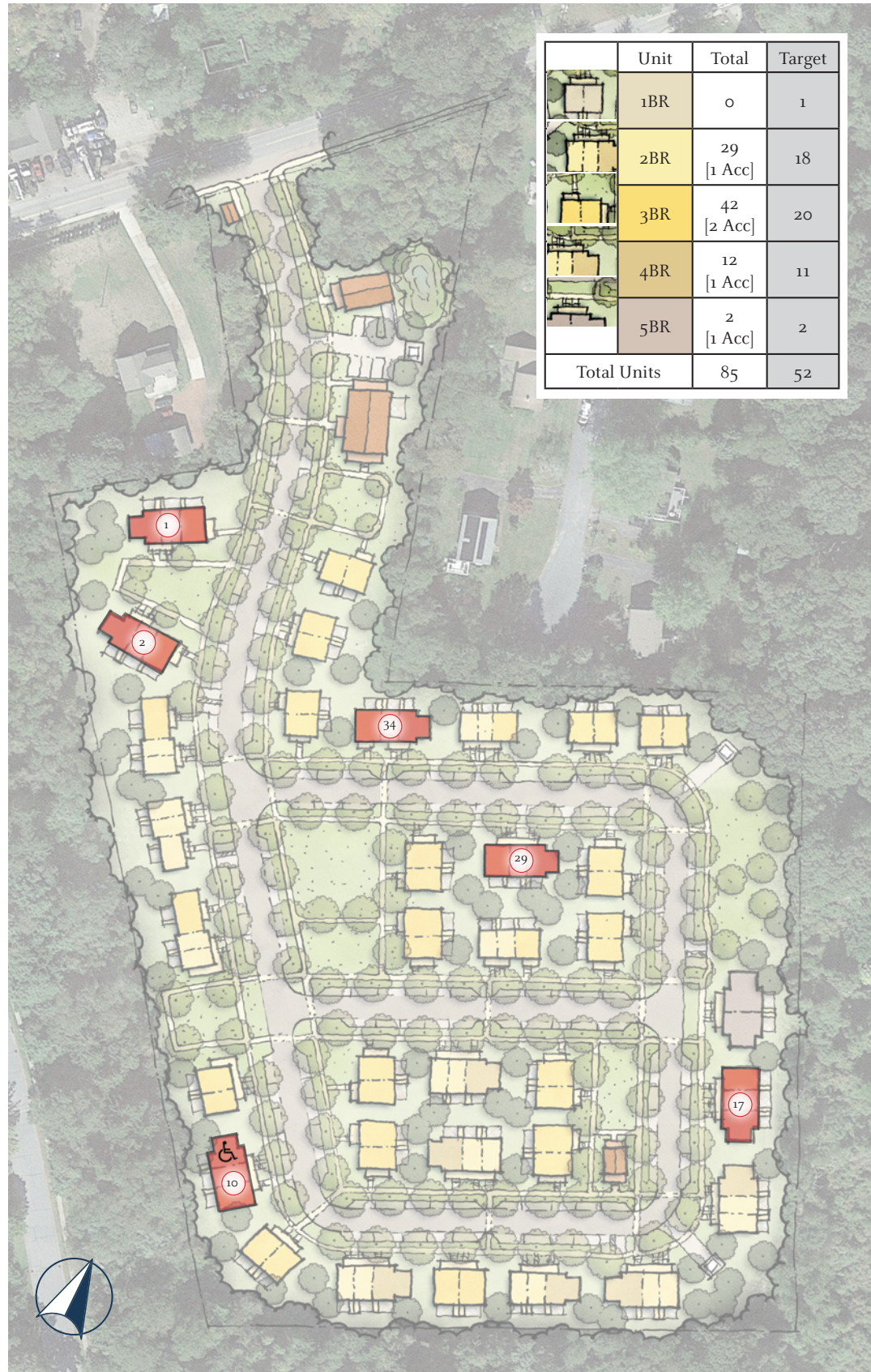
TYPICAL PORCH

- 25 YEAR ASPHALT SHINGLE ROOF
- PAINTED COMPOSITE FASCIA AND FRIEZE BOARD
- COMPOSITE DECKING WITH COMPOSITE SKIRT
- 6X6 FIBERGLASS COLUMNS

Champagne Heights

SCHEMATIC DESIGN - BUILDING TYPE 1 (5BR/5BRa DUPLEX)
OCTOBER 17, 2024

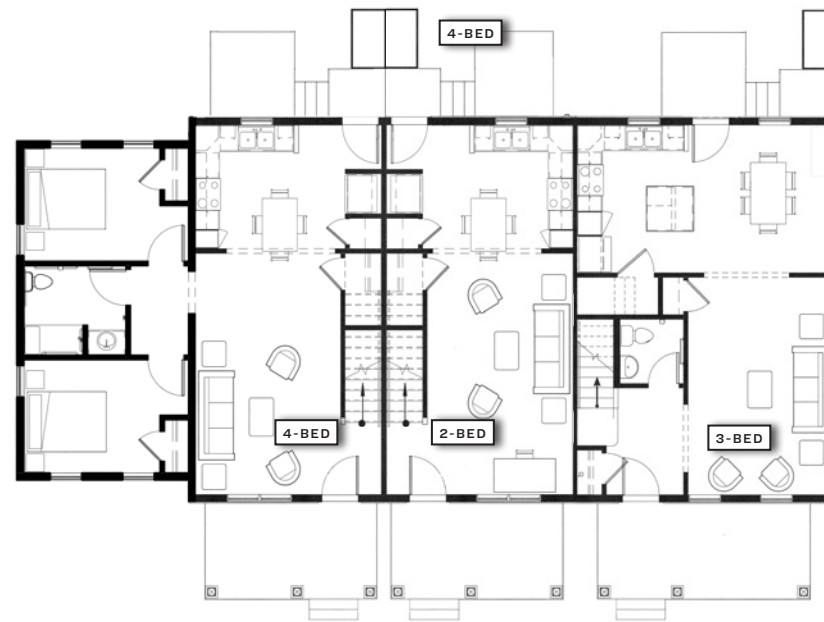




KEY PLAN



FRONT ELEVATION



TYPICAL FLOOR PLAN

TYPICAL EXTERIOR

- 25 YEAR ASPHALT SHINGLE ROOF
- PAINTED LAP SIDING
- PAINTED COMPOSITE RUNNING TRIM, CORNERBOARDS, AND WINDOW TRIM
- DOUBLE-HUNG INSULATED FIBERGLASS WINDOWS
- PAINTED, INSULATED FIBERGLASS DOORS
- ALUMINUM GUTTERS AND DOWNSPOUTS

TYPICAL PORCH

- 25 YEAR ASPHALT SHINGLE ROOF
- PAINTED COMPOSITE FASCIA AND FRIEZE BOARD
- COMPOSITE DECKING WITH COMPOSITE SKIRT
- 6X6 FIBERGLASS COLUMNS

Champagne Heights

SCHEMATIC DESIGN - BUILDING TYPE 2 (4BR/2BR/3BR TRIPLEX)
OCTOBER 17, 2024





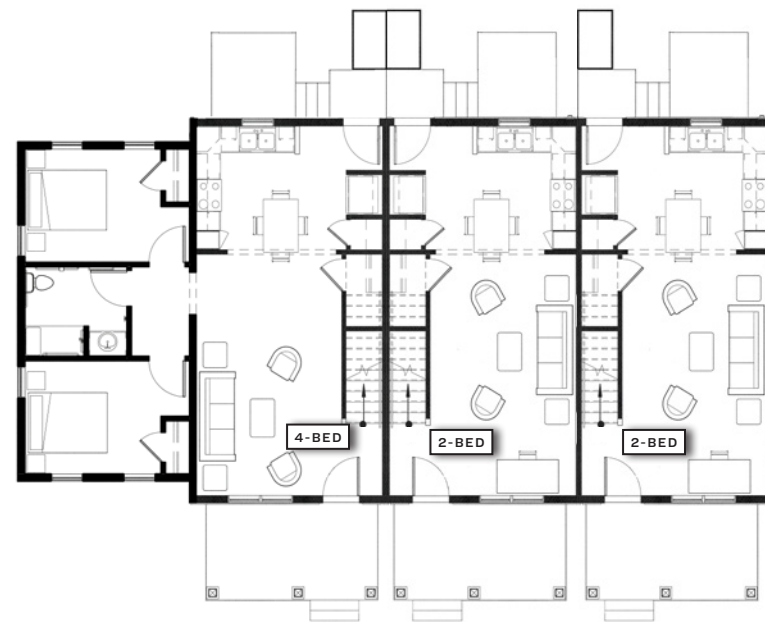
KEY PLAN

Champagne Heights

SCHEMATIC DESIGN - BUILDING TYPE 3 (4BR/2BR/2BR TRIPLEX)
OCTOBER 17, 2024



FRONT ELEVATION



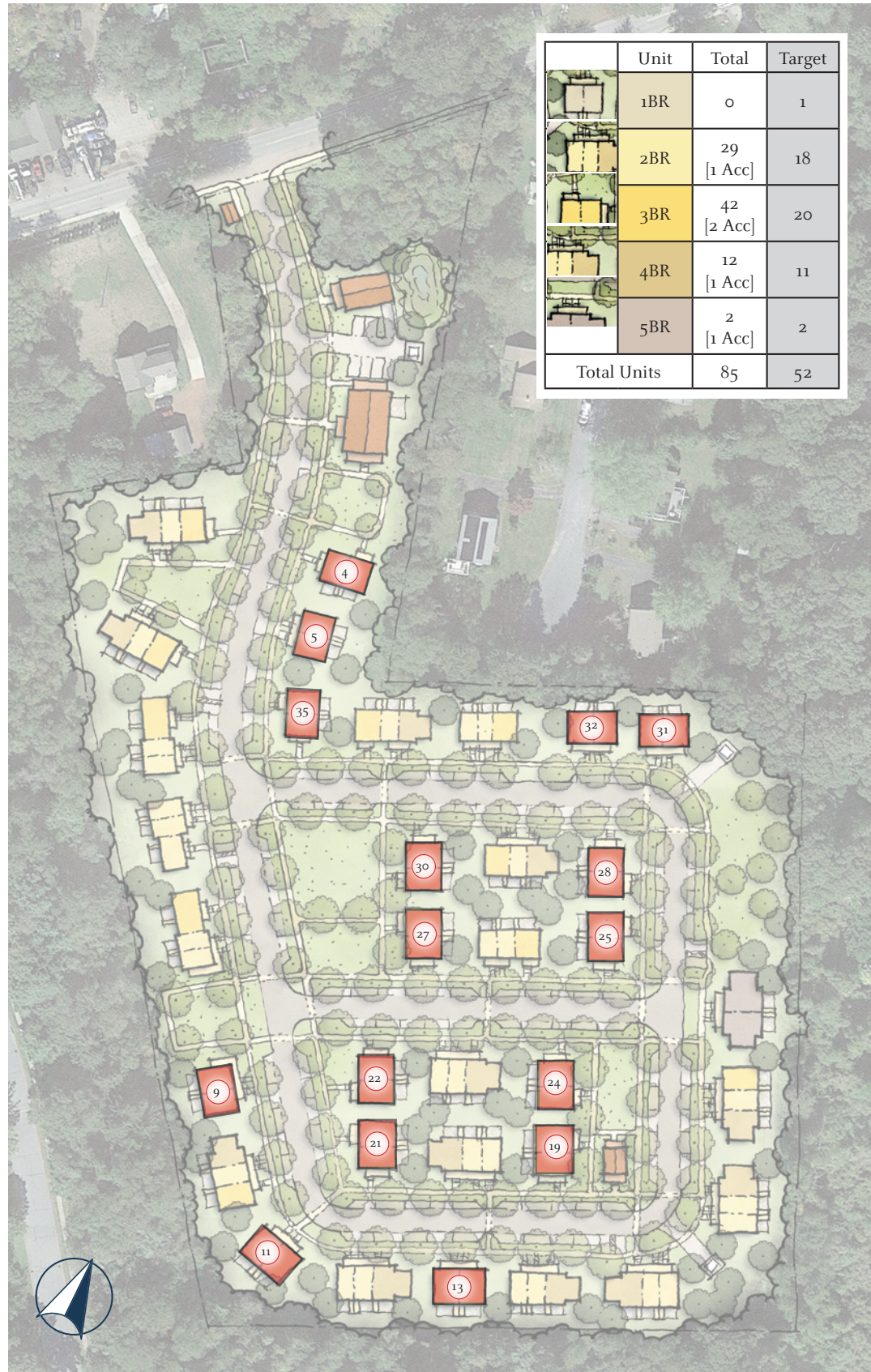
TYPICAL FLOOR PLAN

TYPICAL EXTERIOR

- 25 YEAR ASPHALT SHINGLE ROOF
- PAINTED LAP SIDING
- PAINTED COMPOSITE RUNNING TRIM, CORNERBOARDS, AND WINDOW TRIM
- DOUBLE-HUNG INSULATED FIBERGLASS WINDOWS
- PAINTED, INSULATED FIBERGLASS DOORS
- ALUMINUM GUTTERS AND DOWNSPOUTS

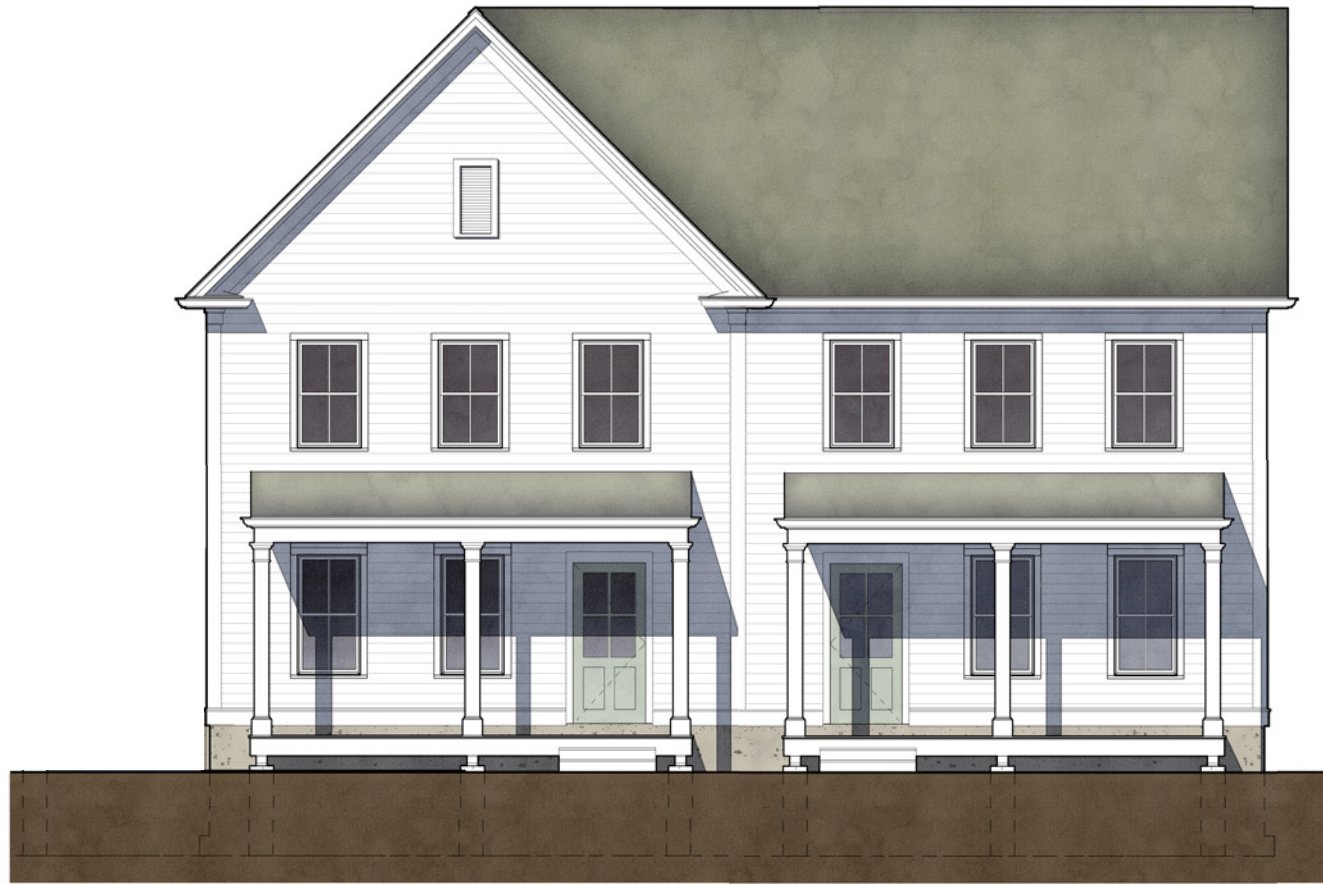
TYPICAL PORCH

- 25 YEAR ASPHALT SHINGLE ROOF
- PAINTED COMPOSITE FASCIA AND FRIEZE BOARD
- COMPOSITE DECKING WITH COMPOSITE SKIRT
- 6X6 FIBERGLASS COLUMNS

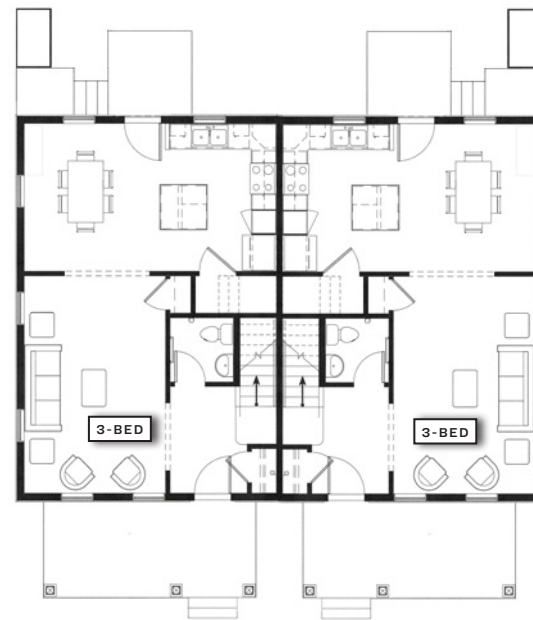


Unit	Total	Target
1BR	0	1
2BR	29 [1 Acc]	18
3BR	42 [2 Acc]	20
4BR	12 [1 Acc]	11
5BR	2 [1 Acc]	2
Total Units	85	52

KEY PLAN



FRONT ELEVATION



TYPICAL FLOOR PLAN

TYPICAL EXTERIOR

- 25 YEAR ASPHALT SHINGLE ROOF
- PAINTED LAP SIDING
- PAINTED COMPOSITE RUNNING TRIM, CORNERBOARDS, AND WINDOW TRIM
- DOUBLE-HUNG INSULATED FIBERGLASS WINDOWS
- PAINTED, INSULATED FIBERGLASS DOORS
- ALUMINUM GUTTERS AND DOWNSPOUTS

TYPICAL PORCH

- 25 YEAR ASPHALT SHINGLE ROOF
- PAINTED COMPOSITE FASCIA AND FRIEZE BOARD
- COMPOSITE DECKING WITH COMPOSITE SKIRT
- 6X6 FIBERGLASS COLUMNS

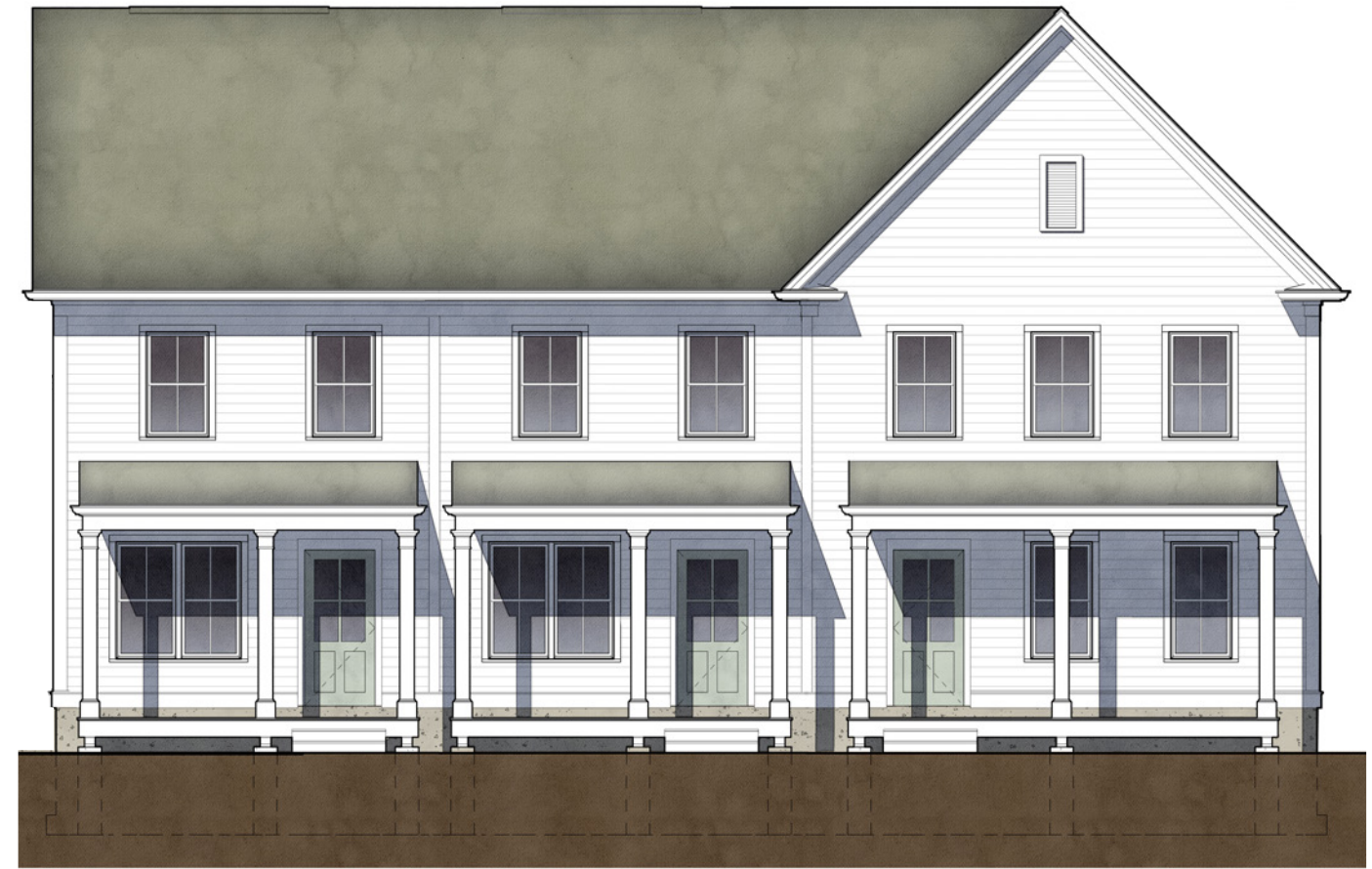
Champagne Heights

SCHEMATIC DESIGN - BUILDING TYPE 4 (3BR/3BR DUPLEX)
OCTOBER 17, 2024





KEY PLAN



FRONT ELEVATION



TYPICAL FLOOR PLAN

TYPICAL EXTERIOR

- 25 YEAR ASPHALT SHINGLE ROOF
- PAINTED LAP SIDING
- PAINTED COMPOSITE RUNNING TRIM, CORNERBOARDS, AND WINDOW TRIM
- DOUBLE-HUNG INSULATED FIBERGLASS WINDOWS
- PAINTED, INSULATED FIBERGLASS DOORS
- ALUMINUM GUTTERS AND DOWNSPOUTS

TYPICAL PORCH

- 25 YEAR ASPHALT SHINGLE ROOF
- PAINTED COMPOSITE FASCIA AND FRIEZE BOARD
- COMPOSITE DECKING WITH COMPOSITE SKIRT
- 6X6 FIBERGLASS COLUMNS

Champagne Heights

SCHEMATIC DESIGN - BUILDING TYPE 5 (2BR/2BR/3BR TRIPLEX)
OCTOBER 17, 2024



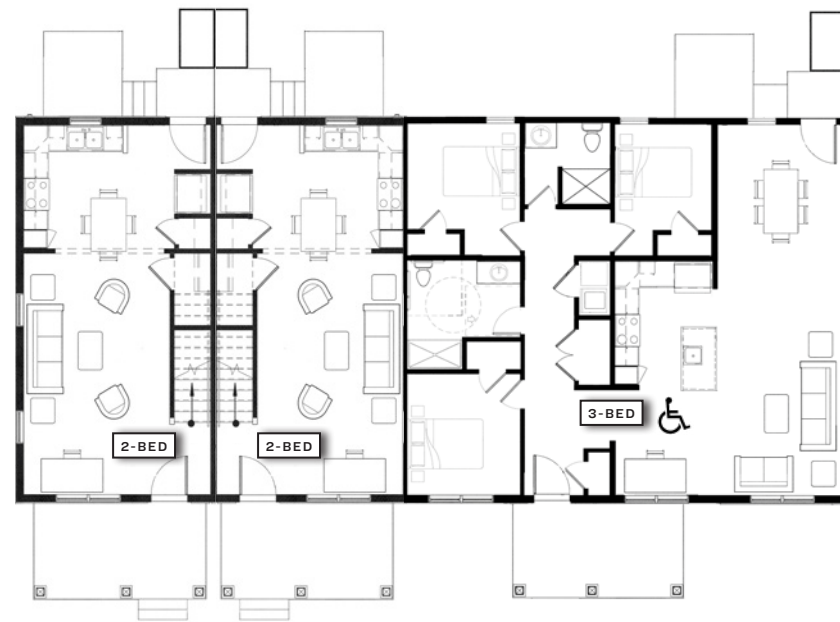


	Unit	Total	Target
	1BR	0	1
	2BR	29 [1 Acc]	18
	3BR	42 [2 Acc]	20
	4BR	12 [1 Acc]	11
	5BR	2 [1 Acc]	2
Total Units		85	52

KEY PLAN



FRONT ELEVATION



TYPICAL FLOOR PLAN

TYPICAL EXTERIOR

- 25 YEAR ASPHALT SHINGLE ROOF
- PAINTED LAP SIDING
- PAINTED COMPOSITE RUNNING TRIM, CORNERBOARDS, AND WINDOW TRIM
- DOUBLE-HUNG INSULATED FIBERGLASS WINDOWS
- PAINTED, INSULATED FIBERGLASS DOORS
- ALUMINUM GUTTERS AND DOWNSPOUTS

TYPICAL PORCH

- 25 YEAR ASPHALT SHINGLE ROOF
- PAINTED COMPOSITE FASCIA AND FRIEZE BOARD
- COMPOSITE DECKING WITH COMPOSITE SKIRT
- 6X6 FIBERGLASS COLUMNS

Champagne Heights

SCHEMATIC DESIGN - BUILDING TYPE 6 (2BR/2BR/3BRa TRIPLEX)
OCTOBER 17, 2024



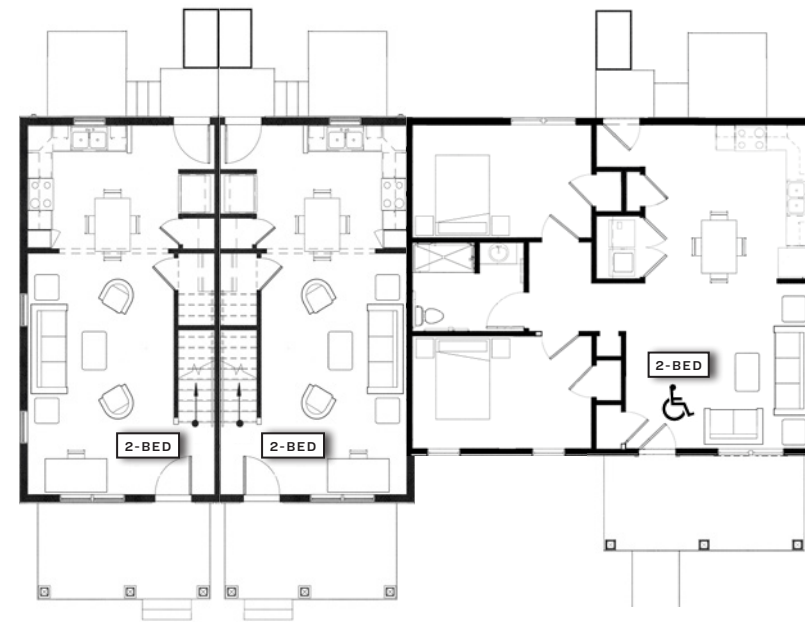


	Unit	Total	Target
	1BR	0	1
	2BR	29 [1 Acc]	18
	3BR	42 [2 Acc]	20
	4BR	12 [1 Acc]	11
	5BR	2 [1 Acc]	2
Total Units		85	52

KEY PLAN



FRONT ELEVATION



TYPICAL FLOOR PLAN

TYPICAL EXTERIOR

- 25 YEAR ASPHALT SHINGLE ROOF
- PAINTED LAP SIDING
- PAINTED COMPOSITE RUNNING TRIM, CORNERBOARDS, AND WINDOW TRIM
- DOUBLE-HUNG INSULATED FIBERGLASS WINDOWS
- PAINTED, INSULATED FIBERGLASS DOORS
- ALUMINUM GUTTERS AND DOWNSPOUTS

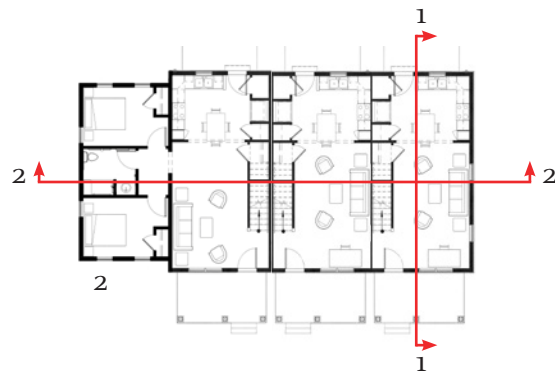
TYPICAL PORCH

- 25 YEAR ASPHALT SHINGLE ROOF
- PAINTED COMPOSITE FASCIA AND FRIEZE BOARD
- COMPOSITE DECKING WITH COMPOSITE SKIRT
- 6X6 FIBERGLASS COLUMNS

Champagne Heights

SCHEMATIC DESIGN - BUILDING TYPE 7 (2BR/2BR/2BRa TRIPLEX)
OCTOBER 17, 2024





TYPICAL ROOF ASSEMBLY

- ARCHITECTURAL SHINGLES, ON
- MIN. (1) LAYER OF #30 FELT ROOFING, ON
- ICE AND WATER SHIELD, ON
- MIN. 5/8" THICK STRUCTURAL I, EXPOSURE 1, T&G ROOF SHEATHING W/ INTEGRAL WATER-RESISTIVE BARRIER W/ ALL SEAMS TAPED, ON
- FULLY ENGINEERED WOOD TRUSSES (PER STRUCTURAL), W/
- LOOSE-FILL CELLULOSE INSULATION ABOVE TOP FLOOR CEILING (R-50 MIN.), W/
- 3/4" PLYWOOD FLANGE OVER ROOF PLATE TO CREATE CONTINUOUS AIR SEALING BARRIER, ON
- 1X3 WOOD FURRING STRIPS @ 16" O.C., W/
- 5/8" TYPE X GWB BOARD, PNTD.

(NOTE: MIN. TOTAL R-VALUE: R-50)

TYPICAL EXTERIOR WALL ASSEMBLY

- PRE-FINISHED SMOOTH FINISH ENGINEERED WOOD STRAND HORIZONTAL LAP SIDING OR MDO SMOOTH PANELS, ON
- DRAINABLE HOUSEWRAP, ON
- 2-1/2" R-12 INSULATED PANEL SYSTEM W/ SHEATHING, ALL SEAMS FULLY TAPED/ SEALED, ON
- MIN. 15/32" THICK STRUCTURAL I, EXPOSURE I SHEATHING W/ 2X4 BLOCKING AT ALL SEAMS PER STRUCTURAL, ON
- 2X6 SPF # 2 WOOD STUDS SPACED AT 16" O.C. W/ CONTINUOUS DOUBLE TOP PLATE AND SINGLE PT BOTTOM PLATE PER STRUCTURAL, W/
- FULL-CAVITY DENSE-PACK CELLULOSE, W/
- 5/8" TYPE X GWB BOARD, PNTD., W/
- BASE, AS SCHEDULED

(NOTE: MIN. TOTAL R-VALUE: R-30)

TYPICAL FRAMED FLOOR ASSEMBLY

- FINISH FLOORING AS SCHEDULED, ON
- 3/4" THICK T&G MOISTURE RESISTANT STUCTURAL PANEL SHEATHING, ON
- ENGINEERED FLOOR JOISTS PER STRUCTURAL, W/
- 1X3 WOOD FURRING STRIPS @ 16" O.C., W/ 5/8" TYPE X GWB BOARD, PNTD.

TYPICAL SLAB-ON-GRADE ASSEMBLY

- FINISH FLOORING AS SCHEDULED, ON
- 4" THICK MIN. C.I.P. REINFORCED CONCRETE SLAB W/ WELDED MESH, ON
- 10 MIL VAPOR BARRIER W/ ALL JOINTS TAPED AND SEALED, ON
- 6" COMPACTED FOAM GLASS AGGREGATE BASE, ON LANDSCAPE FABRIC, W/
- 2" RIGID XPS FOAM BOARD @ SLAB PERIMETER

(NOTE: MIN. TOTAL R-VALUE: R-10)

TYPICAL FOUNDATION ASSEMBLY

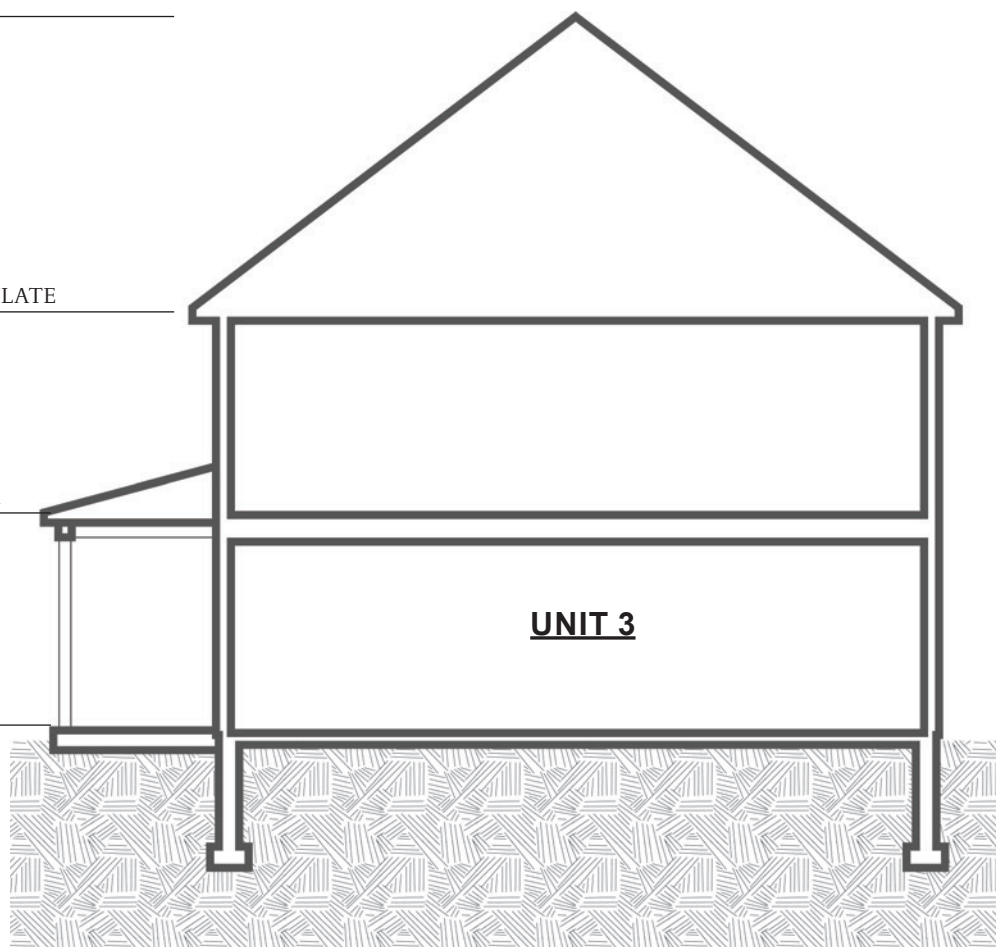
- 10" THICK MIN. C.I.P. REINFORCED CONCRETE FROST WALL AND FOOTINGS PER STRUCTURAL

T.O. ROOF
+/- 35'-0"

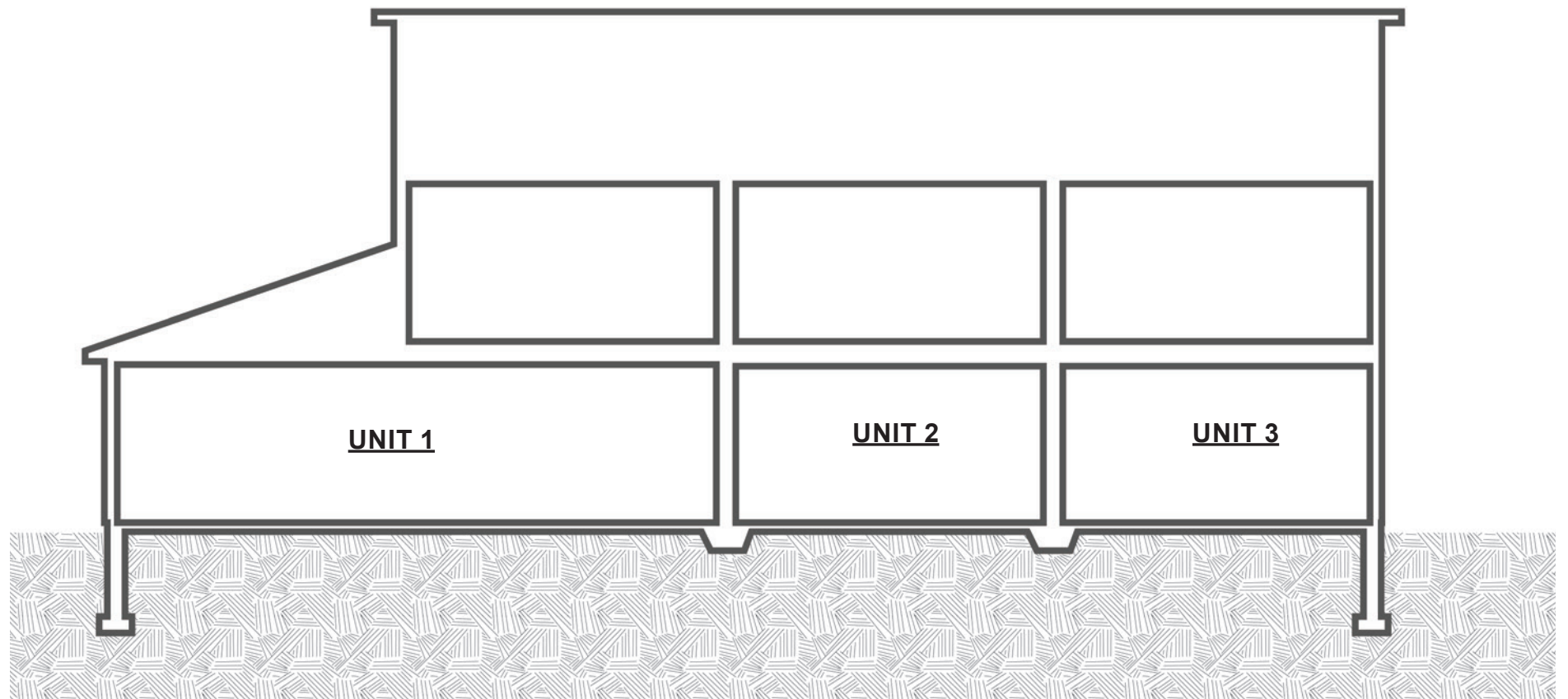
T.O. ROOF PLATE
17'-2"

2ND FLOOR
9'-1"

1ST FLOOR
0'-0"



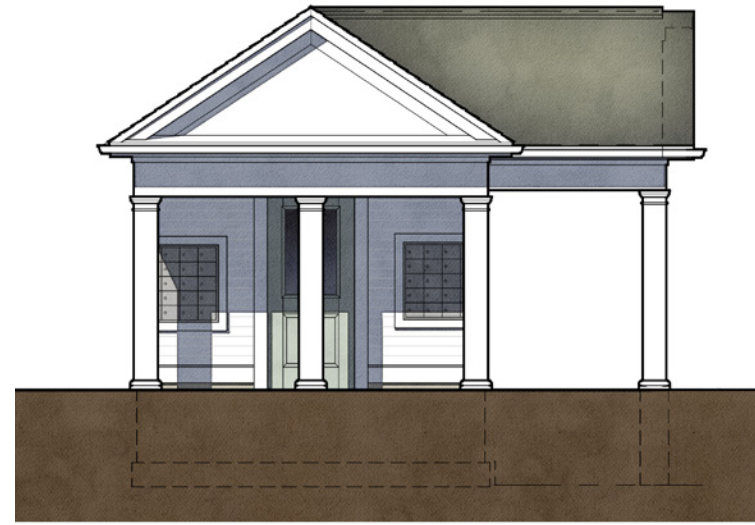
BUILDING SECTION 1



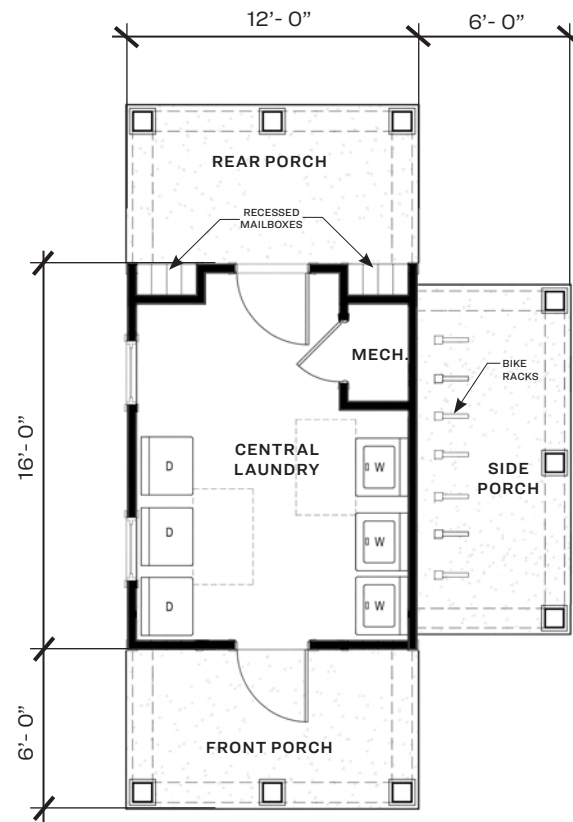
BUILDING SECTION 2



KEY PLAN



FRONT ELEVATION



TYPICAL FLOOR PLAN

TYPICAL EXTERIOR

- 25 YEAR ASPHALT SHINGLE ROOF
- PAINTED LAP SIDING
- PAINTED COMPOSITE RUNNING TRIM, CORNERBOARDS, AND WINDOW TRIM
- DOUBLE-HUNG INSULATED FIBERGLASS WINDOWS
- PAINTED, INSULATED FIBERGLASS DOORS
- ALUMINUM GUTTERS AND DOWNSPOUTS

TYPICAL PORCH

- 25 YEAR ASPHALT SHINGLE ROOF
- PAINTED COMPOSITE FASCIA AND FRIEZE BOARD
- COMPOSITE DECKING WITH COMPOSITE SKIRT
- 6X6 FIBERGLASS COLUMNS

Champagne Heights

SCHEMATIC DESIGN - COMMUNITY LAUNDRY BUILDING
OCTOBER 17, 2024

