

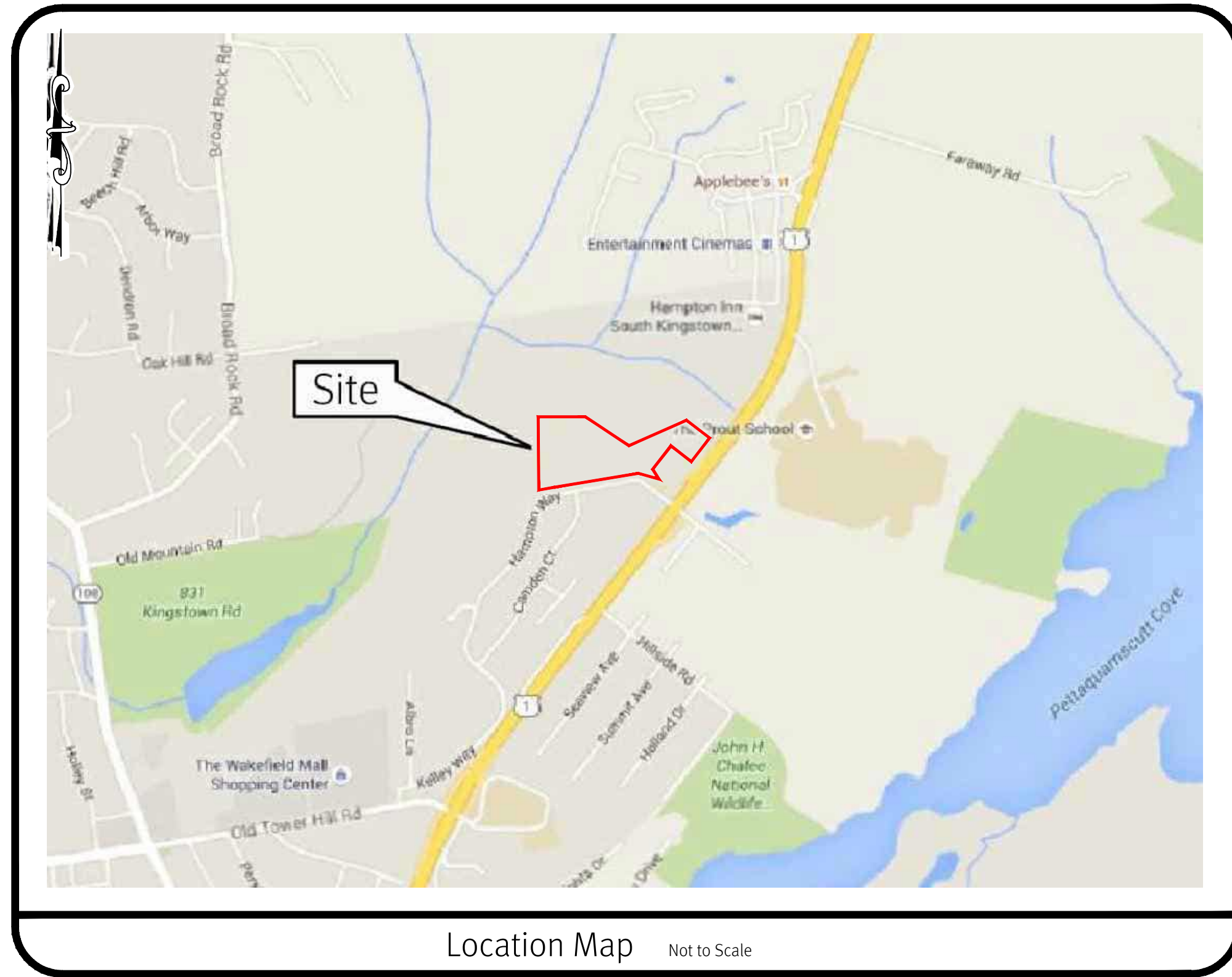
Master Plan Submission

The Village at South County Commons

District 5 - Apartments

South Kingstown, Rhode Island 02879

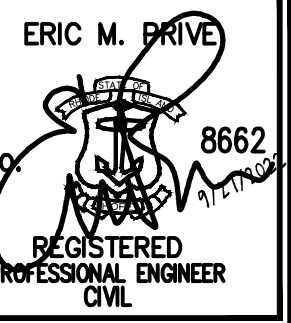
Assessor's Plat 50-4 Lots 22 & 26



Location Map Not to Scale

Sheet Index

1. Cover Sheet
2. Aerial & USGS Map
3. Existing Conditions Plan
4. Previously Approved Site Plan
5. Site Layout
6. Site Views and Elevations
7. Floor Plans and Rendering



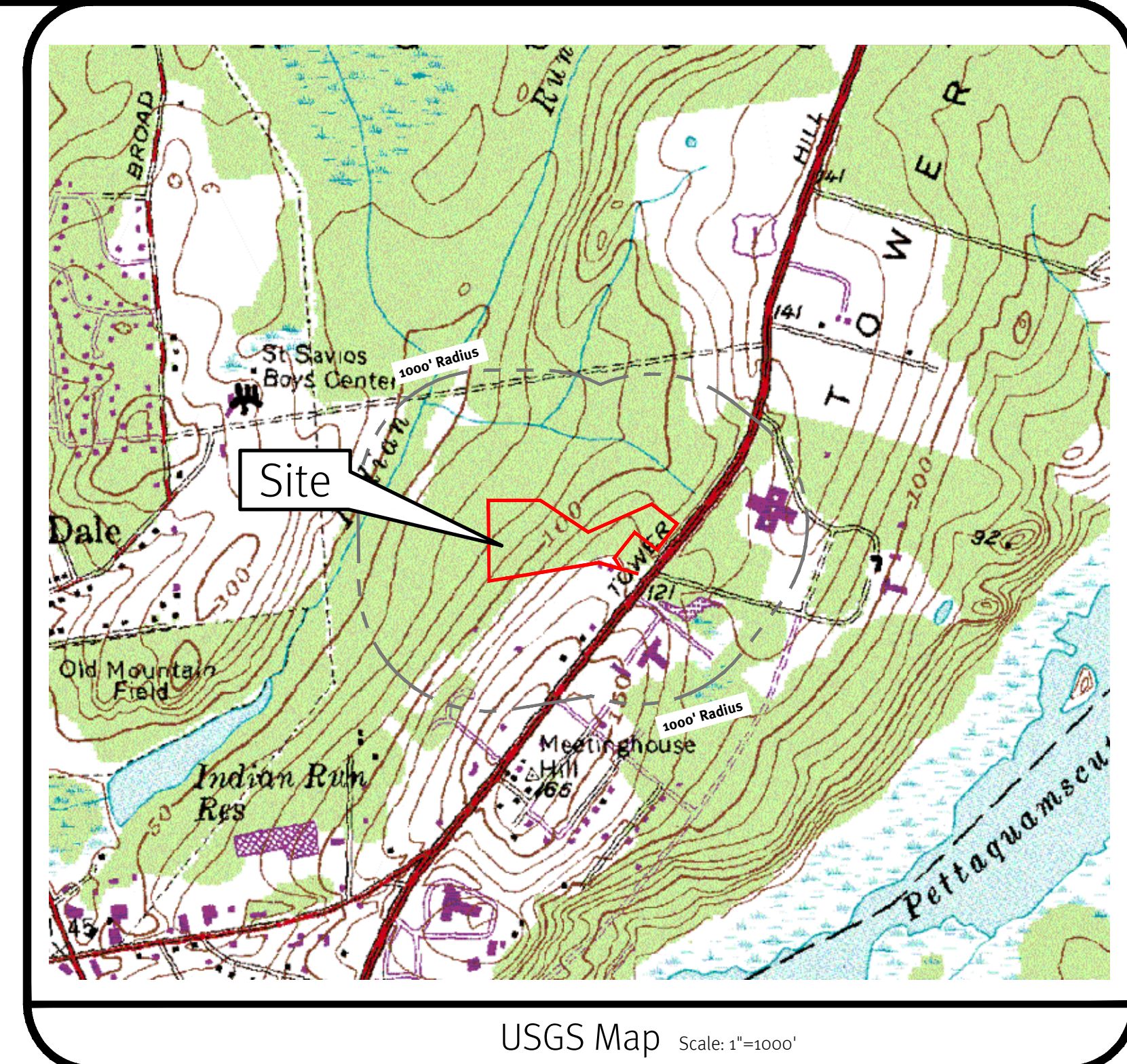
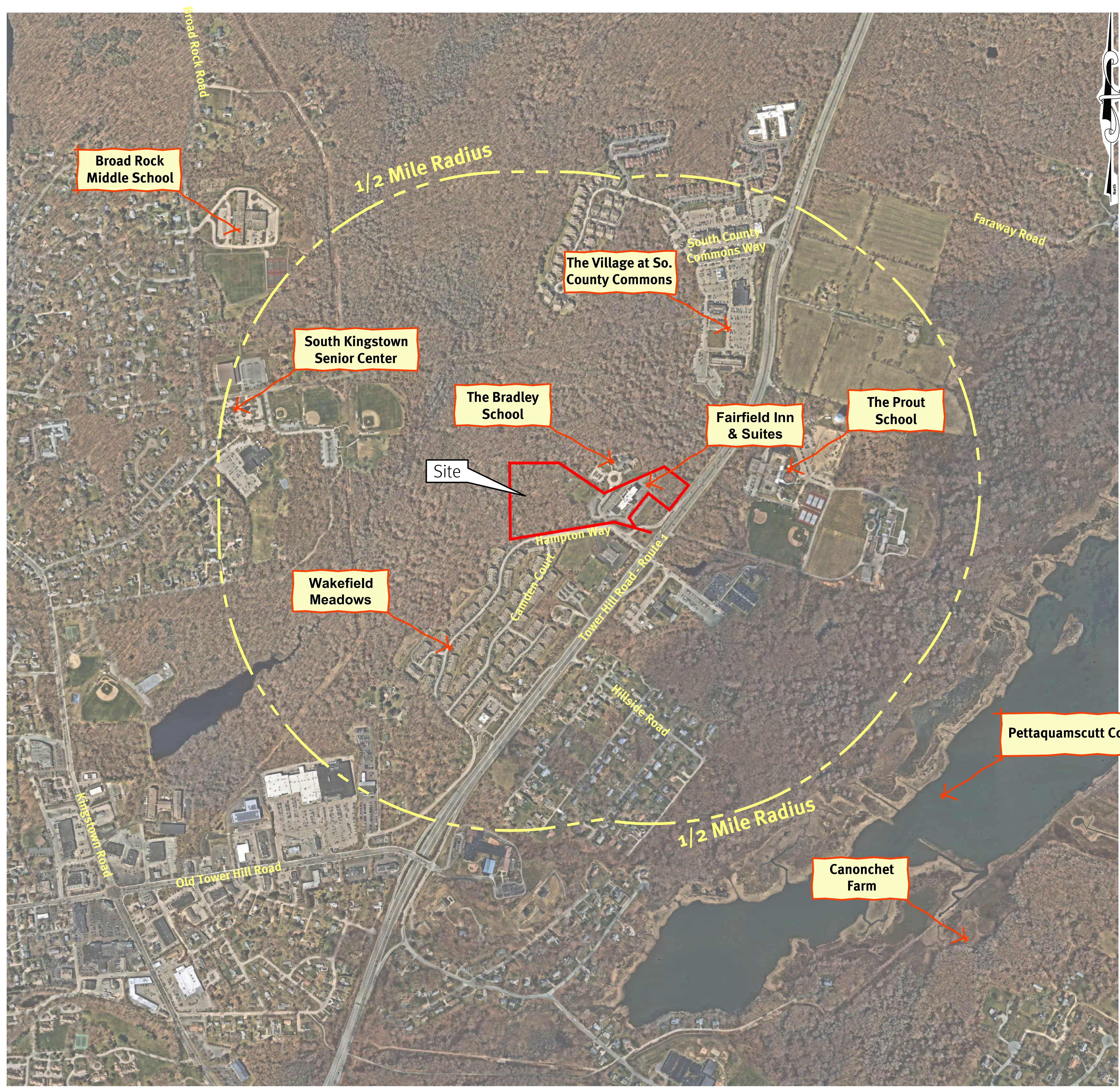
This design development plan shall not be used for construction purposes unless stamped, issued for construction and signed by a DiPrete Engineering representative.

The contractor is responsible for all of the means, methods, safety precautions and requirements, and OSHA conformance in the implementation of this plan and design.

No.	Date	Description	S.E.C.	S.P.H.	Design By: K.I.D.
1	07/27/2022	Master Plan Submission - Apartments			
2	07/27/2022	Pre-Application Submission - Apartments			

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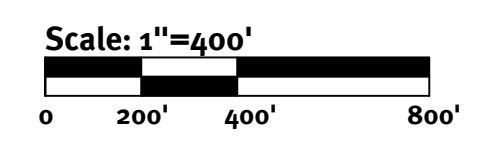
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Legend:

- PROPERTY LINE
- 1000' RADIUS LINE
- HALF MILE RADIUS LINE

PHOTO OBTAINED FROM NEARMAP.
DATE OF PHOTOGRAPHY 04/02/2022



DiPrete Engineering
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Boston • Providence • Newport

ERIC M. PRIVE
No. 8662
REGISTERED PROFESSIONAL ENGINEER CIVIL

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The contractor is responsible for all of the means, methods, safety precautions and requirements, and OSHA conformance in the implementation of this plan and design.

1	07/27/2022	Master Plan Submission - Apartments	S.E.C.	Design By: K.I.D.
2	07/27/2022	Pre-Application Submission - Apartments	S.E.C.	Dr.
3		Description		
Drawn By: S.E.C.				

Aerial and USGS Map
The Village at South County Commons - District 5, Apartments
Zoned Route 1 Special Management District (SMD)
Assessor's Plat 504, Lots 22 & 26
South Kingstown, Rhode Island 02879
Owner: 40-200-0000-0000-0000
Suffolk Realty, LLC Southern Rhode Island Hospitality, LLC
90 South County Commons Way, Suite 104
South Kingstown, Rhode Island 02879

DIMENSIONAL REGULATIONS:

Table with 2 columns: CURRENT ZONING and REQUIRED. Rows include minimum lot area (2,500 SF), minimum frontage and lot width (25'-0"), minimum front yard (0'), minimum rear yard (0'), minimum side yard (25'), maximum structure height (40'), maximum lot building coverage (70%), minimum pervious area (20%), minimum separation between buildings (15'), and maximum building size (100' IN LENGTH).

SOIL INFORMATION:

(REFERENCE: SOIL SURVEY OF RHODE ISLAND, U.S.D.A. NATURAL RESOURCES CONSERVATION SERVICE)

Table with 2 columns: SOIL NAME and DESCRIPTION. Rows include BB* Broadbrook silt loam, 3 to 8 percent slopes; RB* Rainbow silt loam, 3 to 8 percent slopes; RBB Rainbow very stony silt loam, 0 to 8 percent slopes; RF Ridgebury, whitman, and leicester extremely stony fine sandy loams; and SE Stissing silt loam.

*SOILS DESIGNATED AS PRIME FARMLAND PER NRCS SOIL SURVEY OF RI

PLAN REFERENCES:

- 1. ADMINISTRATIVE SUBDIVISION PLAN THE BRADLEY SCHOOL - SOUTH COUNTY EXTENSION, AP 50-4 LOT 22 AND 23 TOWER HILL ROAD, SOUTH KINGSTOWN, RHODE ISLAND, PREPARED BY DIPRETE ENGINEERING ASSOCIATES INC., PREPARED FOR BRADLEY SCHOOL - SOUTH KINGSTOWN, R.I., REVISED 6-25-02, SHEET 1 OF 1, RECORDED IN THE LAND EVIDENCE RECORDS OF THE TOWN OF SOUTH KINGSTOWN AS PLAT CARD NO. 2002-26.
2. ADMINISTRATIVE SUBDIVISION, WAKEFIELD MEADOWS MAP 49-3, LOT 6 AND MAP 50-4, LOT 17 4847 TOWER HILL ROAD SOUTH KINGSTOWN, RHODE ISLAND OWNERS/APPLICANTS PULTE HOMES OF NEW ENGLAND LLC, REVISED 6-20-07, SHEET S-1, SHEET 1 OF 1 BY CROSSMAN ENGINEERING, RECORDED IN THE LAND EVIDENCE RECORDS OF THE TOWN OF SOUTH KINGSTOWN AS PLAT CARD NO. 2007-37.
3. OVERALL LAYOUT PLAN, WAKEFIELD MEADOWS MAP 49-3, LOT 6 AND MAP 50-4, LOTS 13 AND 24 TOWER HILL ROAD SOUTH KINGSTOWN, RHODE ISLAND PREPARED FOR JOHN HADDAD, REVISED 5/30/08, SHEET C6, SHEET 7 OF 13 BY CROSSMAN ENGINEERING, RECORDED IN THE LAND EVIDENCE RECORDS OF THE TOWN OF SOUTH KINGSTOWN AS PLAT CARD NO. 2008-44.
4. ADMINISTRATIVE SUBDIVISION, JOHN HADDAD PLAT MAP 50-4, LOTS 13 & 24 ZONING DISTRICT SMD ROUTE 1 SPECIAL MANAGEMENT DISTRICT 4847 TOWER HILL ROAD SOUTH KINGSTOWN, RHODE ISLAND PREPARED FOR JOHN HADDAD, REVISED JULY 1, 2009, SHEET S-1, SHEET 1 OF 1 BY CROSSMAN ENGINEERING, RECORDED IN THE LAND EVIDENCE RECORDS OF THE TOWN OF SOUTH KINGSTOWN AS PLAT CARD NO. 2009-38.
5. HIGHWAY EASEMENT PLAN TOWER HILL ROAD SOUTH KINGSTOWN, RHODE ISLAND A.P. 50-4 LOT 22 PREPARED BY DIPRETE ENGINEERING ASSOCIATES, INC. PREPARED FOR BRADLEY SCHOOL-SOUTH KINGSTOWN, R.I., SHEET 1 OF 1, DATE: SEPTEMBER 8, 2005, RECORDED IN THE LAND EVIDENCE RECORDS OF THE TOWN OF SOUTH KINGSTOWN AS PLAT CARD NO. C2006-24.
6. EASEMENT PLAN THE BRADLEY SCHOOL - SOUTH COUNTY EXTENSION TOWER HILL ROAD, SOUTH KINGSTOWN, RI A.P. 50-4, LOTS 22 AND 23 PREPARED BY: DIPRETE ENGINEERING ASSOCIATES, INC. PREPARED FOR: BRADLEY SCHOOL-SOUTH KINGSTOWN, R.I., SHEET 1 OF 1, DATE: MARCH 5, 2003, RECORDED IN THE LAND EVIDENCE RECORDS OF THE TOWN OF SOUTH KINGSTOWN IN DEED BOOK 1036 PAGE 670.
7. WAKEFIELD MEADOWS ENTRANCE EASEMENT PLAN, WAKEFIELD MEADOWS PORTION OF MAP 49-3 LOT 6 TOWER HILL ROAD SOUTH KINGSTOWN, RHODE ISLAND OWNERS/APPLICANTS PULTE HOMES OF NEW ENGLAND LLC, REVISED MARCH 24, 2008, SHEET 1 OF 1, REFERENCED IN DEED BOOK 1332 PAGE 352, COPY OBTAINED FROM CROSSMAN ENGINEERING.
8. AS-BUILT PLAN FOR BRADLEY SCHOOL PREPARED BY: THOMAS A. CHAMPLIN, PE, PLS SCALE 1"=40' DATE: 7/15/03.
9. RECORD PLAN, THE VILLAGE AT SOUTH COUNTY COMMONS, ASSESSORS PLAN 50-4 LOT 22, SOUTH KINGSTOWN, RHODE ISLAND, SCALE 1"=50', DATED JUNE 1, 2018, PLAN BY DIPRETE ENGINEERING, RECORDED IN PLAT BOOK 2018-54.
10. AS-BUILT PLAN, THE VILLAGE AT SOUTH COUNTY COMMONS, ASSESSOR'S PLAT 50-4 LOT 22, SOUTH KINGSTOWN, RHODE ISLAND, SCALE 1"=40', DATED JANUARY 28, 2020, PLAN BY DIPRETE ENGINEERING.

GENERAL NOTES:

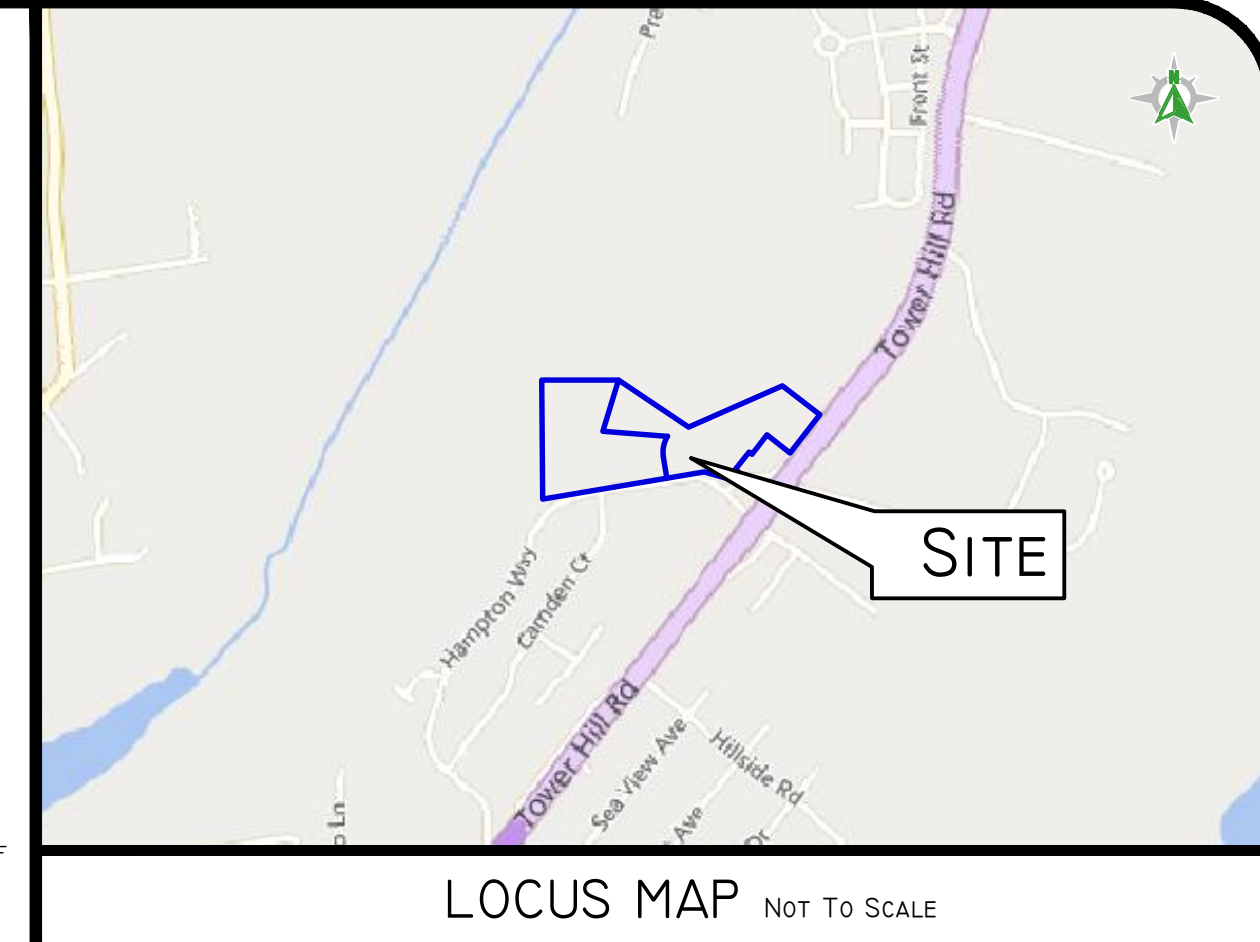
- 1. THE PARCEL IS FOUND ON ASSESSOR'S PLAT 50-4, LOTS 22 & 26 IN THE TOWN OF SOUTH KINGSTOWN, WASHINGTON COUNTY, RHODE ISLAND.
2. THE OWNER OF:
2.1. LOT 22 PER DEED BOOK 1688, PAGE 303 IS SOUTHERN RHODE ISLAND HOSPITALITY, LLC.
2.2. LOT 26 PER DEED BOOK 1688, PAGE 305 IS SUFFOLK REALTY, LLC.
3. THIS SITE IS LOCATED IN FEMA FLOOD ZONE X. REFERENCE FEMA FLOOD INSURANCE RATE MAP 44009C0203K, MAP REVISED APRIL 3, 2020. THIS DESIGNATION MAY CHANGE BASED UPON REVIEW BY A FLOOD ZONE SPECIALIST OR BY THE RESULTS OF A COMPREHENSIVE FLOOD STUDY.
4. THE PARCEL IS ZONED SMD BASED ON THE TOWN OF SOUTH KINGSTOWN ONLINE GIS. ANY OVERLAY DISTRICTS, SPECIAL PERMITS OR VARIANCES SPECIFIC TO THIS SITE ARE NOT TAKEN INTO CONSIDERATION. PLEASE CONTACT THE ZONING DEPARTMENT FOR ANY ADDITIONAL INFORMATION OR FOR A CERTIFICATE OF ZONING.
5. THERE WERE NO CEMETERIES, GRAVE SITES AND OR BURIAL GROUNDS OBSERVED WITHIN THE LIMITS OF THE SURVEY.
6. FIELD SURVEY PERFORMED BY DIPRETE ENGINEERING ON MAY 23, 2019 (LOT 22 AS-BUILT). THIS PLAN REFLECTS ON THE GROUND CONDITIONS AS OF THAT DATE.
7. ELEVATIONS SHOWN HEREON, IN U.S. SURVEY FEET, ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), AS DETERMINED BY DIPRETE ENGINEERING USING REAL TIME KINEMATIC G.P.S. OBSERVATIONS.
8. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. DIPRETE ENGINEERING IS NOT RESPONSIBLE FOR ANY UNKNOWN OR UNRECORDED EASEMENTS, DEEDS OR CLAIMS THAT A TITLE REPORT WOULD DISCLOSE.
9. CONTOUR DATA SHOWN ON THIS PLAN CONFORMS TO A T-4 TOPOGRAPHICAL SURVEY STANDARD AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS; SAID DATA IS BASED ON ELEVATION INFORMATION THAT WAS COLLECTED WITH AIRBORNE LIDAR TECHNOLOGY FOR THE ENTIRE AREA OF RHODE ISLAND BETWEEN APRIL 22 AND MAY 6, 2011 AS PART OF THE NORTHEAST LIDAR PROJECT. THIS DATA'S POSITIONAL ACCURACY AND RELIABILITY HAS NOT BEEN VERIFIED BY DIPRETE ENGINEERING AND IS SUBJECT TO CHANGES AN AUTHORITY FIELD SURVEY MAY DISCLOSE. SUITABLE FOR MASTER PLAN ONLY AND SHOWS PRE-CONSTRUCTION CONTOURS.
10. SOIL MAPPING OBTAINED FROM SOIL SURVEY OF RHODE ISLAND, PREPARED BY U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE.
11. THE SITE IS NOT WITHIN A:
GROUNDWATER PROTECTION AREA (RIDEM)
NATURAL HERITAGE AREAS (RIDEM)
NARROW RIVER SPECIAL AREA MANAGEMENT PLAN (CRMC)
SALT PONDS SPECIAL AREA MANAGEMENT PLAN (CRMC)
GROUNDWATER PROTECTION OVERLAY DISTRICT (TOWN)
DRINKING WATER SUPPLY WATERSHED (RIDEM)
12. THE SITE IS NOT IN AN AREA OF EXISTING OR ACTIVE AGRICULTURAL USE.
13. THIS SITE DOES CONTAIN PRIME AGRICULTURAL SOILS OR FARMLAND SOILS OF STATEWIDE IMPORTANCE. SEE "SOILS INFORMATION" NOTE ON LEFT FOR DESIGNATION OF WHICH SOILS QUALIFY.
14. THE SITE IS IN A TMDL WATERSHED FOR SAUGATUCKET RIVER FOR FECAL COLIFORM.
15. THIS SITE IS NOT LISTED ON THE NATIONAL REGISTER OF HISTORIC PLACES.
16. THERE ARE NO UNIQUE NATURAL FEATURES PRESENT ON THE SITE.

LEGEND:

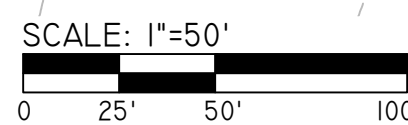
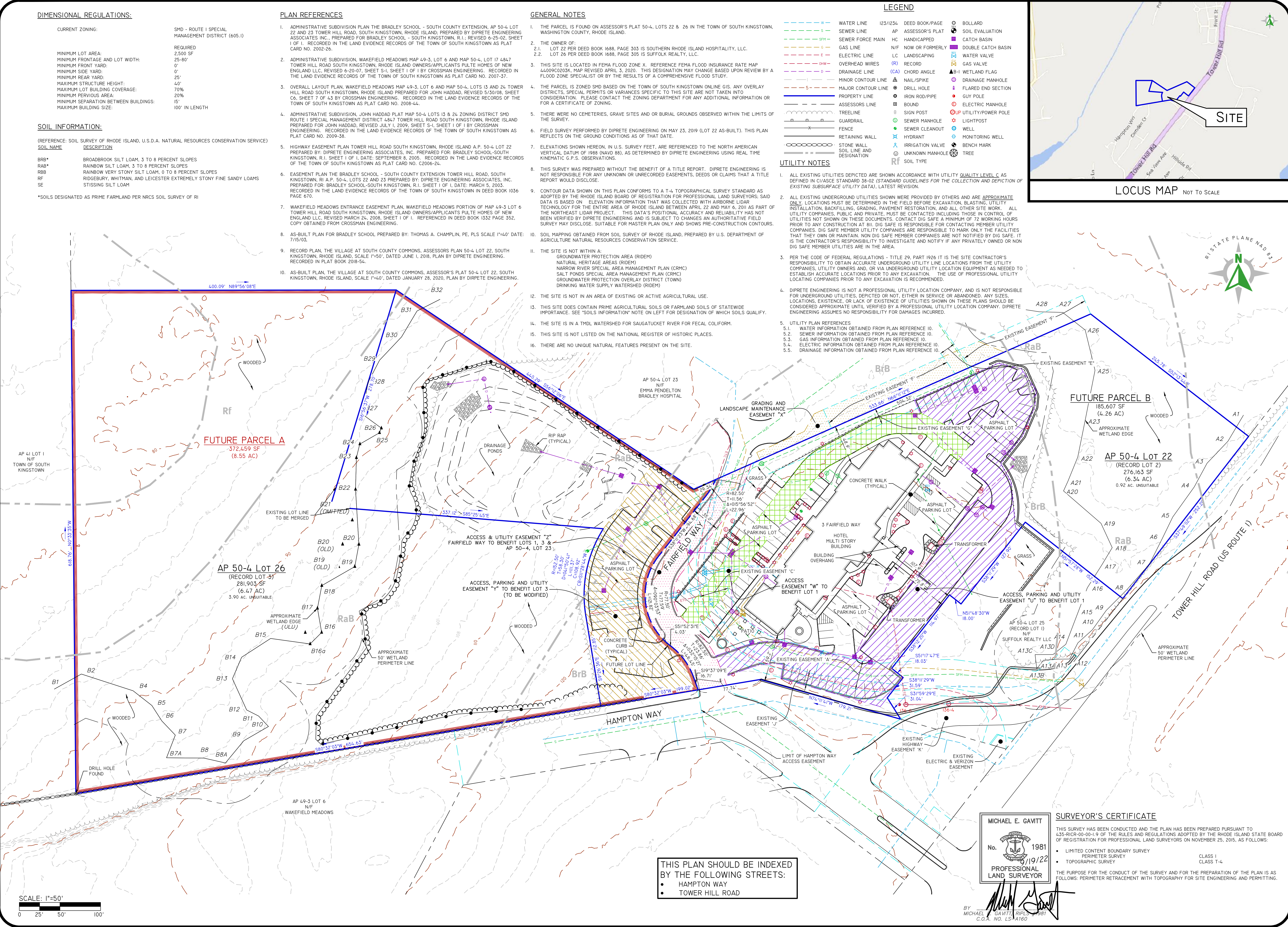
Legend table listing symbols for various utilities and features: WATER LINE, SEWER LINE, GAS LINE, ELECTRIC LINE, OVERHEAD WIRES, DRAINAGE LINE, MINOR CONTOUR LINE, MAJOR CONTOUR LINE, PROPERTY LINE, ASSESSORS LINE, TREE LINE, GUARDRAIL, FENCE, RETAINING WALL, STONE WALL, SOIL LINE AND DESIGNATION, BOLLARD, ASSESSOR'S PLAT, HANDICAPPED, NOW OR FORMERLY, LANDSCAPING, RECORD, CHORD ANGLE, NAIL/SPIKE, DRILL HOLE, IRON ROD/PIPE, BOUND, SIGN POST, SEWER MANHOLE, SEWER CLEANOUT, HYDRANT, IRRIGATION VALVE, UNKNOWN MANHOLE, SOIL TYPE, SOIL EVALUATION, CATCH BASIN, DOUBLE CATCH BASIN, WATER VALVE, GAS VALVE, WETLAND FLAG, DRAINAGE MANHOLE, FLARED END SECTION, GUY POLE, ELECTRIC MANHOLE, UTILITY/POWER POLE, WELL, MONITORING WELL, BENCH MARK, TREE.

UTILITY NOTES:

- 1. ALL EXISTING UTILITIES DEPICTED ARE SHOWN ACCORDANCE WITH UTILITY QUALITY LEVEL C AS DEFINED IN CHASICE STANDARD 39-02 (STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA), LATEST REVISION.
2. ALL EXISTING UNDERGROUND UTILITIES SHOWN WERE PROVIDED BY OTHERS AND ARE APPROXIMATE ONLY. LOCATIONS MUST BE DETERMINED IN THE FIELD BEFORE EXCAVATION, BLASTING, UTILITY INSTALLATION, BACKFILLING, GRADING, PAVEMENT RESTORATION, AND ALL OTHER SITE WORK. ALL UTILITY COMPANIES, PUBLIC AND PRIVATE, MUST BE CONTACTED INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THESE DOCUMENTS. CONTACT DIG SAFE A MINIMUM OF 72 WORKING HOURS PRIOR TO ANY CONSTRUCTION AT 811. DIG SAFE IS RESPONSIBLE FOR CONTACTING MEMBER UTILITY COMPANIES. DIG SAFE MEMBER UTILITY COMPANIES ARE RESPONSIBLE TO MARK ONLY THE FACILITIES THAT THEY OWN OR MAINTAIN. NON DIG SAFE MEMBER COMPANIES ARE NOT NOTIFIED BY DIG SAFE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INVESTIGATE AND NOTIFY IF ANY PRIVATELY OWNED OR NON DIG SAFE MEMBER UTILITIES ARE IN THE AREA.
3. PER THE CODE OF FEDERAL REGULATIONS - TITLE 29, PART 1926 IT IS THE SITE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ACCURATE UNDERGROUND UTILITY LINE LOCATIONS FROM THE UTILITY COMPANIES, UTILITY OWNERS AND, OR VIA UNDERGROUND UTILITY LOCATION EQUIPMENT AS NEEDED TO ESTABLISH ACCURATE LOCATIONS PRIOR TO ANY EXCAVATION. THE USE OF PROFESSIONAL UTILITY LOCATING COMPANIES PRIOR TO ANY EXCAVATION IS RECOMMENDED.
4. DIPRETE ENGINEERING IS NOT A PROFESSIONAL UTILITY LOCATION COMPANY, AND IS NOT RESPONSIBLE FOR UNDERGROUND UTILITIES DEPICTED OR NOT, EITHER IN SERVICE OR ABANDONED. ANY LOCATIONS, EXISTENCE, OR LACK OF EXISTENCE OF UTILITIES SHOWN ON THESE PLANS SHOULD BE CONSIDERED APPROXIMATE UNTIL VERIFIED BY A PROFESSIONAL UTILITY LOCATION COMPANY. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED.
5. UTILITY PLAN REFERENCES:
5.1. WATER INFORMATION OBTAINED FROM PLAN REFERENCE 10.
5.2. SEWER INFORMATION OBTAINED FROM PLAN REFERENCE 10.
5.3. GAS INFORMATION OBTAINED FROM PLAN REFERENCE 10.
5.4. ELECTRIC INFORMATION OBTAINED FROM PLAN REFERENCE 10.
5.5. DRAINAGE INFORMATION OBTAINED FROM PLAN REFERENCE 10.



LOCUS MAP NOT TO SCALE



THIS PLAN SHOULD BE INDEXED BY THE FOLLOWING STREETS:
• HAMPTON WAY
• TOWER HILL ROAD

MICHAEL E. GAVITT
No. 1981
10/19/22
PROFESSIONAL LAND SURVEYOR

SURVEYOR'S CERTIFICATE

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RICR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:
LIMITED CONTENT BOUNDARY SURVEY CLASS I
PERIMETER SURVEY CLASS T-4
TOPOGRAPHICAL SURVEY

DiPrete Engineering
Two Stafford Court Cranston, RI 02920
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Boston • Providence • Newport

ERIC M. DRIVE
No. 8662
REGISTERED PROFESSIONAL ENGINEER CIVIL

Table with 4 columns: A.I.F., A.D.F., A.P.F., B.F. and 2 columns: NO., DATE, DESCRIPTION.

EXISTING CONDITIONS AND CONCEPTUAL SUBDIVISION PLAN
THE VILLAGE AT SOUTH COUNTY COMMONS
ASSESSOR'S PLAT 50-4, LOTS 22 & 26, SOUTH KINGSTOWN, RHODE ISLAND
SUFFOLK REALTY, LLC
BY MICHAEL E. GAVITT, RPLS, #1981 C.O.A. NO. LS-1160

Conditions Of Town Approval:

- THE USE OF PHASE 1 SHALL BE STRICTLY LIMITED TO A 100-ROOM, 49,900 SQUARE FOOT HOTEL AND 3,600 SQUARE FOOT POOL BUILDING, WITH ASSOCIATED PARKING AND SITE IMPROVEMENTS, AS DEPICTED ON THE "PHASING EXHIBIT."
- SUBSEQUENT PHASES SHALL BE STRICTLY LIMITED TO OFFICE, BANK, NON-RETAIL, OR RESTAURANT USES, ASSOCIATED ACCESSORY USES, PARKING, AND SITE IMPROVEMENTS.
- APPROVAL OF THE BUILDING DESIGN, PARKING LAYOUT, LANDSCAPE MATERIALS AND DESIGN, STORMWATER MANAGEMENT FACILITY DETAILS, AND UTILITY DETAILS IS LIMITED TO ONLY THE BUILDINGS AND SITE IMPROVEMENTS DEPICTED ON THE "PHASING EXHIBIT."
- PRIOR TO ISSUANCE OF BUILDING PERMIT(S) FOR THE ABOVE GRADE STRUCTURES, NOT INCLUDING THE BUILDING FOUNDATION(S), IN PHASE 1, FINAL ARCHITECTURAL DESIGNS SHALL BE SUBMITTED TO AND APPROVED BY THE ADMINISTRATIVE OFFICER, WHO SHALL ENSURE SUCH PLANS ARE IN SUBSTANTIAL CONFORMANCE WITH THE PLANS PRESENTED DURING THE PUBLIC HEARING.

- PRIOR TO ISSUANCE OF BUILDING PERMIT(S) FOR THE ABOVE GRADE STRUCTURES, NOT INCLUDING THE BUILDING FOUNDATION(S), IN PHASE 1, A COMPREHENSIVE ANALYSIS OF THE PUMPS, ALARMS, AND ASSOCIATED EQUIPMENT AT THE BRADLEY SCHOOL AND VILLAGE AT SOUTH COUNTY COMMONS PUMP STATIONS IS TO BE CONDUCTED TO CONFIRM GOOD WORKING ORDER OF ALL SYSTEM COMPONENTS. A REPORT DETAILING THE ANALYSIS RESULTS AND ANY RECOMMENDED SYSTEM REPAIRS, PREPARED BY A REGISTERED PROFESSIONAL ENGINEER, IS TO BE SUBMITTED TO THE DEPARTMENT OF PUBLIC SERVICES (DPS) FOR REVIEW. THE APPLICANT SHALL COORDINATE WITH DPS TO DETERMINE WHICH, IF ANY, REPAIRS ARE TO BE MADE AND THE TIMELINE FOR COMPLETION OF SAID REPAIRS, AND SHALL PROPOSE AN IMPROVEMENT PLAN TO BE APPROVED BY DPS. ALL REQUIRED REPAIRS ARE TO BE COMPLETED PURSUANT TO THE APPROVED IMPROVEMENT PLAN.
- FOR EACH PHASE OF DEVELOPMENT, SOIL EROSION, RUN OFF AND SEDIMENTATION CONTROL PERMITS SHALL BE SECURED FROM THE TOWN'S DEPARTMENT OF PUBLIC SERVICES PRIOR TO APPLYING FOR A BUILDING PERMIT.
- FOR EACH PHASE OF DEVELOPMENT, UPON COMPLETION OF ALL PHYSICAL IMPROVEMENTS, AS-BUILT DRAWINGS MEETING THE REQUIREMENTS OF THE TOWN OF SOUTH KINGSTOWN SUBDIVISION AND LAND DEVELOPMENT REGULATIONS SHALL BE SUBMITTED TO THE DEPARTMENT OF PUBLIC SERVICES. ONCE APPROVED BY THE DEPARTMENT OF PUBLIC SERVICES, AND UPON POSTING OF THE MAINTENANCE GUARANTEE AND RECEIPT OF THE ADDITIONAL INFORMATION REQUIRED BY THESE CONDITIONS, THE AS-BUILT DRAWINGS SHALL BE RECORDED IN THE TOWN'S LAND EVIDENCE RECORDS (TO BE KNOWN AS THE AS-BUILT RECORD PLANS).

- FOR EACH PHASE OF DEVELOPMENT, PRIOR TO RECORDING THE AS-BUILT RECORD PLANS, A LICENSED LANDSCAPE ARCHITECT SHALL INSPECT THE INSTALLATION OF THE LANDSCAPE MATERIALS ASSOCIATED WITH THE DEVELOPMENT PHASE AND SUBMIT CERTIFICATION TO THE ADMINISTRATIVE OFFICER AND THE BUILDING OFFICIAL STATING THAT THE INSTALLATION SUBSTANTIALLY CONFORMS TO THE APPROVED PLAN.
- FOR EACH PHASE OF DEVELOPMENT, PRIOR TO RECORDING THE AS-BUILT RECORD PLANS, A CERTIFIED PROFESSIONAL ENGINEER SHALL INSPECT THE INSTALLATION OF ALL SITE IMPROVEMENTS ASSOCIATED WITH THE DEVELOPMENT PHASE, INCLUDING BUT NOT LIMITED TO THE STORMWATER MANAGEMENT SYSTEM, THE DRIVE AISLES, AND THE PARKING AREAS, AND SUBMIT CERTIFICATION TO THE ADMINISTRATIVE OFFICER, THE DEPARTMENT OF PUBLIC SERVICES, AND THE BUILDING OFFICIAL STATING THAT CONSTRUCTION SUBSTANTIALLY CONFORMS TO THE APPROVED PLAN.
- NO REQUEST FOR FINAL INSPECTION TO OBTAIN A CERTIFICATE OF OCCUPANCY OR USE SHALL OCCUR PRIOR TO RECORDING OF THE AS-BUILT RECORD PLANS.

Final Modified Development Data:

USE: 1 HOTEL + 1 RESTAURANT + 1 RESTAURANT
 BUILDING FOOTPRINT AREA: 17,325 SQFT + 6,500 SQFT + 6,500 SQFT = 30,325 SQFT
 PARKING PROVIDED: 268 SPACES
 TOTAL IMPERVIOUS AREA: 3.47 ACRES
 OPEN SPACE AREA: 7.45 ACRES

Previously Approved Development Data:

USE: 1 HOTEL + 1 BANK + 1 OFFICE BUILDING
 BUILDING FOOTPRINT AREA: 16,900 SQFT + 3,425 SQFT + 10,000 SQFT = 30,325 SQFT
 PARKING PROVIDED: 215 SPACES
 TOTAL IMPERVIOUS AREA: 3.32 ACRES
 OPEN SPACE AREA: 7.42 ACRES

General Notes:

- THE SITE IS LOCATED ON THE SOUTH KINGSTOWN OF RHODE ISLAND ASSESSOR'S PLAT 50-4 LOT 22.
- THE SITE IS APPROXIMATELY 13.79± ACRES AND IS ZONED SMD.
- THE OWNER OF AP 50-4 LOT 22 PER DEED BOOK 981, PAGE 0777 IS SUFFOLK REALTY, LLC
 50 SOUTH COUNTY COMMONS WAY
 UNIT E-4
 WAKEFIELD, RI 02879
- THIS SITE IS LOCATED IN FEMA FLOOD ZONE X. REFERENCE FEMA FLOOD INSURANCE RATE MAP 44099C0203J, MAP REVISED OCTOBER 15, 2013. (FLOOD PLAIN DESCRIPTIONS SHOWN ABOVE)
- SOIL MAPPING OBTAINED FROM SOIL SURVEY OF RHODE ISLAND, PREPARED BY U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE.
- THE SITE IS NOT WITHIN A:
 GROUNDWATER PROTECTION AREA (RIDEM)
 NATURAL HERITAGE AREAS (RIDEM)
 NARROW RIVER SPECIAL AREA MANAGEMENT PLAN (CRMC)
 SALT PONDS SPECIAL AREA MANAGEMENT PLAN (CRMC)
 GROUNDWATER PROTECTION OVERLAY DISTRICT (TOWN)
- THE FOLLOWING DOCUMENTS ARE CONSIDERED PART OF THE PROJECT PLANS AND THE CONTRACTOR/ OWNER MUST MAINTAIN THESE DOCUMENTS AS PART OF A FULL PLAN SET:
 • SOIL EROSION AND SEDIMENT CONTROL PLAN (SESC). THE SESC CONTAINS THE FOLLOWING:
 ◦ EROSION CONTROL MEASURES
 ◦ SHORT TERM MAINTENANCE
 ◦ ESTABLISHMENT OF VEGETATIVE COVER
 ◦ CONSTRUCTION POLLUTION PREVENTION
 ◦ SEQUENCE OF CONSTRUCTION
 • OPERATIONS AND MAINTENANCE PLAN (O&M). THE O&M CONTAINS THE FOLLOWING:
 ◦ LONG TERM MAINTENANCE
 ◦ LONG TERM POLLUTION PREVENTION
- THIS PLAN SET REFERENCES RIDOT STANDARD DETAILS (DESIGNATED AS RIDOT STD X.X.X.). RIDOT STANDARD DETAILS ARE AVAILABLE FROM RIDOT AND ONLINE AT: [HTTP://WWW.DOT.RI.GOV/BUSINESS/CONTRACTORSANDCONSULTANTS.PHP](http://www.dot.ri.gov/business/contractorsandconsultants.php).
- THE SITE IS TO BE SERVICED BY PUBLIC WATER AND PUBLIC SEWER.
- THE DRAINAGE SYSTEM IS DESIGNED TO MEET THE SOUTH KINGSTOWN SUBDIVISION AND LAND DEVELOPMENT REGULATIONS WITH THE USE OF CATCH BASINS, CULVERTS, AND DRAINAGE BASINS. THE STORMWATER MANAGEMENT SYSTEM MEETS THE RIDEM BEST MANAGEMENT PRACTICES.
- THE SITE IS PROPOSED TO BE BUILT IN MULTIPLE PHASES.
- PROPOSED DRAINAGE AND UTILITY EASEMENTS ACROSS LOTS SHALL BE SHOWN AT THE TIME OF THE FUTURE SUBDIVISION RECORDING.
- SOIL EVALUATIONS WERE COMPLETED BY DIPRETE ENGINEERING ON DECEMBER 9, 2015 AND NOVEMBER 16, 2016.
- REFER TO "EASEMENT PLAN, THE VILLAGE AT SOUTH COUNTY COMMONS, DISTRICT 5 HOTEL", SHEET 5 OF 5, DATED 6/1/18 AND APPROVED 8/1/18, FOR PROPOSED EASEMENT INFORMATION.

Development Data:

HOTEL SITE
 USE: 100 ROOM HOTEL
 LOT AREA: 2.46 ACRES (107,147 SQFT)
 BUILDING SIZE: 50,000 SQFT HOTEL + 3,000 SQFT POOL BUILDING
 PARKING REQUIREMENT: 1 SPACE/ROOM + 2 SPACES FOR EVERY 12 ROOMS OR FRACTION THEREOF
 PARKING PROVIDED: 100 + (100/12)*2=116.67=117 SPACES
 103 SPACES ONSITE (37 OVERFLOW ACROSS BRADLEY ACCESS)

RESTAURANT SITE EAST
 USE: RESTAURANT
 LOT AREA: 2.48 ACRES (107,878 SQFT)
 BUILDING SIZE: 6,500 SQFT
 PARKING REQUIREMENT: 1 SPACE/3 PERSONS
 PARKING PROVIDED: 150 PERSONS CAPACITY/3 SPACES PER PERSON = 50 SPACES

RESTAURANT SITE WEST
 USE: RESTAURANT
 LOT AREA: 8.85 ACRES (385,473 SQFT)
 BUILDING SIZE: 6,500 SQFT
 PARKING REQUIREMENT: 1 SPACE/3 PERSONS
 PARKING PROVIDED: 234 PERSONS CAPACITY/3 SPACES PER PERSON = 78 SPACES
 78 SPACES (+37 OVERFLOW SPACES ALLOCATED TO HOTEL)

Dimensional Regulations:

CURRENT ZONING:	REQUIRED	PROVIDED
SMD - ROUTE 1 SPECIAL MANAGEMENT DISTRICT (605.1)	2,500 SF	600,498 SF
MINIMUM LOT AREA:	25'-80'	485'
MINIMUM FRONTAGE AND LOT WIDTH:	0'	132'
MINIMUM FRONT YARD:	0'	60'
MINIMUM SIDE YARD:	0'	42'
MINIMUM REAR YARD:	25'	40'
MAXIMUM STRUCTURE HEIGHT:	40'	5.5%
MAXIMUM LOT BUILDING COVERAGE:	70%	74.1%
MINIMUM PERVIOUS AREA:	20%	15'
MINIMUM SEPARATION BETWEEN BUILDINGS:	15'	22'
MAXIMUM BUILDING SIZE:	100' IN LENGTH	100'

Soil Information:

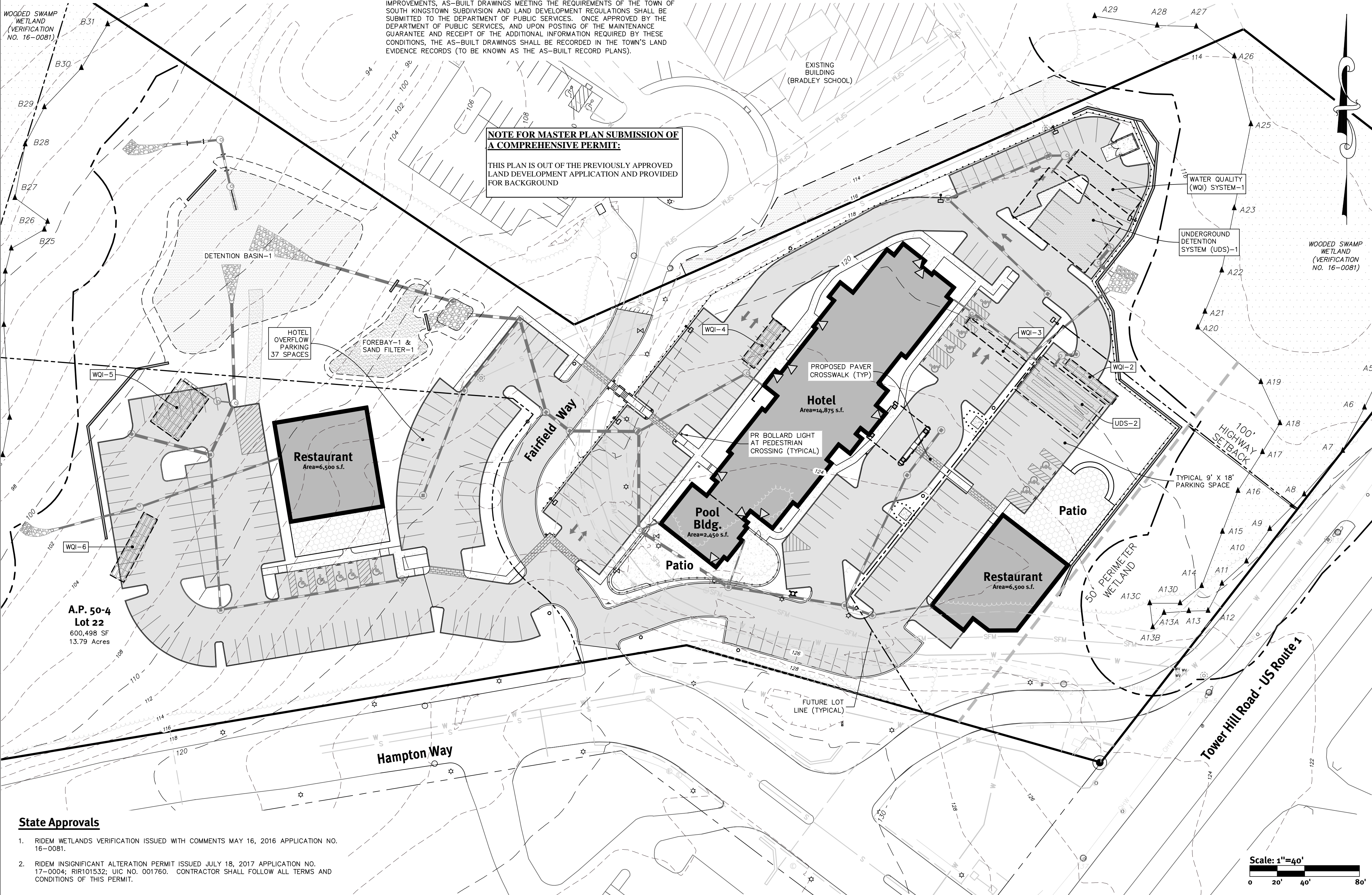
(REFERENCE: SOIL SURVEY OF RHODE ISLAND, U.S.D.A. SOIL CONSERVATION SERVICE)

SOIL NAME	DESCRIPTION
B/B	BROADBROOK SILT LOAM, 3 TO 8 PERCENT SLOPES
R/B	RAINBOW SILT LOAM, 3 TO 8 PERCENT SLOPES
R/B	RAINBOW VERY STONY SILT LOAM, 0 TO 8 PERCENT SLOPES
Rf	RIDGEBURY, WHITMAN, AND LEICESTER EXTREMELY STONY FINE SANDY LOAMS
Se	STISSING SILT LOAM

Abbreviations:

EXISTING	EX	SEWER MANHOLE	SMH
PROPOSED	PR	DRAINAGE MANHOLE	DMH
APPROXIMATE	APPROX	CONCRETE	CONC
FINISH FLOOR ELEVATION	FFE	INVERT	INV
ASSESSOR'S PLAT	AP	ELEVATION	ELEV
NOW OR FORMERLY	N/F	DIAMETER	DIA
TYPICAL	TYP	POLYVINYL CHLORIDE PIPE	PVC
TOP OF CURB/ TOP OF CONCRETE	TC	DEGREE	DEG
BOTTOM OF CURB/ BOTTOM OF CONCRETE	BC	TOP OF WALL	TW
CATCH BASIN	CB	BOTTOM OF WALL	BW

NOTE FOR MASTER PLAN SUBMISSION OF A COMPREHENSIVE PERMIT:
 THIS PLAN IS OUT OF THE PREVIOUSLY APPROVED LAND DEVELOPMENT APPLICATION AND PROVIDED FOR BACKGROUND



State Approvals

- RIDEM WETLANDS VERIFICATION ISSUED WITH COMMENTS MAY 16, 2016 APPLICATION NO. 16-0081.
- RIDEM INSIGNIFICANT ALTERATION PERMIT ISSUED JULY 18, 2017 APPLICATION NO. 17-0004; RIR101532; UIC NO. 001760. CONTRACTOR SHALL FOLLOW ALL TERMS AND CONDITIONS OF THIS PERMIT.

Existing Conditions Legend:

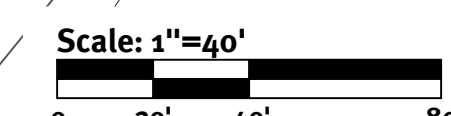
NOTE: LEGEND ITEMS ARE STANDARD AND DO NOT APPEAR ON EVERY SHEET.

EX MAJOR FOOT CONTOUR	-160-	GAS VALVE		EDGE OF PAVEMENT	
EX MINOR FOOT CONTOUR	-158-	WATER VALVE		EDGE OF PAVEMENT w/CURBING	
SOIL LINE AND DESIGNATION		HYDRANT		STONE WALL	
PROPERTY LINE		LIGHT POLE		BUILDING	
ASSESSOR LINE		UTILITY POLE		TREELINE	
WETLAND EDGE		DRILL HOLE FOUND/SET		WATER LINE	
WETLAND FLAG		CATCH BASIN		SEWER LINE	
WETLAND HATCH		MANHOLE		TOWER HILL ROAD 100FT. SETBACK	
50' PERIMETER WETLAND		SIGN			

Proposed Legend:

SILT FENCE		CONCRETE (PAD, SIDEWALK, PATIO)		TWO FOOT CONTOUR	(310)
LIMIT OF DISTURBANCE		RETAINING WALL		SPOT ELEVATION	+ (312)
BUILDING FOOTPRINT		DRAIN LINE		DRAIN FLOW ARROW	
BUILDING OVERHANG		GRAVITY SEWER LINE		SOIL EVALUATION	
SAW CUT/MATCH AREA		LOW PRESSURE SEWER LINE		BUILDING ENTRY	
EDGE OF PAVEMENT		WATER LINE		CONSTRUCTION ENTRANCE	
EDGE OF CONCRETE SIDEWALK		GAS LINE		TREELINE	
EDGE OF BERM		MANHOLE		PR BEST MANAGEMENT PRACTICE LIMITS	
ASPHALT PAVEMENT				PR ELECTRIC, TELEPHONE AND CABLE UTILITY	
PARKING COUNT				ETC	

NOTE: LEGEND ITEMS ARE STANDARD AND DO NOT APPEAR ON EVERY SHEET.



DiPrete Engineering
 Two Stafford Court Cranston, RI 02920
 Tel: 401-943-1000 Fax: 401-664-6006 www.diprete-eng.com
 Boston • Providence • Newport

KEVIN DEMERS
 REGISTERED PROFESSIONAL ENGINEER CIVIL

This design development plan shall not be used for construction purposes unless stamped, issued for construction, and signed by a DiPrete Engineering representative.
 The contractor is responsible for all of the means, methods, safety precautions and requirements, and OSHA compliance in the implementation of this plan and design.

No.	Date	Description	By:
1	12-02-2017	Restaurant Concept	S.E.K.
2	11-16-2016	Site Plan	S.E.K.
3	11-16-2016	Site Plan	S.E.K.
4	11-16-2016	Site Plan	S.E.K.
5	02-22-2018	Amended Final Submission	S.E.K.
6	02-22-2018	Phase I Land Alteration	S.E.K.
7	02-22-2018	Site Plan	S.E.K.
8	02-22-2018	Site Plan	S.E.K.
9	02-22-2018	Site Plan	S.E.K.
10	02-22-2018	Site Plan	S.E.K.

Previously Approved Site Plan
The Village at South County Commons
 District 5, Zoned Route 1 Special Management District (SMD)
 Assessor's Plat 50-4, Lot 22
 South Kingstown, Rhode Island 02879
 Prepared by:
Southern Rhode Island Hospitality, LLC
 Two Stafford Court
 Cranston, Rhode Island 02920
 DE JOB No. 0267-0259-A07 Copyright 2018 by DiPrete Engineering Associates, Inc.

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- GENERAL NOTES:**
1. THE SITE IS PROPOSED TO BE BUILT IN (1) PHASE AND UNITS ARE A MIXTURE OF 1-BEDROOM AND 2-BEDROOM UNITS.
 2. THE SITE IS TO BE SERVICED BY PUBLIC WATER AND PUBLIC SEWER.
 3. PROPOSED DRIVES ARE TO BE 25' WIDE WITH 24' WIDE PAVEMENT (12' TRAVEL LANES AND 6' CURB ON EACH SIDE AS SHOWN).
 4. THE DRAINAGE SYSTEM WILL BE DESIGNED TO MEET THE TOWN OF SOUTH KINGSTOWN SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AND RIDEM BEST MANAGEMENT PRACTICES. ADDITIONAL DETAILS WILL BE PROVIDED AT THE PRELIMINARY PLAN STAGE.
 5. DETAILED SOIL, EROSION AND SEDIMENT CONTROL MEASURES TO BE INCORPORATED AT THE PRELIMINARY DESIGN STAGE AND WILL CONFORM TO THE RIDEM BEST MANAGEMENT PRACTICES.

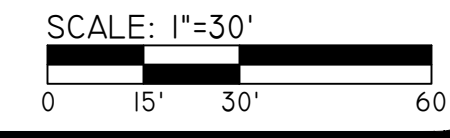
PARKING REGULATIONS:

PARKING USE:	RESIDENTIAL - APARTMENTS
PARKING REQUIREMENT:	1.5 SPACES PER UNIT
NUMBER OF UNITS:	70 UNITS (4 FULL STORIES + 1 HALF STORY)
REQUIRED PARKING CALCULATIONS:	1.5 X 70 = 105 SPACES
TOTAL PARKING SPACES PROVIDED:	105 SPACES
ADA PARKING REQUIRED:	5 SPACES
ADA PARKING PROVIDED:	5 SPACES
PARKING LOT AREA:	44,053 SF
REQUIRED LANDSCAPE CALCULATION:	44,053 X 0.08 = 3,524 SF
PROVIDED PARKING AREA LANDSCAPING:	3,891 SF

PROPOSED LEGEND

NOT ALL ITEMS SHOWN WILL APPEAR ON PLANS

	PROPERTY LINE
	BUILDING SETBACKS
	RETAINING WALL
	BUILDING FOOTPRINT
	BUILDING OVERHANG
	ASPHALT PAVEMENT
	CONCRETE
	SEWER SERVICE
	WATER SERVICE



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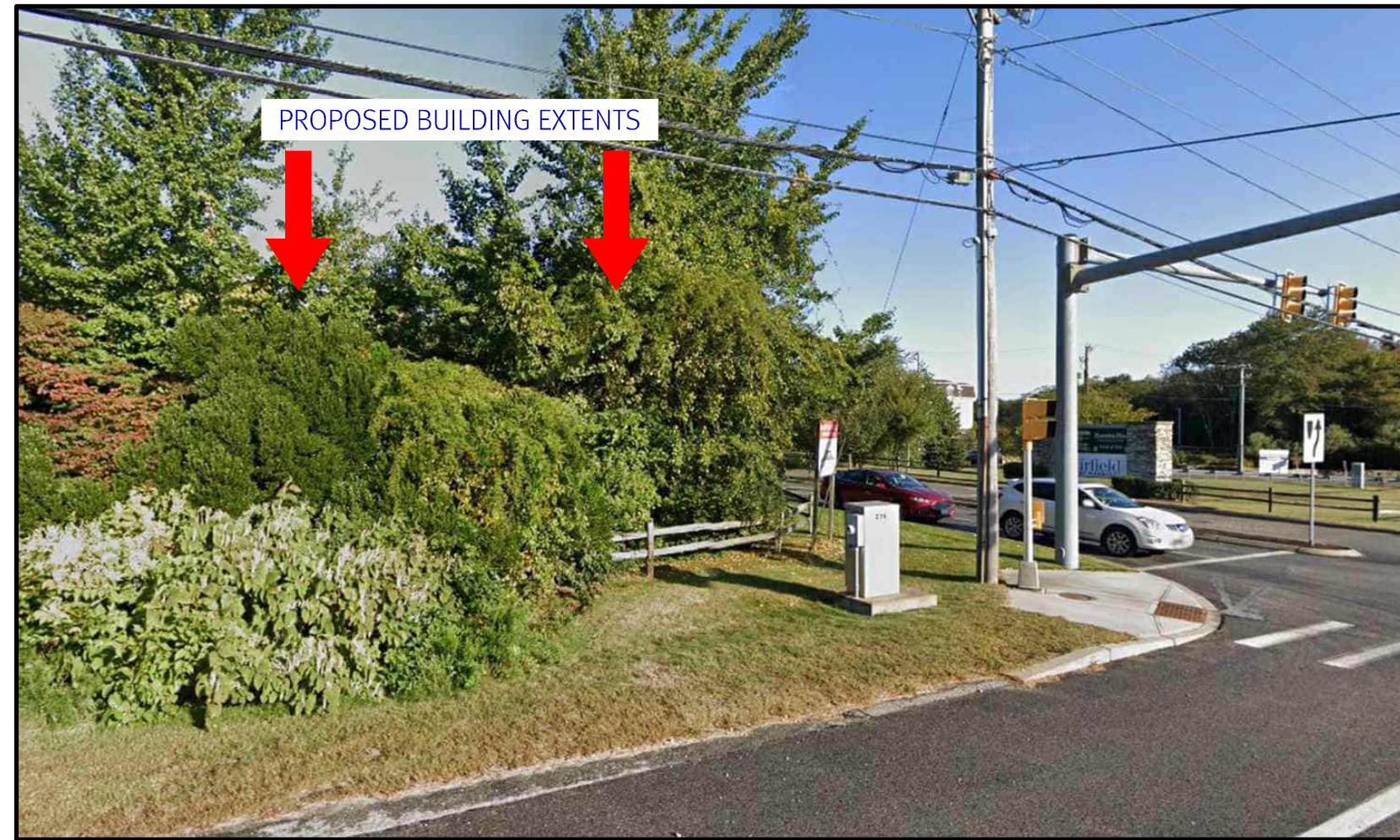
ERIC M. PRIVE
 No. 8662
 REGISTERED PROFESSIONAL ENGINEER CIVIL

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1	9/27/2022	Master Plan Submission - Apartments	S.E.I.	Design By: K.I.D.
2	10/27/2022	Pre-Application Submission - Apartments	S.E.I.	By:
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SITE PLAN
The Village at South County Commons - District 5, Apartments
 Zoned Route 1 Special Management District (SMD)
 Assessor's Plat 504, Lots 22 & 26
 South Kingstown, Rhode Island 02879
Suffolk Realty, LLC Southern Rhode Island Hospitality, LLC
 90 South County Commons Way, Suite 104
 South Kingstown, Rhode Island 02879
 DE JOB No: 0267-055-A07 Copyright 2023 by DiPrete Engineering Associates, Inc.

VIEW CORRIDOR ANALYSIS



ON TOWER HILL ROAD SOUTH OF ENTRY



ON TOWER HILL ROAD AT ENTRY



ON TOWER HILL ROAD NORTH OF ENTRY

CONCEPT #2 INSPIRATION FROM FAIRFIELD INN

INSPIRATION FOR THE DESIGN IS FROM THE FAIRFIELD INN.



FAIRFIELD INN



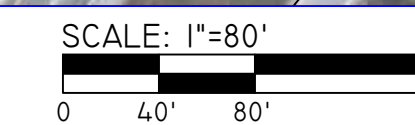
CONCEPT #2 - MAY 2022

CONCEPT #3 INSPIRATION FROM LOCAL VERNACULAR

INSPIRATION ON DESIGN ELEMENTS FROM LOCAL VERNACULAR AND SIMILAR PROJECTS.



CONCEPT #3 - JUNE 2022

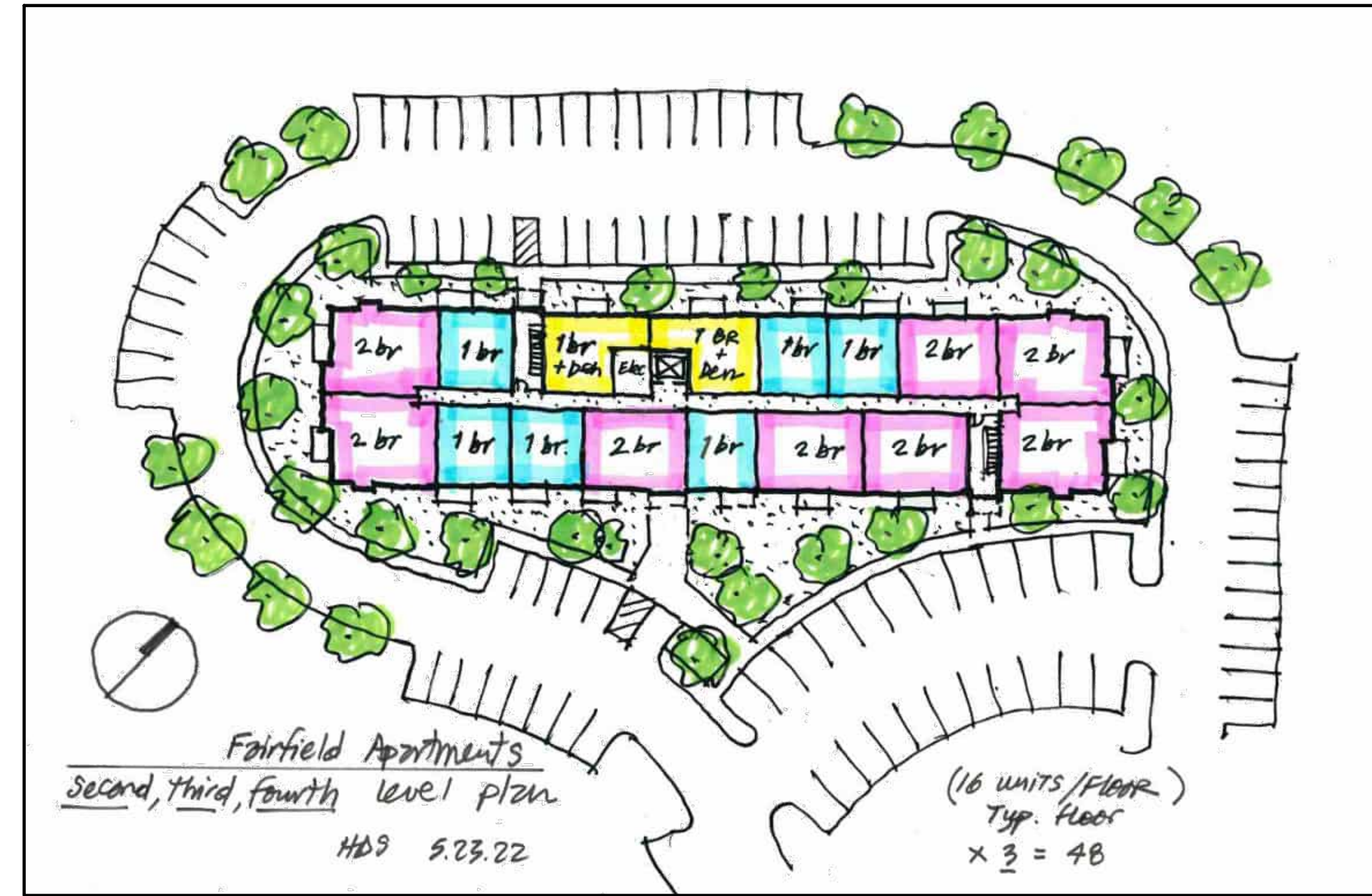
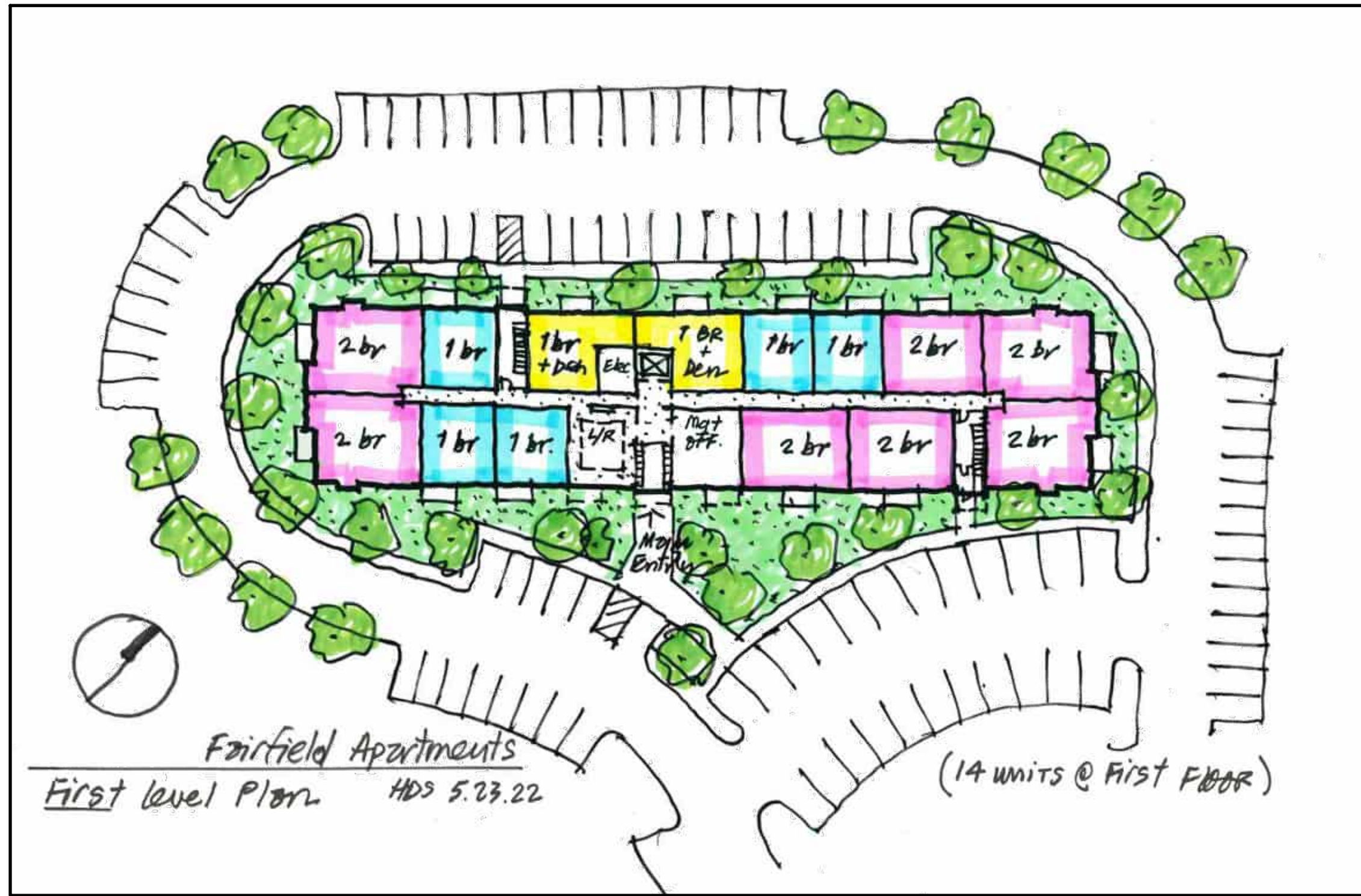
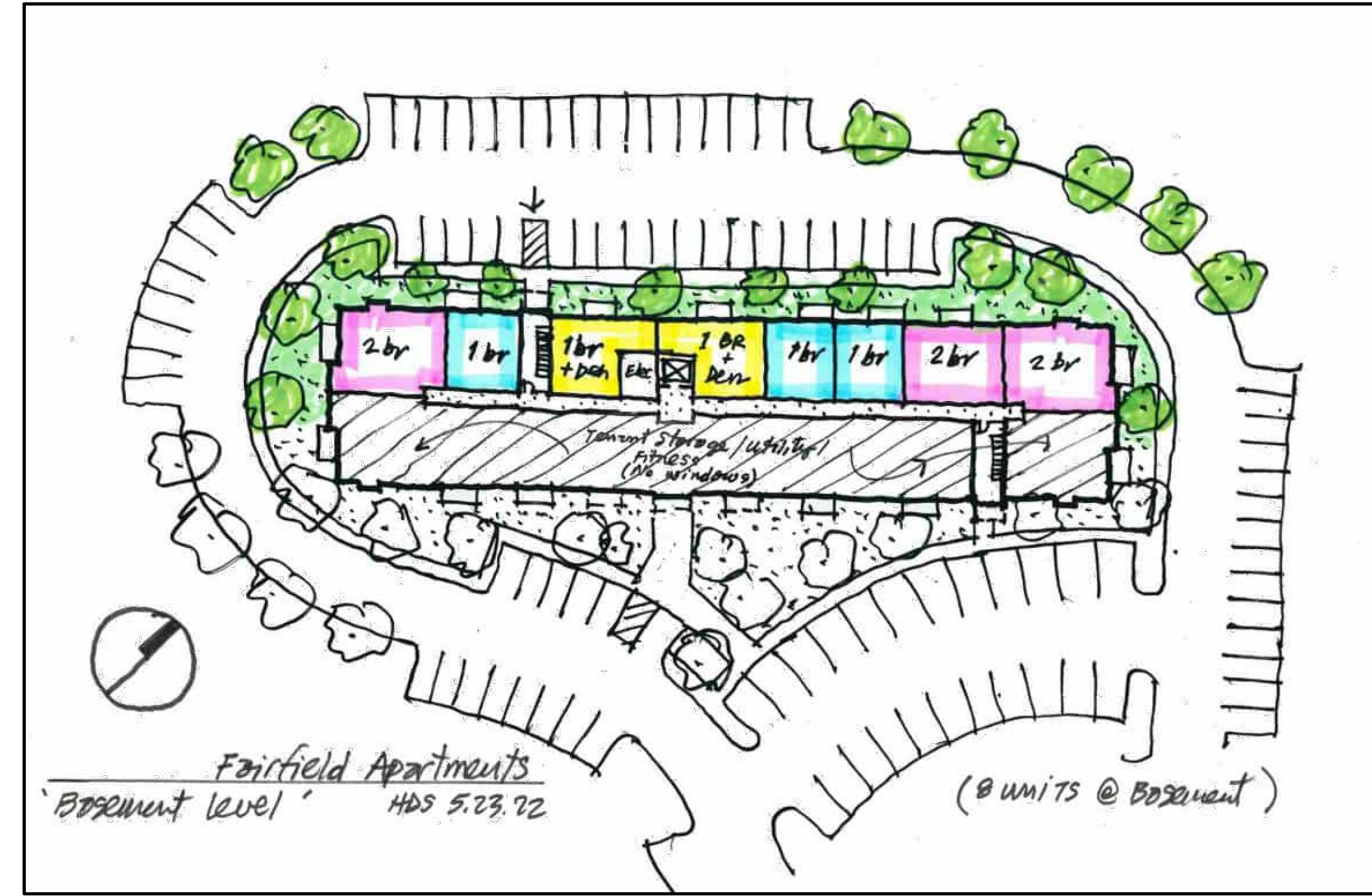


ROUTE 1 DISTANCE INSET

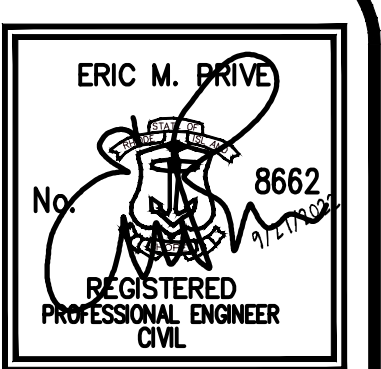
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1	9/27/2022	Master Plan Submission - Apartments	S.E.K.	Design By: K.I.D.
2	10/27/2022	Pre-Application Submission - Apartments	S.E.K.	Drn.
3		Drawn	S.E.K.	

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ARCHITECTURAL DESIGN AND FLOOR PLANS ARE CONCEPTUAL AND WILL BE REFINED, MODIFIED, AND ADJUSTED DURING FUTURE SUBMISSIONS.



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No.	Date	Description	Drawn By: S.E.K.	Design By: K.I.D.
1	9/27/2022	Master Plan Submission - Apartments	S.E.K.	S.E.K.
2	10/27/2022	Pre-Application Submission - Apartments	S.E.K.	S.E.K.

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