

PERMITS OBTAINED:

RIDEM OWTS PERMIT - 2232-0025  
REQUEST TO COMBINE MASTER/PRELIMINARY PLAN APPROVAL - 11/18/2022

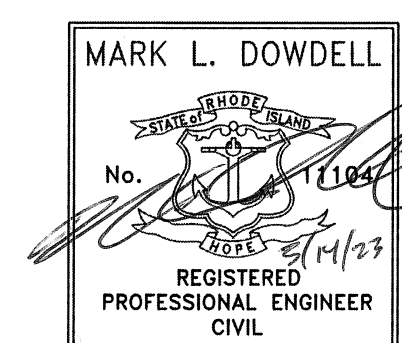
SHEET INDEX:

SHEET 1 - EXISTING CONDITIONS PLAN  
SHEET 2 - PROPOSED CONDITIONS PLAN  
SHEET 3 - SOIL EROSION, RUNOFF AND SEDIMENT CONTROL (SERSC) PLAN  
SHEET 4 - YIELD PLAN

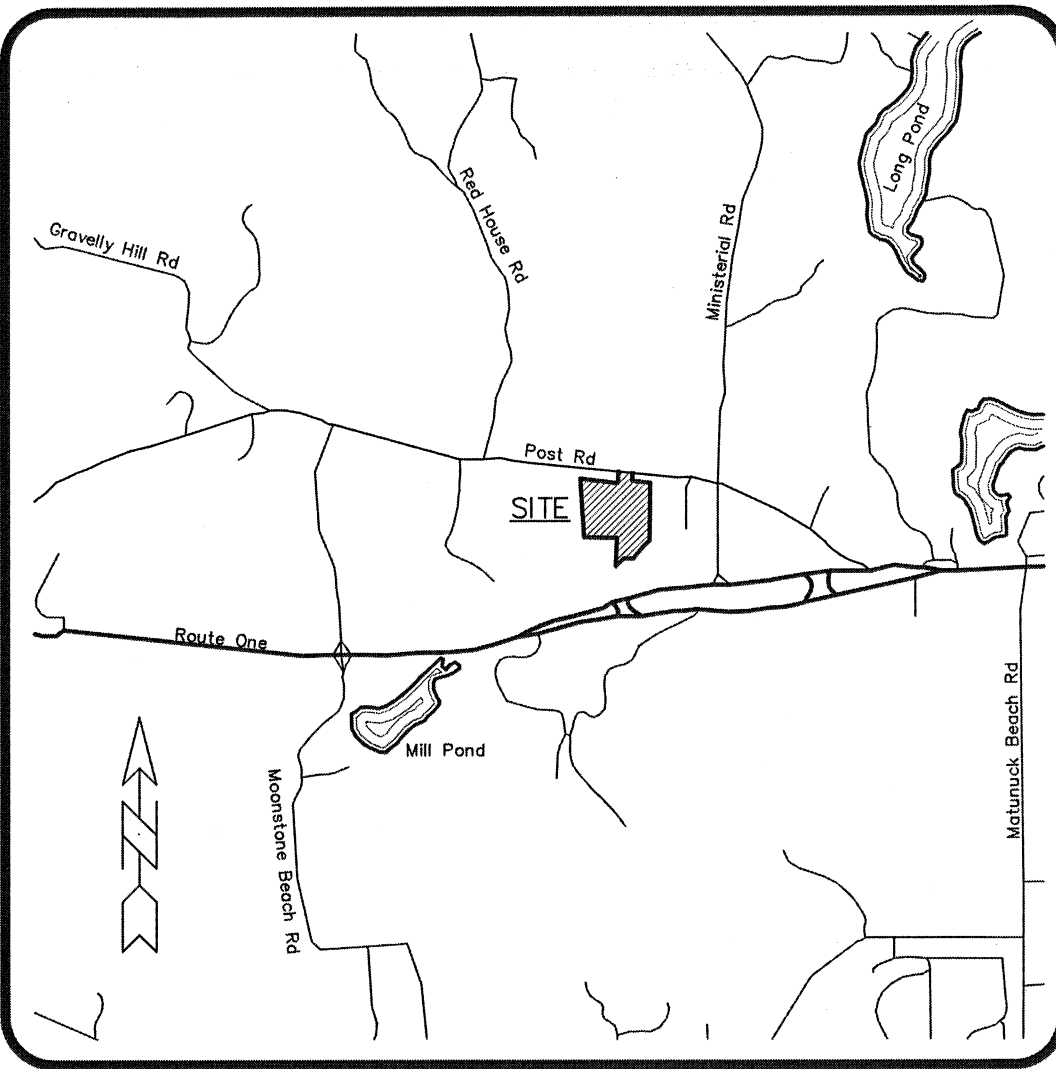
PRELIMINARY PLAN  
COHEN MAJOR SUBDIVISION  
ASSESSOR'S PLAT 79-2 LOT 5  
SITUATED IN  
SOUTH KINGSTOWN, RHODE ISLAND

PREPARED FOR APPLICANT/OWNER  
SIBLEY C. SMITH, JR. &  
CECILE L. COHEN IRREVOCABLE TRUST  
2300 POST ROAD  
WAKEFIELD, RI 02879

DATE:  
MARCH 14, 2023



PREPARED BY  
DOWDELL ENGINEERING  
ASSOCIATES, LLC  
3949 OLD POST ROAD  
CHARLESTOWN, RI 02813  
(401) 364-1027



**LOCATION MAP**  
NOT TO SCALE

**ZONING DISTRICT -RR80**

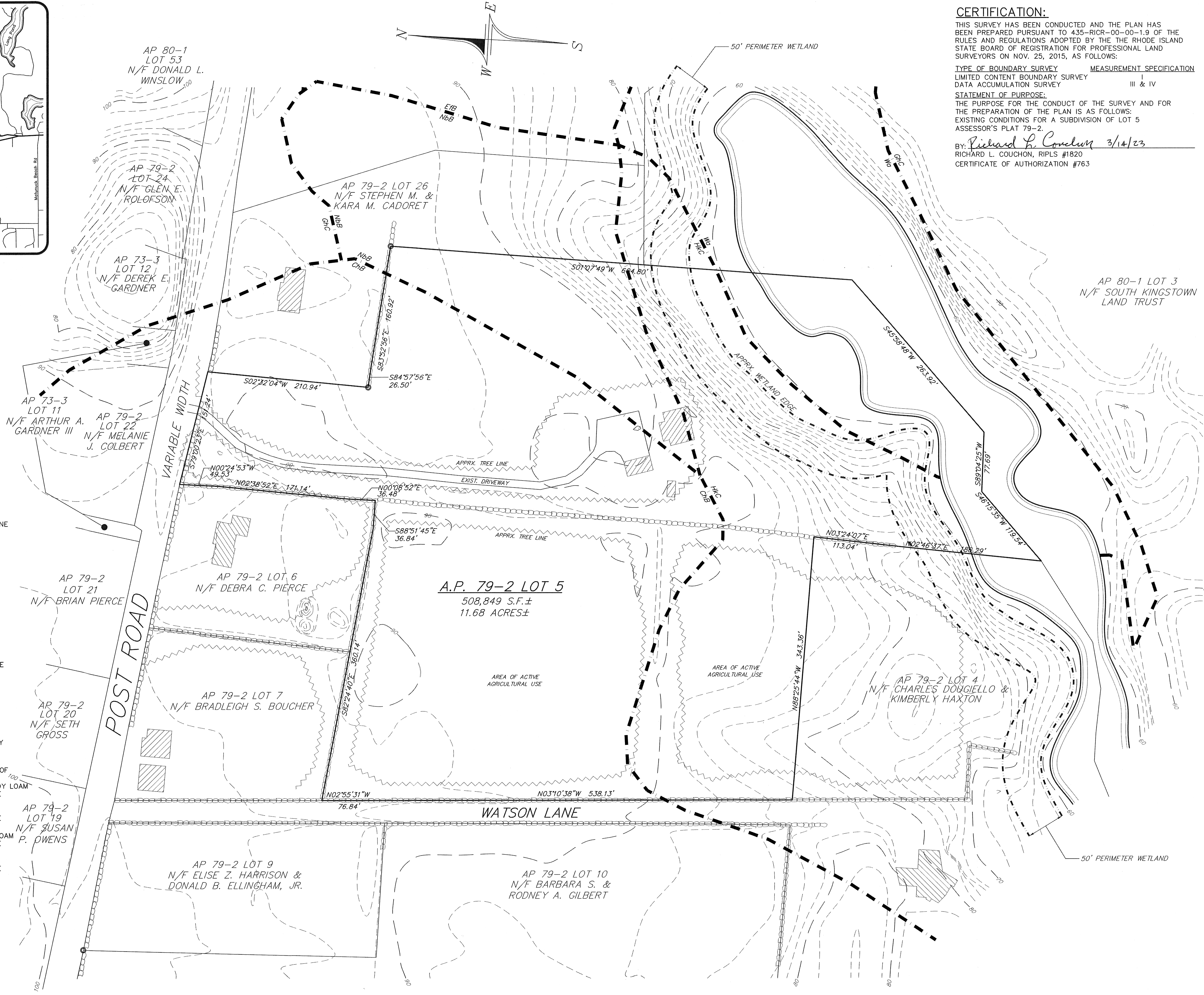
MINIMUM AREA = 80,000 S.F.  
 MINIMUM LOT WIDTH = 200 FEET  
 MINIMUM YARD REQUIREMENTS:  
 FRONT SETBACK . . . . . 50 FEET  
 SIDE SETBACK . . . . . 40 FEET  
 REAR SETBACK . . . . . 50 FEET

**OWNER/APPLICANT:**

SIBLEY C. SMITH, JR. &  
 CECILE L. COHEN IRREVOCABLE TRUST  
 2300 POST ROAD  
 WAKEFIELD, RI 02879

**NOTES:**

- SUBJECT PROPERTY IS NOT LOCATED IN A FLOOD ZONE AS DELINEATED ON FIRM MAP #44009C0189J, DATED OCTOBER 16, 2013.
- GROUND COVER ON SUBJECT PROPERTY IS PREDOMINATELY DECIDUOUS WOODLAND AND SOME GRASSLAND.
- SUBJECT PROPERTY HAS SOME AREAS OF PRIME AGRICULTURAL SOILS.
- THERE ARE NO KNOWN HISTORICAL CEMETERIES LOCATED ON THE SUBJECT PROPERTY.
- THERE ARE NO KNOWN UNIQUE HISTORICAL FEATURES LOCATED ON THE SUBJECT PROPERTY EXCEPT FOR STONE WALLS.
- SUBJECT PROPERTY IS NOT LOCATED IN A NATURAL HERITAGE AREA.
- SUBJECT PROPERTY IS LOCATED IN THE SOUTH SHORE SALT PONDS CRITICAL RESOURCE AREA.
- SUBJECT PROPERTY IS NOT LOCATED IN A GROUND WATER PROTECTION OVERLAY DISTRICT.
- SUBJECT PROPERTY IS NOT LOCATED IN A TMDL WATERSHED.
- SUBJECT PROPERTY IS NOT LOCATED IN A DRINKING WATER SUPPLY WATERSHED.
- THERE ARE NO BUILDINGS ON THE SUBJECT PROPERTY LISTED ON THE NATIONAL REGISTER OF HISTORIC PLACES.
- SOIL DESIGNATION - REFERENCE: 1981 SOIL SURVEY OF RHODE ISLAND  
 ChB - CANTON & CHARLTON VERY STONY FINE SANDY LOAM  
 BUILDING SITE DEVELOPMENT - MODERATE TO SEVERE  
 FLOODING - NONE, >6' WATER TABLE  
 EFB - ENFIELD SILT LOAM  
 BUILDING SITE DEVELOPMENT - MODERATE TO SEVERE  
 FLOODING - NONE, >6' WATER TABLE  
 GbC - GLOUCESTER-HINCKLEY VERY STONY SANDY LOAM  
 BUILDING SITE DEVELOPMENT - MODERATE TO SEVERE  
 FLOODING - NONE, >6' WATER TABLE  
 HkC - HINCKLEY GRAVELLY SANDY LOAM  
 BUILDING SITE DEVELOPMENT - MODERATE TO SEVERE  
 FLOODING - NONE, >6' WATER TABLE  
 Nbb - NARRAGANSETT SILT LOAM  
 BUILDING SITE DEVELOPMENT - MODERATE  
 FLOODING - NONE, >6' WATER TABLE  
 Wa - WALPOLE SANDY LOAM  
 BUILDING SITE DEVELOPMENT - SEVERE  
 FLOODING - NONE, 0-1' WATER TABLE



**CERTIFICATION:**  
 THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RICR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOV. 25, 2015, AS FOLLOWS:  
**TYPE OF BOUNDARY SURVEY**      **MEASUREMENT SPECIFICATION**  
 LIMITED CONTENT BOUNDARY SURVEY      I  
 DATA ACCUMULATION SURVEY      III & IV  
**STATEMENT OF PURPOSE:**  
 THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:  
 EXISTING CONDITIONS FOR A SUBDIVISION OF LOT 5  
 ASSESSOR'S PLAT 79-2  
 BY: *Richard L. Dowdell* 3/14/23  
 RICHARD L. COUCHON, RIPLS #1820  
 CERTIFICATE OF AUTHORIZATION #763

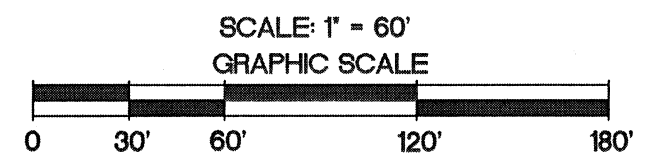
PRELIMINARY PLAN  
 EXISTING CONDITIONS  
 COHEN MAJOR SUBDIVISION  
 ASSESSOR'S PLAT 79-2 LOT 5  
 SITUATED IN THE TOWN OF  
 SOUTH KINGSTOWN, RHODE ISLAND  
 PREPARED FOR  
 CECILE L. COHEN

NO.	REVISION	DATE

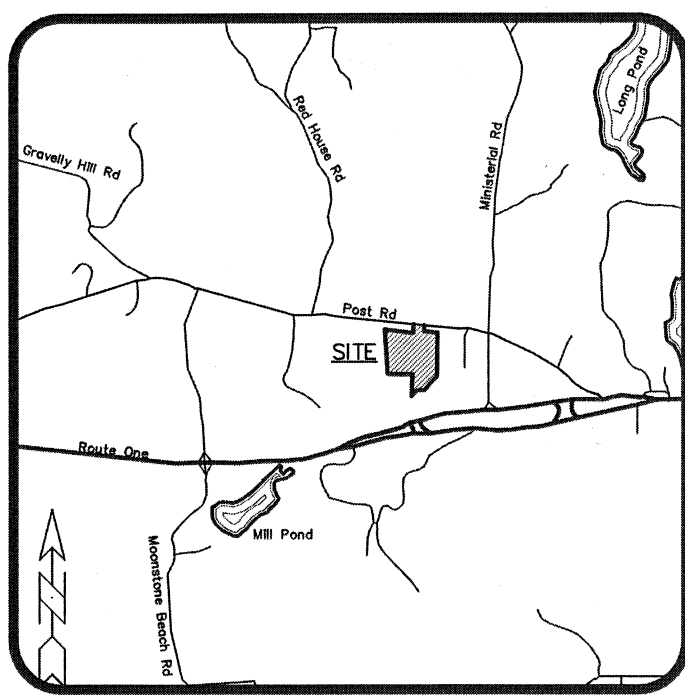
MARK L. DOWDELL  
 No. 11104  
 REGISTERED PROFESSIONAL ENGINEER  
 CIVIL  
 RICHARD L. COUCHON  
 No. 1820  
 REGISTERED PROFESSIONAL LAND SURVEYOR

**DLH DOWDELL ENGINEERING**  
 DOWDELL ENGINEERING ASSOCIATES, LLC  
 CIVIL & ENVIRONMENTAL ENGINEERS  
 SURVEYORS & LAND PLANNERS  
 P.O. BOX 168 • 364 OLD POST ROAD  
 CHARLESTOWN, RHODE ISLAND 02815  
 (401) 364-1027  
 WEBSITE: dowdelleng.com EMAIL: mark@dowdelleng.com

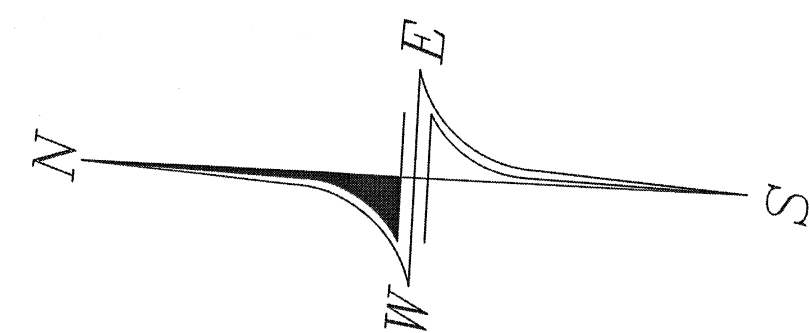
JOB NO. 1590	DRAWN BY: R.L.C.
DWG. NO. 1590-P1.	CHECKED: M.L.D.
SCALE: 1"=60'	APPROVED: M.L.D.
SHEET: 1	DATE: MARCH 14, 2023
1 OF 4 SHEETS	



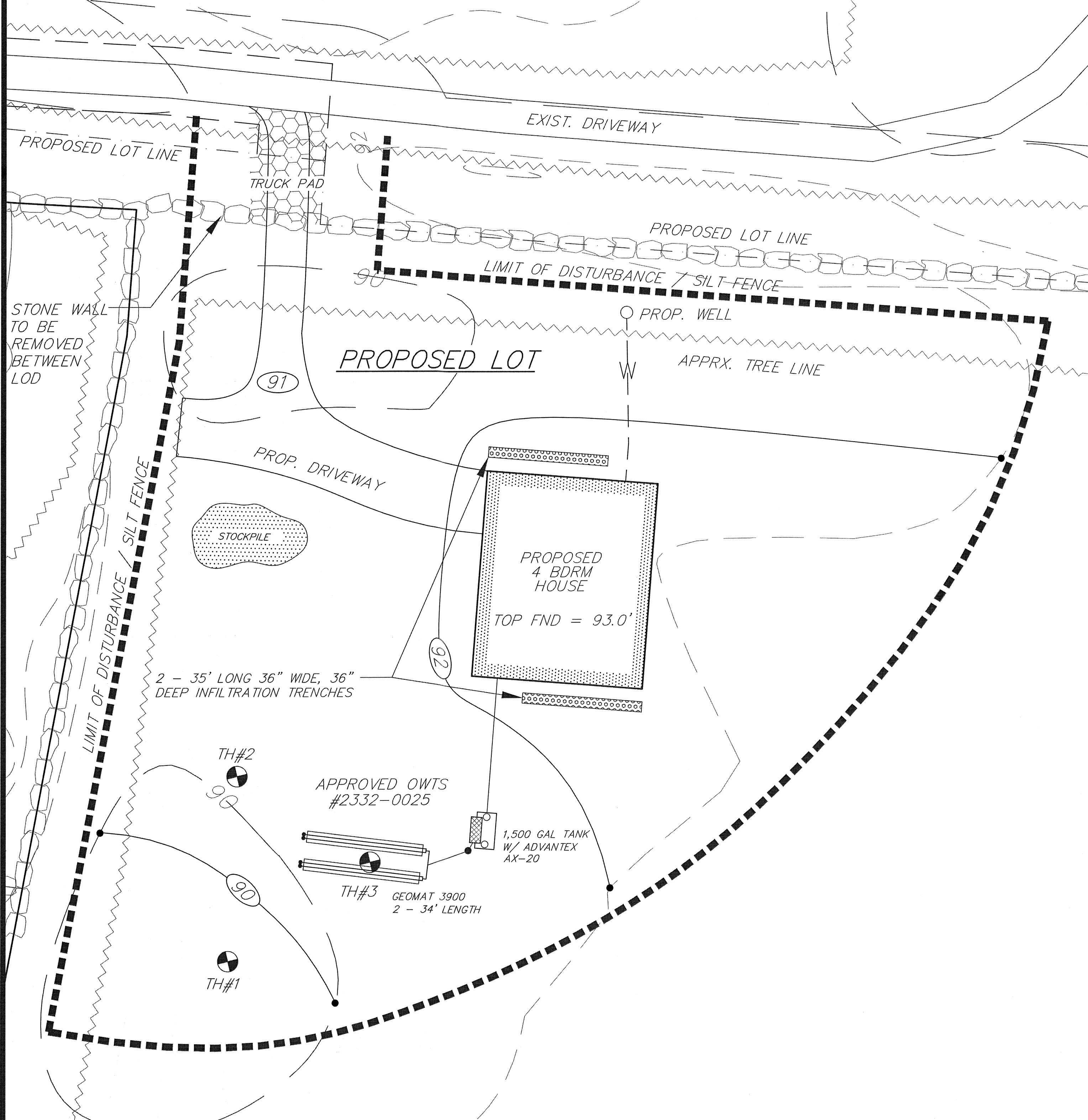




LOCATION MAP



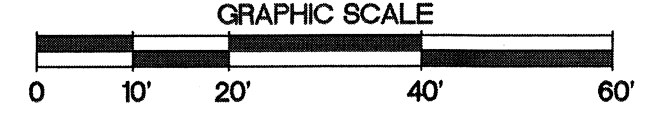
A.P. 79-2 LOT 5



**LEGEND:**

	PROP. CONTOUR
	PROP. FIN. GRADE
	EXIST. CONTOUR
	EXIST. SPOT GRADE
	VERIFIED TEST HOLE
	LIMIT OF DISTURB.
	PROPERTY LINE
	WATER SERVICE
	STORM DRAIN

**RECORD OWNER**  
 SIBLEY C. SMITH, JR. &  
 CECILE L. COHEN IRREVOCABLE TRUST  
 2300 POST ROAD  
 WAKEFIELD, RI 02879



ZONING CLASSIFICATION = RR80  
 FRONT - 50 FT SIDE - 40 FT REAR - 50 FT

**EROSION CONTROL & SOIL STABILIZATION PROGRAM**

1. DENUDED SLOPES SHALL NOT BE UNATTENDED OR EXPOSED FOR EXCESSIVE PERIODS OF TIME SUCH AS THE INACTIVE WINTER SEASON.
2. ALL DISTURBED SLOPES EITHER NEWLY CREATED OR EXPOSED PRIOR TO OCTOBER 15, SHALL BE SEEDED OR PROTECTED BY THAT DATE FOR ANY WORK COMPLETED DURING EACH CONSTRUCTION PERIOD.
3. THE TOPSOIL SHALL HAVE A SANDY LOAM TEXTURE RELATIVELY FREE OF SUBSOIL MATERIAL, STONES, ROOTS, LUMPS OF SOIL, TREE LIMBS, TRASH OR CONSTRUCTION DEBRIS AND SHALL CONFORM WITH R.I. STANDARD SPECIFICATION M. 20.
4. THE SEED MIX SHALL BE INOCULATED WITHIN 24 HOURS, BEFORE MIXING AND PLANTING, WITH APPROPRIATE INOCULUM FOR EACH VARIETY.
5. THE DESIGN MIX SHALL BE COMPRISED OF THE FOLLOWING:  
 PERMANENT SEEDING MIXTURES:  
 A. -LAWNS:  
 FOR SUN OR SHADED; MODERATE MANAGEMENT SUGGESTED (IMPROVED U.R.I. NUMBER 2 LAWN SEED MIXTURE).  

	LBS/ACRE	LBS/1000SF
RED FESCUE	40	.90
KENTUCKY BLUEGRASS *	40	.90
PERENNIAL RYEGRASS **	20	.45

\* 50% (20 LBS/ACRE) MUST BE NAMED OR IMPROVED VARIETY, SUCH AS AMERICAN KENTUCKY BLUEGRASS.  
 \*\* MUST BE NAMED OR IMPROVED VARIETY, SUCH AS YORKTOWN II PERENNIAL RYEGRASS.

 B. -SOD WATERWAYS, DRAINAGE DITCHES, DETENTION BASINS, ETC.  

	LBS/ACRE	LBS/1000SF
CREeping RED FESCUE	20	.45
TALL FESCUE OR REED CANARYGRASS *	20	.45

\* USE REED CANARY GRASS WHERE MOWING IS NOT REQUIRED. SUCH AS AMERICAN KENTUCKY BLUEGRASS.  
 SOURCE: USDA, SOIL CONSERVATION SERVICE

 C. -SAND DUNES, BLOWING SAND  

	NO./ACRE	NO./1000SF
'CAPE' AMERICAN BEACHGRASS CULMS	58,500	1,345

 D. -GENERAL PURPOSE LAWN  

	LBS/ACRE	LBS/1000SF
RED FESCUE	75	1.75
KENTUCKY BLUEGRASS	15	.35
COLONIAL BENTGRASS	5	.11
PERENNIAL RYEGRASS	5	.11

SOURCE: U.R.I. AGRICULTURAL EXPERIMENT STATION BULLETIN 432 KINGSTON, R.I. (R.I. DEPT. OF TRANSPORTATION 'PARK' SEED MIXTURE).

 E. -GENERAL PURPOSE: MINIMUM MAINTENANCE; UNMOWED OR INFREQUENTLY MOWED  

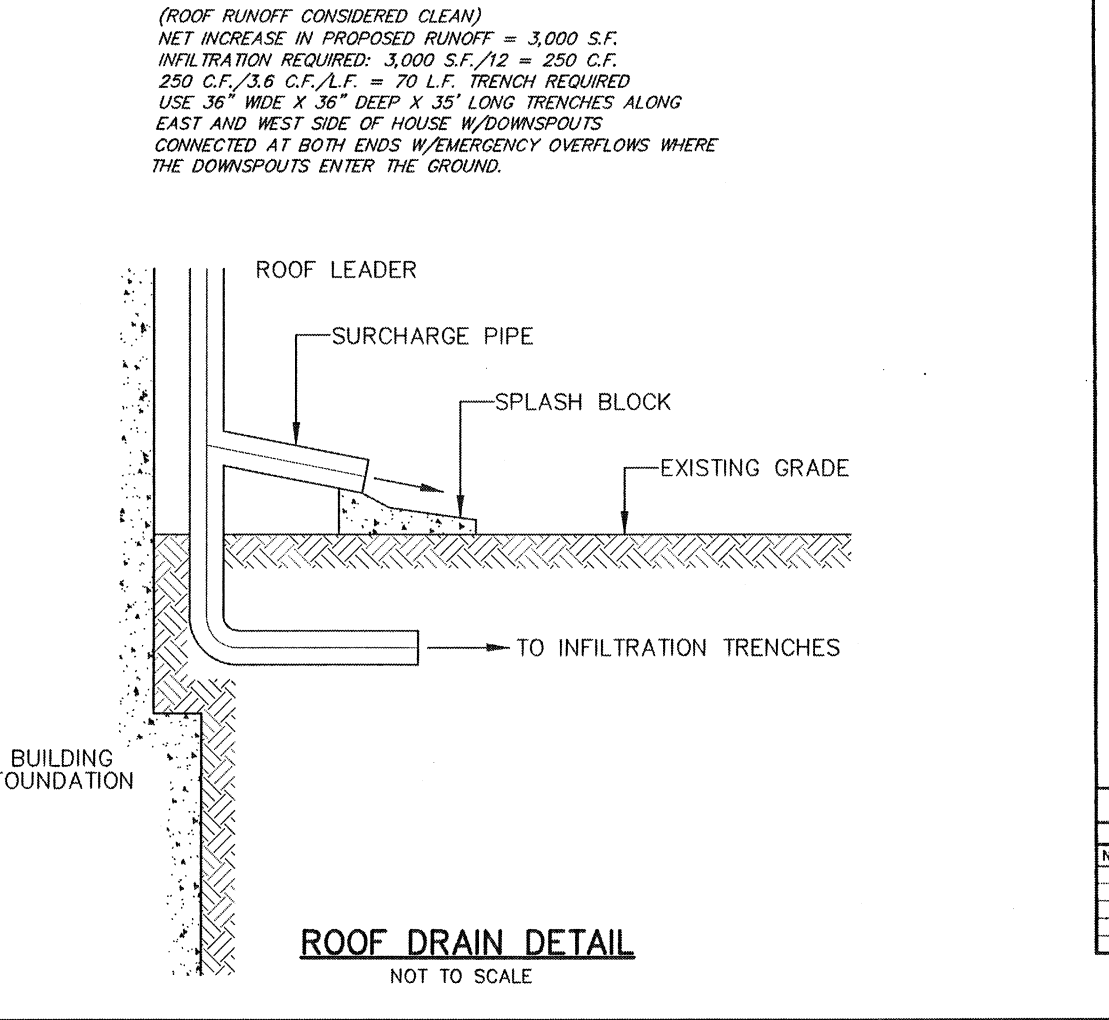
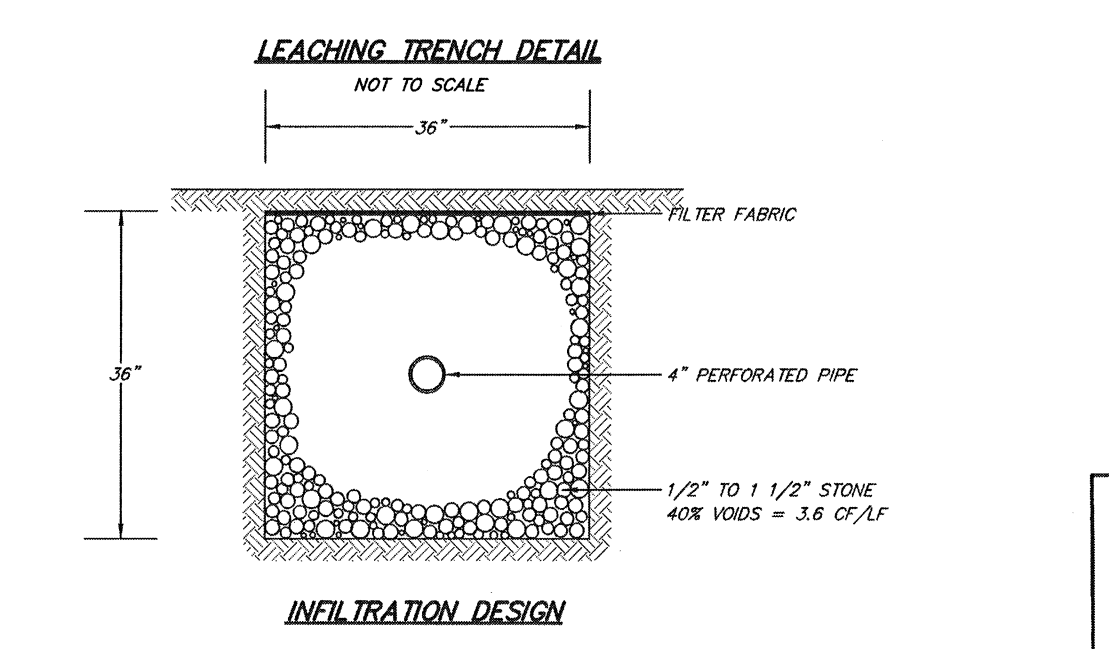
	LBS/ACRE	LBS/1000SF
RED FESCUE	75	1.75
COLONIAL BENTGRASS, 'EXETER'	5	.11
PERENNIAL RYEGRASS	5	.11
BIRDSFOOT TREFOLI, 'EMPIRE'	15	.35

\*USE INOCULATED SEED; MAY INCLUDE 20% HARD SEED.  
 SOURCE: U.R.I. AGRICULTURAL EXPERIMENT STATION BULLETIN 432 KINGSTON, R.I. (R.I. DEPT. OF TRANSPORTATION 'SLOPE' SEED MIXTURE).

 F. -BUFFER ZONES ADJACENT TO WETLANDS OR SURFACE WATERS AND WETLAND AREAS  

	LBS/ACRE	LBS/1000SF
REED CANARY GRASS	20	.45
LADINO CLOVER*		

\*USE INOCULATED SEED.



CIRCLED NOTES APPLY

6. ALL HAYBALES OR TEMPORARY PROTECTION SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED. IF NEEDED, TEMPORARY SEEDING CAN HELP TO MINIMIZE EROSION. A TEMPORARY SEEDING GUIDE MUST BE INCLUDED AS A REFERENCE. THE FOLLOWING SPECIES ARE RECOMMENDED:  

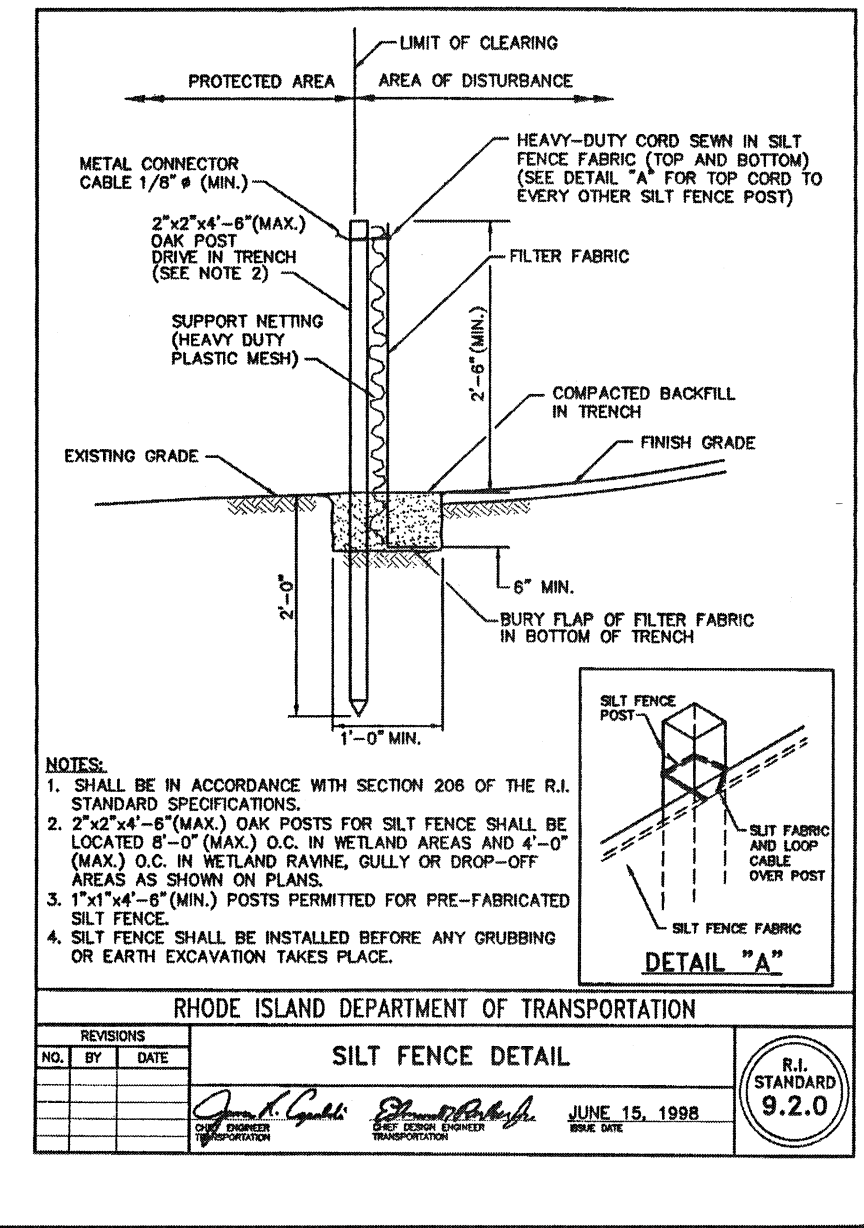
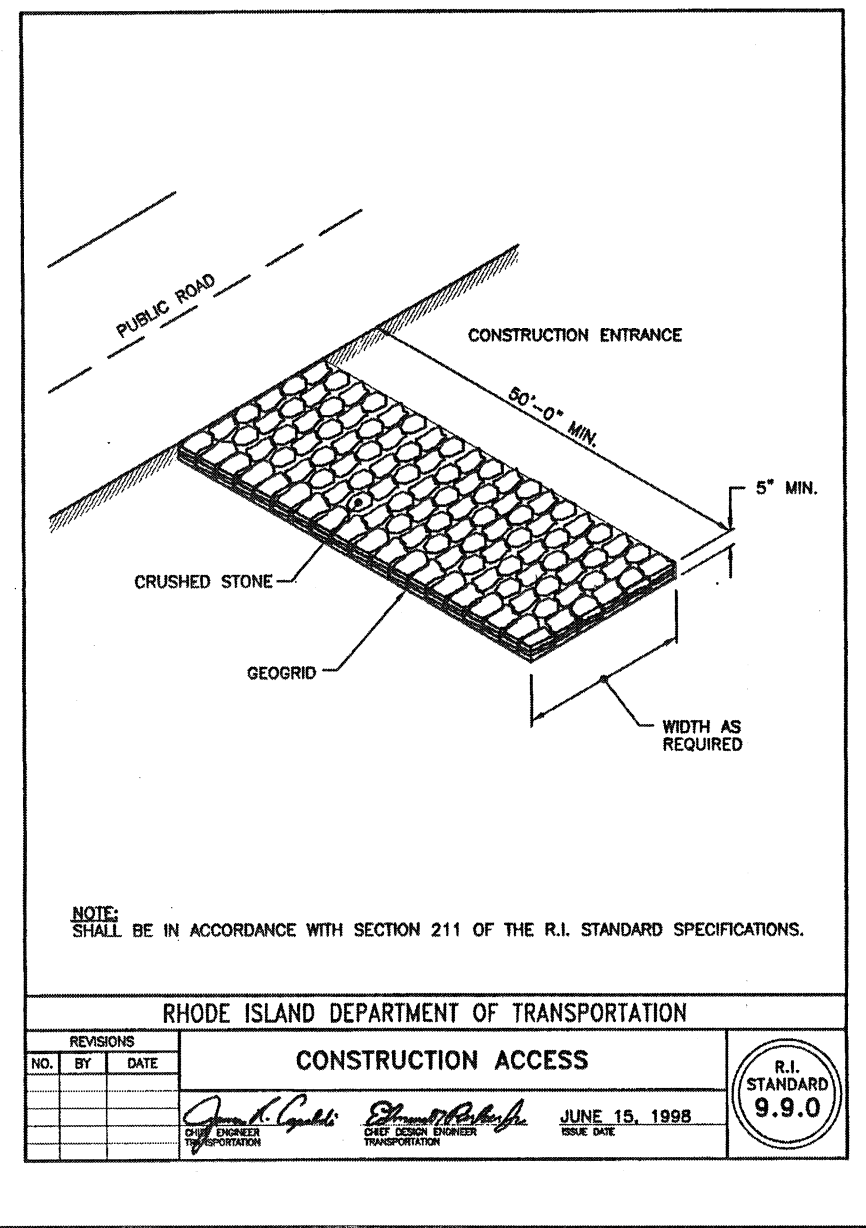
SPECIES	LBS/ACRE	LBS/1,000 SQ. FT.	SEEDING DATES
ANNUAL RYEGRASS	60	1.5	MARCH 1 - JUNE 15 & AUGUST 1 - OCTOBER 1
PERENNIAL RYEGRASS	60	1.5	MARCH 1 - JUNE 15 & AUGUST 1 - OCTOBER 1
SUDAN GRASS	40	1.0	MAY 15 - AUGUST 15
MILLET	40	1.0	MAY 15 - AUGUST 15
WINTER RYE	100	2.5	AUGUST 15 - OCTOBER 1
9. THE CONTRACTOR MUST REPAIR AND/OR RESEED ANY AREAS THAT DO NOT DEVELOP WITHIN THE PERIOD OF ONE YEAR AND HE SHALL DO SO AT NO ADDITIONAL EXPENSE.
10. THE NORMAL ACCEPTABLE SEASONAL SEEDING DATES ARE APRIL 1ST THRU OCTOBER 15TH.
11. ALL FILL SHALL BE THOROUGHLY COMPACTED UPON PLACEMENT IN STRICT CONFORMANCE WITH THE R.I.D.O.T. STANDARD SPECIFICATIONS SECTION 202.
12. STABILIZATION OF ONE FORM OR ANOTHER AS DESCRIBED ABOVE SHALL BE ACHIEVED WITHIN 15 DAYS OF FINAL GRADING.
13. STOCKPILES OF TOPSOILS SHALL NOT BE LOCATED NEAR WATERWAYS OR WETLANDS. THEY SHALL HAVE SIDE SLOPES NO GREATER THAN 30% AND STOCKPILES SHALL ALSO BE SEEDED AND/OR STABILIZED.
14. ON BOTH STEEP AND LONG SLOPES CONSIDERATION SHOULD BE GIVEN TO 'CRIMPING' OR 'TRACKING' TO TACK DOWN MULCH APPLICATIONS.
15. REFERENCE THE SEDIMENTATION CONTROL PROGRAM AND ORDER OF PROCEDURE FOR PROPER COORDINATION.
16. ANY DETENTION/RETENTION FACILITIES AND THE DRAINAGE SYSTEM SHALL RECEIVE ONE FINAL CLEANING PRIOR TO ACCEPTANCE OF THE OVERALL PROJECT BY THE OWNER. SEDIMENTS SHALL BE DISPOSED OF IN A PROPER MANNER.

**OPERATION & MAINTENANCE PLAN**

1. EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY UNSUITABLE MATERIAL FROM ENTERING ANY WETLANDS.
2. ALL DISTURBED AREAS SUBJECT TO EROSION TENDENCIES WHETHER THEY ARE NEWLY FILLED OR EXCAVATED SHALL RECEIVE SUITABLE SLOPE PROTECTION.
3. DURING CONSTRUCTION, THE CONTRACTOR AND/OR DEVELOPER SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND RUNOFF FLOW DURING STORMS AND PERIODS OF RAINFALL.
4. CARE SHALL BE TAKEN SO AS TO PREVENT ANY UNSUITABLE MATERIAL FROM ENTERING EITHER EXISTING OR PROPOSED DRAINAGE OR SEWER STRUCTURES.
5. SEDIMENTATION CONTROL DEVICES SHALL BE INSPECTED PERIODICALLY AND AFTER PERIODS OF RAINFALL. SUCH DEVICES SHALL BE REPAIRED OR REPLACED AS NEEDED.
6. CARE SHALL BE TAKEN SO AS NOT TO PLACE "REMOVED SEDIMENTS" WITHIN THE PATH OF EXISTING, NEWLY CREATED (BOTH TEMPORARY AND PERMANENT) OR PROPOSED WATERCOURSES OR THOSE AREAS SUBJECT TO STORM WATER FLOW.
7. ADDITIONAL HAYBALES OR SANDBAGS SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER.
8. ALL SEDIMENTS SHALL BE REMOVED FROM THE DETENTION BASINS OR STRUCTURES WHEN DIRECTED BY THE ENGINEER OR THE LOCAL CONSERVATION COMMISSION.
9. REFERENCE THE "STATE OF RHODE ISLAND STORMWATER MANAGEMENT GUIDANCE FOR INDIVIDUAL SINGLE-FAMILY RESIDENTIAL LOT DEVELOPMENT."
10. THE CONTACT PERSON IN RESPONSIBLE CHARGE IS CECILE COHEN, TEL. (401) 782-5324

**ORDER OF PROCEDURE**

1. IMMEDIATELY UPON COMPLETION OF THE CLEARING AND GRUBBING OPERATION AND PRIOR TO ANY ROUGH GRADING, TEMPORARY HAYBALES OR SANDBAGS SHALL BE PLACED OUTSIDE THE LIMITS OF CONSTRUCTION AS PER THE PLANS (I.E. ALONG NEW ROADWAYS, STREAMBANKS, CRITICAL AREAS, ETC.)
2. ALL EROSION AND SEDIMENTATION STRUCTURES SHALL BE PERIODICALLY CLEANED AND MAINTAINED AS PER THE RESPECTIVE PROGRAMS DURING THE CONSTRUCTION.
3. IF WORK PROGRESS IS TO BE INTERRUPTED AT ANY TIME, REFERENCE EROSION AND SEDIMENTATION PROGRAMS FOR TEMPORARY CONTROL.
4. TEMPORARY HAYBALES AND SANDBAGS ALONG AND AT THE END OF ROADWAYS MAY BE REMOVED AFTER FINAL SOIL STABILIZATION HAS BEEN ACHIEVED AND APPROVED.
5. HAYBALES LOCATED AT DRAINAGE OUTLETS MUST REMAIN UNTIL SUCH TIME THAT A DESIRABLE STAND OF GRASS OR GROUND COVER HAS BEEN ESTABLISHED AND THE PROJECT RECEIVES A FAVORABLE APPROVAL FOR FINAL ACCEPTANCE FROM THE ENGINEER.
6. ONLY THOSE AREAS SHOWN ON THE ATTACHED SITE PLAN, THE LIMITS OF WHICH ARE DESIGNATED BY THE EXTENT OF THE PROPOSED CONTOURS, ARE SUBJECT TO THE EROSION CONTROL MEASURES SPECIFIED ABOVE.



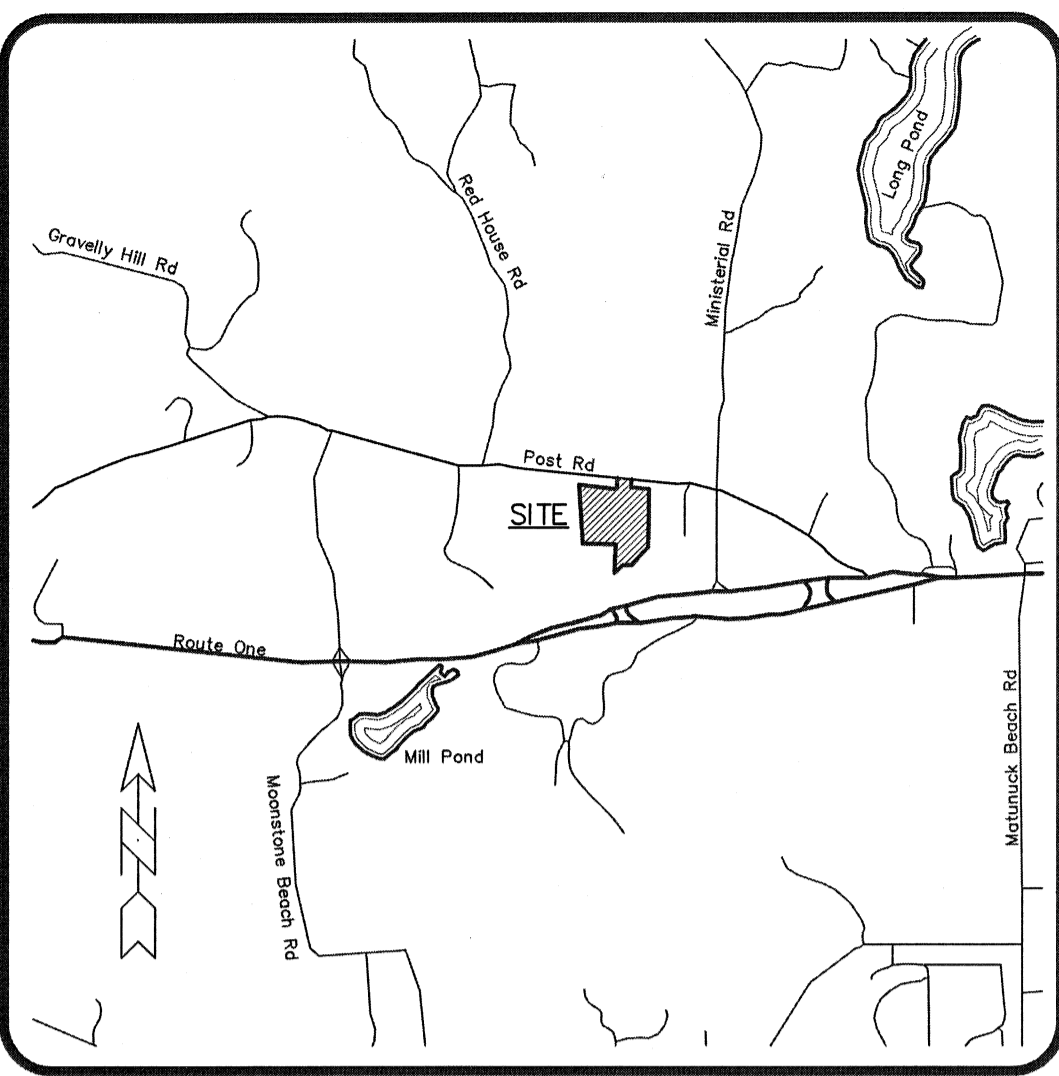
PRELIMINARY PLAN  
 SERSC PLAN  
 COHEN MAJOR SUBDIVISION  
 ASSESSOR'S PLAT 79-2 LOT 5  
 SITUATED IN THE TOWN OF  
 SOUTH KINGSTOWN, RHODE ISLAND  
 PREPARED FOR  
 CECILE L. COHEN

NO.	REVISION	DATE

MARK L. DOWDELL  
 No. 11104  
 REGISTERED PROFESSIONAL ENGINEER CIVIL

**DE DOWDELL ENGINEERING**  
 DOWDELL ENGINEERING ASSOCIATES, LLC  
 CIVIL & ENVIRONMENTAL ENGINEERS  
 SURVEYORS & LAND PLANNERS  
 P.O. BOX 1884 • 3949 OLD POST ROAD  
 CHARLESTOWN, RHODE ISLAND 02813  
 (401) 364-1027  
 WEBSITE: dowdelleng.com EMAIL: mark@dowdelleng.com

JOB NO. 1590 DRAWN BY: R.L.C.  
 DWG. NO. 1590-P2 CHECKED: M.L.D.  
 SCALE: 1"=20' DATE: MARCH 14, 2023  
 SHEET: 3 OF 4 SHEETS



**LOCATION MAP**  
NOT TO SCALE

**ZONING DISTRICT -RR80**

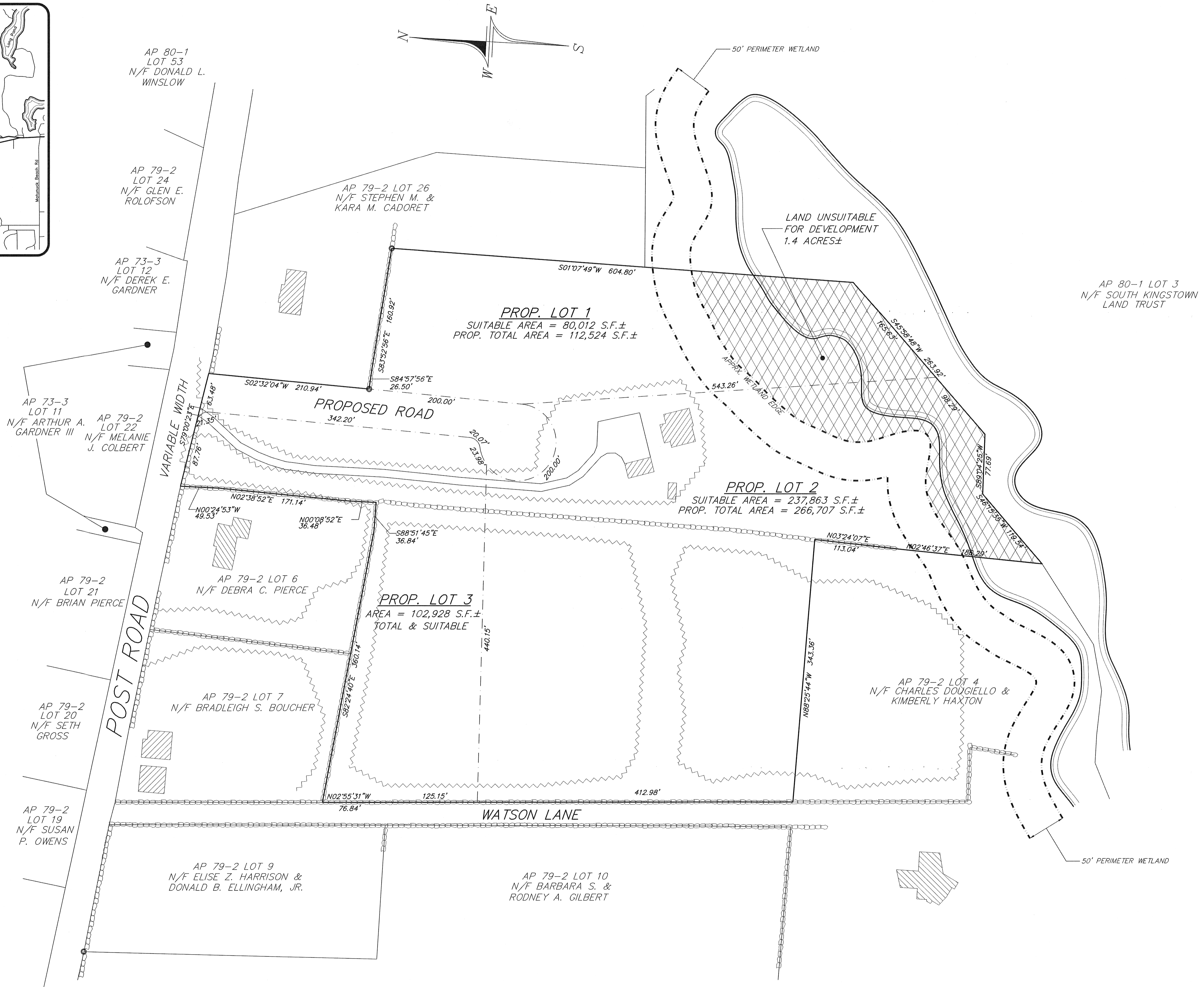
MINIMUM AREA = 80,000 S.F.  
 MINIMUM LOT WIDTH = 200 FEET  
 MINIMUM YARD REQUIREMENTS:  
 FRONT SETBACK . . . . . 50 FEET  
 SIDE SETBACK . . . . . 40 FEET  
 REAR SETBACK . . . . . 50 FEET

**OWNER/APPLICANT:**

SIBLEY C. SMITH, JR. &  
 CECILE L. COHEN IRREVOCABLE TRUST  
 2300 POST ROAD  
 WAKEFIELD, RI 02879

**NOTES:**

1. 3 BUILDABLE LOTS PROPOSED.



PRELIMINARY PLAN  
 YIELD PLAN  
 COHEN MAJOR SUBDIVISION  
 ASSESSOR'S PLAT 79-2 LOT 5  
 SITUATED IN THE TOWN OF  
 SOUTH KINGSTOWN, RHODE ISLAND  
 PREPARED FOR  
 CECILE L. COHEN

NO.	REVISION	DATE

MARK L. DOWDELL  
 No. 31104  
 REGISTERED PROFESSIONAL ENGINEER CIVIL

RICHARD L. COUCHON  
 No. 1820  
 REGISTERED LAND SURVEYOR

**DE DOWDELL ENGINEERING**  
 DOWDELL ENGINEERING ASSOCIATES, LLC  
 CIVIL & ENVIRONMENTAL ENGINEERS  
 SURVEYORS & LAND PLANNERS  
 184 SETH GROSS ROAD  
 CHARLESTOWN, RHODE ISLAND 02815  
 (401) 364-1027  
 WEBSITE: dowdelleng.com EMAIL: mark@dowdelleng.com

JOB NO. 1590 DRAWN BY: R.L.C.  
 DWG. NO. 1590-P4 CHECKED: M.L.D.  
 SCALE: 1"=60' DATE: MARCH 14, 2023  
 SHEET: 4 OF 4 SHEETS

