

**CALLAGHAN & CALLAGHAN**  
**ATTORNEYS AT LAW**  
**3 BROWN STREET**  
**WICKFORD, RI 02852**

**MATTHEW F. CALLAGHAN, JR.**  
**JAMES M. CALLAGHAN**

**TEL. (401) 294-4555**  
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**MATT@CALLAGHANLAWRI.COM**  
**JAMES@CALLAGHANLAWRI.COM**

December 22, 2022

Maria Mack, Chair  
South Kingstown Planning Board  
James Rabbitt, AICP  
Jay Parker, AICP  
Planning Department  
Town of South Kingstown  
180 High Street  
South Kingstown, RI 02879

Re: Glenn and Gretel McCrory  
507-509 High Street  
Map 48-3, Lot 150  
Reinstatement of Approved Plan - Preliminary Plan

Dear Chair Mack, Director Rabbitt, and Principal Planner Parker:

I hope you are all doing well. Our office represents Glenn and Gretel McCrory. Glenn and Gretel own property located at 507-509 High Street. This property is located immediately to the north of Flatt's Smokehouse restaurant (former Giro's Restaurant). The property currently includes a structure with three existing residential units abutting High Street. The remainder of the 15,560 sq. ft. lot is undeveloped.

In July of 2005, the former owners of 507-509 High Street, Dan and Renee Driscoll, received Preliminary Plan approval for a proposed eight-unit (three existing units, five new units), multi-household, detached structure development project. The decision was recorded on July 18, 2005 and is attached.

Glenn and Gretel purchased the property on January 31, 2019. At the time of their purchase, due to tolling as a result of the financial crisis in 2008-2009, the Preliminary Plan approval had not expired. Glenn and Gretel then moved forward with the required Dimensional Variance application before the Zoning Board of Review ("ZBR" or "Zoning Board"). The Zoning Board granted the required dimensional relief on June 19, 2019. The decision was recorded on June 27, 2019.

Unfortunately, following the Zoning Board decision in June of 2019, Glenn and Gretel did not realize that the Preliminary Plan was set to expire at the end of 2019. At the end of 2019 a Final Plan was not submitted for administrative review and unbeknownst to them the Preliminary Plan expired.

On February 16, 2022, Glenn and Gretel appeared again before the Zoning Board of Review (the 2019 ZBR approval expired after one year). The ZBR approved the required dimensional variances (locating more than one principal residence on one lot, rear yard set-back, and dwelling on the first floor in the Commercial District). The decision granting the requested relief was recorded on February 23, 2022.

Glenn and Gretel then approached the Building Official for building permits. They then realized that both the Preliminary Plan had expired and the Final Plan had neither been submitted nor approved. Quite frankly, Glenn and Gretel were in a state of shock.

At this point, due to the circuitous path of this project, Glenn and Gretel are respectfully requesting reinstatement of the Preliminary Plan pursuant to the Subdivision and Land Regulations – Article VIII Section C.

Reinstatement of an expired plan pursuant to Article VIII Section C may be granted if the following conditions can be met:

- (a) The subdivision is consistent with the Comprehensive Community Plan;
- (b) The Subdivision Regulations are substantially the same as they were at the time of original approval;
- (c) The zoning of the subdivision parcel is substantially the same as it was at the time of the original approval;
- (d) Physical conditions on the subdivision parcel are substantially the same as they were at the time of original approval;
- (e) Any applicable State or federal regulations are substantially the same as they were at the time of the original approval, and;
- (f) Any required fee, including Fair Share Development Fees as provided in the Zoning Ordinance and/or Capital Improvement Program, is the same, as it was at the time of the original approval. The Board shall in approving such request, condition its approval on the payment of current Fair Share Development Fee in effect at the time of the granting of said extension, and as amended annually in the Capital Improvement Program.

We believe that the Preliminary Plan approval meets all of the conditions – except for subsection (b). The Subdivision Regulations are substantially the same except that it appears that if this project were approved today, it would require two (2) inclusionary units pursuant to Section 502.6 of the Ordinances of the Town of South Kingstown (20% of 8 = 1.6 (rounded up to two (2) per Sec. 502.6 (e)).

We are requesting reinstatement of the Preliminary Plan with the understanding that two (2) inclusionary units will be added to the existing residential structure. The inclusionary units will be compatible in scale and architecture with the market rates units and will be

occupied concurrently or before the market rate units. We would codify these conditions in the Final Plan approval.

Procedurally, we believe this change is not substantive and would not require additional hearings. The project is not increasing in density or size. The only aspect of the project that will change is that two units will be inclusionary.

For a variety of reasons, this project has had a somewhat checkered history in terms of moving forward. At this point, Glenn and Gretel would like to put shovels in the ground as soon as possible. The addition of inclusionary units hopefully is an unexpected benefit for the Town that would not have come to fruition but for the passage of time without Final Plan approval.

Please find the attached documents relative to this reinstatement request:

- (1) Project Review Application Form (\$300.00 fee enclosed)
- (2) Project Team Form (Signed)
- (3) Owner Authorization Form (Signed)
- (4) 2005 Preliminary Plan Approval
- (5) 2019 Zoning Board Approval
- (6) 2022 Zoning Board Approval
- (7) Architectural Drawing -Elevations (New Structure)
- (8) Site Plan
- (9) Flood Elevation Plan
- (10) Elevation Certificate
- (11) RI DEM Insignificant Alteration Permit

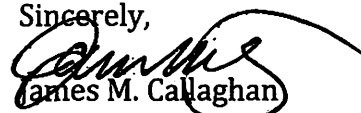
We hope that this is a solution that makes sense and provides measurable benefit for Glenn, Gretel, and the Town. If approved Glenn and Gretel will be able to move forward and the Town will gain inclusionary units that likely would not have been implemented without the expiration of the 2005 Preliminary Plan.

If this request could be placed on the next available Planning Board agenda, it would be greatly appreciated.

Also, for reference purposes, we are also requesting an extension of the ZBR approval granted in February of 2022. That extension will hopefully allow Glenn and Gretel time to gain all the necessary approvals without returning again to the ZBR.

We very much appreciate your time and consideration of this matter. Please contact me at your earliest convenience with any questions or concerns. Hope you have a great holiday and a Happy New Year. Thank you.

Sincerely,

  
James M. Callaghan

**TOWN OF SOUTH KINGSTOWN  
PLANNING BOARD  
PROJECT REVIEW APPLICATION FORM**

*This Application Form is to be submitted with each stage of review.*



**APPLICANT INFORMATION**

Applicant Name: Glenn and Gretel McCrory  
Name of Primary Contact (if applicant is an organization): Glenn McCrory  
Applicant Address: 200 Lavan Street, Unit 1, Warwick, RI 02888  
Applicant Phone: (401) 529-3268 Applicant Email: gmc2300@gmail.com

**OWNER INFORMATION**

Owner Name(s): Glenn and Gretel McCrory  
Owner Contact Information: Please see above

**PROJECT INFORMATION**

Assessor's Plat and Lot of Parcel(s) Proposed for Subdivision/Development: Map 48-3, Lot 150  
Physical Address or Location of Parcel(s): 507-509 High Street, Wakefield, RI 02879  
Zoning District(s) of Parcel(s): CD Total Size of Development Parcel: 15,650  
Date of Initial Meeting with Planning Department Staff (before first stage of review): 2005

**TYPE OF PROJECT (select all that apply)**

- |  |   |
|--|---|
| <input type="checkbox"/> Development Plan Review                                 | <input type="checkbox"/> Minor Land Development Project             |
| <input type="checkbox"/> Administrative Subdivision                              | <input checked="" type="checkbox"/> Major Land Development Project  |
| <input type="checkbox"/> Minor Subdivision, without street creation or extension | <input type="checkbox"/> Multi-Household Land Development Project   |
| <input type="checkbox"/> Minor Subdivision, with street creation or extension    | <input type="checkbox"/> Flexible Design Residential Project (FDRP) |
| <input type="checkbox"/> Major Subdivision                                       | <input type="checkbox"/> Residential Compound                       |
|  | <input type="checkbox"/> Comprehensive Permit                       |

**CURRENT STAGE OF REVIEW (if applicable)**

- |   |   |
|---|---|
| <input type="checkbox"/> Pre-Application Concept Review | <input type="checkbox"/> Release of Performance/Maintenance Guarantee           |
| <input type="checkbox"/> Conceptual Master Plan         | <input type="checkbox"/> Change to an Approved Plan                             |
| <input type="checkbox"/> Preliminary Plan               | <input checked="" type="checkbox"/> Reinstatement or Extension to Approved Plan |
| <input type="checkbox"/> Final Plan                     | <input type="checkbox"/> Request to Combine Review Stages                       |
| <input type="checkbox"/> Recording                      | <input type="checkbox"/> Other  |

**WAIVERS AND MODIFICATIONS**

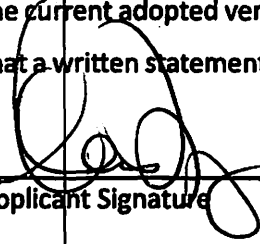
Does this application request waiver of or modification to any of the requirements of the Town of South Kingstown Subdivision and Land Development Regulations?  yes\*  no

*\*If yes, a statement describing the specific regulation(s) for which waiver or modification is requested must be included in the application materials.*

**CERTIFICATION OF COMPLETE APPLICATION**

(1) The applicant hereby certifies that all of the materials required by the applicable checklist(s), as determined by Planning Department staff during the initial meeting, have been submitted including a review fee in the amount of \$ 300.00

(2) The applicant hereby certifies that the plan set and other submitted materials conform to the requirements of the current adopted version of the Town of South Kingstown Subdivision and Land Development Regulations, or, that a written statement has been provided listing all requested waivers and/or modifications of the Regulations.

  
\_\_\_\_\_  
Applicant Signature

12/15/20  
\_\_\_\_\_  
Date

Glenn McCrory  
\_\_\_\_\_  
Printed Name

# PROJECT TEAM FORM

Submittal Date: \_\_\_\_\_

The Project Team Form is to be submitted with each stage of review. If no changes to the Project Team have occurred since the last stage of review, a copy of the previously submitted Form may be submitted with an updated Submittal Date.

**ATTORNEY** *This entity should be copied on all project correspondence*  YES  NO

Name: James M. Callaghan, Esq.

Name of Primary Contact (if attorney is an organization): James M. Callaghan

Address: Callaghan & Callaghan, 3 Brown Street, Wickford, RI 02852

Phone: (401) 294-4555 Email: james@callaghanlawri.com

**ENGINEER** *This entity should be copied on all project correspondence*  YES  NO

Name: \_\_\_\_\_

Name of Primary Contact (if engineer is an organization): \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_ Email: \_\_\_\_\_

**SURVEYOR** *This entity should be copied on all project correspondence*  YES  NO

Name: \_\_\_\_\_

Name of Primary Contact (if surveyor is an organization): \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_ Email: \_\_\_\_\_

**LANDSCAPE ARCHITECT** *This entity should be copied on all project correspondence*  YES  NO

Name: \_\_\_\_\_

Name of Primary Contact (if landscape architect is an organization): \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_ Email: \_\_\_\_\_

**ARCHITECT** *This entity should be copied on all project correspondence*  YES  NO

Name: Cordsten Architecture

Name of Primary Contact (if architect is an organization): Spencer McCombe

Address: 42 West Main Road, Middletown, RI 02842

Phone: (401)619-4689 Email: spencer@cordtsendesign.com

**OTHER** *This entity should be copied on all project correspondence*  YES  NO

Name: Glenn McCrory

Role on Project: Owner

Name of Primary Contact (if entity is an organization): Glenn McCrory

Address: 200 Lavan Street, Unit 1, Warwick, RI 02888

Phone: (401) 529-3268 Email: gmc2300@gmail.com

**OWNER AUTHORIZATION FORM**

Submittal Date: \_\_\_\_\_

Owner Authorization Forms for each owner of the property being considered for subdivision/development is to be submitted with each stage of review. If no changes to the ownership have occurred since the last stage of review, a copy of the previously submitted Form may be submitted with an updated Submittal Date.

I, Glenn McCrory hereby certify that I am an/the owner of property designated as Plat 48-3, Lot 150, as shown on the Town of South Kingstown Tax Assessor Maps. I further certify that I am the owner of the development rights for this property.

I hereby authorize and am in agreement with the application, signed by Glenn McCrory (applicant), for subdivision or development for the subject property. Said application is to be submitted to the Planning Department of the Town of South Kingstown for review and decision by the Planning Board.

WITNESS its name this 15<sup>th</sup> day of December 2022  
BY: [Signature] Signature of Owner

STATE OF RHODE ISLAND  
County of Washington Kent

In Warwick, R.I. on the 15<sup>th</sup> day of December, before me personally appeared Glenn McCrory (name) to me known and known by me to the party executing the foregoing instrument and acknowledged said instrument, by him/her executed, to be his/her free act and deed, as individual (individual, corporation, trustee, partnership, non-profit, etc.).

[Signature]  
Notary Public

My Commission Expires: 01/13/25  
KASEY M. VVENZIO  
NOTARY PUBLIC  
STATE OF RHODE ISLAND  
COMMISSION EXPIRES

# Town of South Kingstown, Rhode Island

P. O. Box 31  
Wakefield, RI 02880-0031  
Tel. 401-789-9331  
Fax. 401-788-9792



## PLANNING DEPARTMENT

July 13, 2005

Daniel J. and Renee M. Driscoll  
36 Brown's Farm Drive  
Kingston, Rhode Island 02881

Witness: South Kingstown Town Clerk

Re: Driscoll Land Development Project, Motion of Approval and Recommendation to the Zoning Board of Review, a Proposed Eight-unit, Multi-household, Detached Structure Development (Three Existing Units) with Waivers Requested AP 48-3, Lot 150, Located at 507-509 High Street

Dear Daniel and Renee Driscoll:

At the meeting of the South Kingstown Planning Board held on Tuesday, July 12, 2005 the Board voted as follows:

**Motion 1:** "The South Kingstown Planning Board hereby grants conditional Preliminary Approval to the eight-unit, multi-household, detached structure development project as depicted on plans entitled: 'SITE PLAN Prepared for Dan Driscoll, for property located at 507-509 High Street in the Town of South Kingstown, Rhode Island, Map 48-3, Lot 150, CD Zoning District. Plans by Environmental Planning & Surveying, Inc., 52 Dugway Bridge Road, West Kingston, RI, dated 9/10/02 with revisions through 8/24/04; SCALE: 1" = 20"; also as depicted on the accompanying landscape plan prepared by Robert S. Stewart, Jr. and dated August 19, 2004.' This approval is based on the following Findings of Fact and Conditions of Approval:

### Findings of Fact

1. The land development project is consistent with the requirements of the Comprehensive Plan;
2. The land development project design conforms to the standards and provisions of the South Kingstown Zoning Ordinance;
3. As municipal sewers will be provided the project will not require relief from Article 5, Section 504.1 of the Zoning Ordinance, as amended;
4. There will be no significant negative environmental impacts from the proposed development as shown on the plans, with the required Conditions of Approval;
5. The land development project, as proposed, will not result in the creation of individual lots with such physical constraints to development that building on these lots according to pertinent regulations and building standards would be impracticable;
6. The proposed development has adequate and permanent physical access to a public street, namely High Street;
7. With the required Conditions of Approval the land development project will provide for adequate surface water runoff, for suitable building sites and for the preservation of natural, historical, or cultural features that contribute to the attractiveness of the community;

8. The design and location of building lots, utilities, drainage improvements, and other improvements in the land development project minimize flooding and soil erosion.

#### **Findings of Fact, Requested Waiver**

1. The applicant is requesting a waiver of the Subdivision and Land Development Regulations to allow for more than one principal residential structure on a lot. It is the finding of the Planning Board that the granting of this waiver meets the criteria outlined in Article VIII.D. of the Subdivision and Land Development Regulations and as such the grant of a waiver to allow this design to proceed is reasonable and within the general purposes and intent of the regulations and is in the best interests of good planning practice and design as evidenced by consistency with the Comprehensive Community Plan.
2. The applicant is also requesting a waiver of the Subdivision and Land Development Regulations to allow for less than the required rear transition yard setback. The subject property is zoned Commercial Downtown and the adjoining parcel to the rear of the subject property is zoned Residential Multi-Household. In situations where a commercial zoning district abuts a residential zoning district the commercial lot is required to provide a rear yard at least equal to the rear yard requirement in the adjoining residential zone for the purpose of providing an adequate buffer between incompatible uses. Since the subject application is proposing a use that is compatible with allowed uses in the adjoining zoning district the Planning Board finds that the granting of this waiver meets the criteria outlined in Article VIII.D. of the Subdivision and Land Development Regulations and as such the grant of a waiver to allow this design to proceed is reasonable and within the general purposes and intent of the regulations and is in the best interests of good planning practice and design as evidenced by consistency with the Comprehensive Community Plan.

#### **Conditions of Approval**

1. The use of the property shall be strictly limited to Use Code 12, Multi-Household Detached Structure, up to 12 units, Land Development Project;
2. This approval is for a total of eight units; three existing units and five new units;
3. The applicant shall secure a variance from the Zoning Board of Review to allow a second principal residential structure on the lot;
4. The applicant shall secure dimensional variances from the Zoning Board of Review to allow first floor residential garage use for the proposed new building;
5. Fair Share Development Fees for both open space and school facilities, as required in the Zoning Ordinance and as amended annually in the Capital Improvement Program shall be required for each of the five new dwelling units only;
6. Site development shall be in substantial compliance with the approved plans except as noted herein;
7. In accordance with Section 703 of the Zoning Ordinance, the Planning Board approves the use of a gravel parking lot surface;
8. The landscape buffer northeast of the proposed new structure shall be increased to twenty-feet in width;
9. Final landscape plans shall be submitted prior to the issuance of a building permit and shall be subject to the approval of the Administrative Officer;
10. The parking area shall not be illuminated. Project lighting shall be strictly limited to the use of residential wall mounted light fixtures located as shown on the approved plan. Light fixtures shall be shielded to prevent light from spreading above the horizontal plane; and
11. Electrical service for the new multi-household structure shall be installed underground."

Daniel J. and Renee M. Driscoll

3-

July 13, 2005

**Motion 2:** "The South Kingstown Planning Board recommends Zoning Board approval of the eight-unit, multi-household, detached structure development project as depicted on plans entitled; 'SITE PLAN Prepared for Dan Driscoll, for property located at 507-509 High Street in the Town of South Kingstown, Rhode Island, Map 48-3, Lot 150, CD Zoning District. Plans by Environmental Planning & Surveying, Inc., 52 Dugway Bridge Road, West Kingston, RI, dated 9/10/02 with revisions through 8/24/04; SCALE: 1" = 20'; also as depicted on the accompanying landscape plan prepared by Robert S. Stewart, Jr. and dated August 19, 2004.'

In making this recommendation, the Planning Board endorses the granting of Zoning variances to allow: 1.) a second principal residential structure on the lot; 2.) first floor residential use in a Commercial Downtown Zoning District; and 3.) less than required rear transition yard setback to the abutting RM zoned parcel. The Planning Board notes that transitional yard setback requirements are intended to provide adequate buffers between incompatible uses and that the subject application is proposing a use compatible with the zoning of an adjoining parcel. The Planning Board therefore finds that the granting of these variances will not alter the general character of the surrounding area or impair the intent or purpose of the Zoning Ordinance or the Comprehensive Plan of the Town of South Kingstown."

Respectfully,



Henry H. Meyer, Chair  
Planning Board

HHM: mft

cc: Environmental Planning and Surveying, Inc.  
John F. Kenyon, Esquire  
Building Official  
Director of Public Services  
Director of Finance  
Town Clerk

Witness: South Kingstown Town Clerk

Bk L1709 Pg 345 #30  
06-27-2019 @ 11:04a

*Abel J. Holberton*



## Town of South Kingstown, Rhode Island

### BUILDING AND ZONING DEPARTMENT

180 High Street  
Wakefield, RI 02879  
Tel (401) 789-9331 x1224  
Fax (401) 789-9792

### ZONING BOARD OF REVIEW

### NOTICE OF DECISION

June 27, 2019

At a meeting of the Zoning Board of Review held June 19, 2019, your petition was Granted for a Dimensional Variance under the Zoning Ordinance as follows: The applicant is seeking to construct a five (5) unit multi-family residential dwelling. The proposed structure will be separate from the existing three (3) unit residential structure. Relief is required for having more than one principal residential structure on a lot. Relief is required for locating dwelling units on the first floor in CD district. Relief is needed from the required rear yard setback when a commercial zone abuts a residential (RM) zone. Thirty feet is required. The proposed building will be 11.67' from the rear lot line. Relief of 18.33' is required. Lot size is 15,560 square feet. A Dimensional Variance is required per Zoning Ordinance Section 402 notes 4 & 9 (Notes to Dimensional Table), Section 501.1 (Supplementary Use Regulations) and Section 907 (Standards of Relief). Owner is Glenn McCrory & Gretel McCrory for premises located at 507-509 High Street, South Kingstown, RI, Assessor's Map 48-3, Lot 150 and is zoned CD (Commercial Downtown).

*The Decision of the Board is as follows:*

MR. BERNARDO made a motion that we approve the Petition of Glenn McCrory and Gretel McCrory of 200 Lavan Street in Warwick for a dimensional variance under the zoning ordinance as follows: The applicant is seeking to construct a five-unit multifamily dwelling, residential dwelling. The proposed structure will be separate from the existing three-unit residential structure. Relief is required for having more than one principal residential structure on the lot but we've already addressed that by the fact that the Planning Board had approved the project back in 2005, I believe, as a large land development project, and as such, it will be exempt from that requirement, so we don't need to address that. That decision has been vested. It's been recorded, and we're going to rely on that decision. However, relief is required for locating dwelling units on the first floor in a CD District, and relief is needed from the required rear yard setback when a commercial zone abuts a residential RM Zone. Thirty feet is required. The proposed building will be 11.67 feet from the rear lot line, therefore, relief of 18.33 feet is required. This is a lot of 15,560 square feet. A dimensional variance is required by Section 402 notes 4 and 9 and Section 907. The petitioner appeared by their counsel, Kara Scott, and presented information relative to the prior dealings of this project which was presented by Mr. Driscoll who presented it back in 2005 to the Planning Board, where findings of fact and conditions of approval were made and recorded, essentially, vesting the landowner now, Mr. McCrory, with the right to have the two residential structures on his lot. There were other conditions of approval that were stated in that letter of approval from the Planning Board, which we

would adopt to the extent they're consistent with what we're doing tonight. The petitioner spoke, himself, about the need to have the relief from the requirement that there is no dwelling units on the first floor in a CD District and explained there will not be any dwelling units on the first floor in the CD District for these structures; therefore, that issue will be rendered moot. The next relief that they sought was setback relief because of this zoning that they're in, they have to adopt the setback lines that the project abuts, which is kind of fortuitous, but in any event, they did explain with good reason why they need the relief and that had to do with the size and structure in order to accommodate the living upper dwelling sizes. The property's also constrained by wetlands. Testimony was that the property is also constrained by wetland, drainage, parking, and existing trash receptacles. The Board's satisfied that those are proper reasons to grant the relief, and the hardship from which this applicant seeks relief is due to the unique characteristics of the land, structure, and not to the general characteristics of the surrounding area. The hardship is not the result of any prior action of the applicant. Again, it does not result primarily from the desire of the applicant to realize greater financial gain. The granting of this variance will not alter the general character of the surrounding area or impair the intent or purpose of our Comprehensive Plan. It would appear, based on the testimony, that this is the least relief necessary. And, additionally, as to the dimensional variance, the applicant has proved that the hardship to be suffered by the owner absent granting relief would amount to more than a mere inconvenience. I would tie our approval into any of the maps, drawings, renderings, and conditions by the Planning Board as they would be relevant to our decision tonight.

MR. JURCZAK: Can I just ask one question, Mr. Bernardo? Were we not granting any relief with regard to the garage thing? You're saying it's moot?

MR. BERNARDO: No. I guess, factually, I thought it was moot because they're not going to have any dwellings on the first floor. Am I right about that?

MR. CAGNETTA: Technically not living space but it is part of the dwelling.

MR. JURCZAK: So we should -

MR. BERNARDO: We are going to grant that. I'm going to strike the sentence relating to the fact it is moot, and we are granting the relief based on the testimony of the applicant through counsel.

MR. JURCZAK: Terrific. Motion made by Mr. Bernardo. Will someone second?

MR. CAGNETTA seconded the motion.

MR. JURCZAK: Second by Mr. Cagnetta. Discussion? Gentlemen? Anyone have any problems with this?

MR. CAGNETTA: None.

MR. JURCZAK: Let's vote. Okay.

**Whereupon a Vote was Taken: Bernardo-Aye, Cagnetta-Aye, Daniels-Aye, Mark-Aye, Jurczak-Aye  
Motion Passed Unanimously, Petition Granted 5-0**

Wayne Pimental, Clerk  
Zoning Board of Review  
Town of South Kingstown

*For expiration of Variances and Special Use Permits, please refer to  
Section 910 of the Town of South Kingstown Zoning Ordinance*



RECORDED 02/23/2022 01:39:13 PM  
 B/P:1822/Pgs 96 - 97; (2 pgs)  
 INST# 20903  
 TOWN OF SOUTH KINGSTOWN, RI



## Town of South Kingstown, Rhode Island

**BUILDING AND ZONING DEPARTMENT**  
 180 High Street  
 Wakefield, RI 02879  
 Tel (401) 789-9331 x1225

February 23, 2021

### NOTICE OF DECISION SOUTH KINGSTOWN ZONING BOARD OF REVIEW

The following motion, made by Mr. Cagnetta and duly seconded by Mr. Rosen  
 Motion passed unanimously: Vote 5-0  
 (R. Cagnetta-Aye, W. Rosen-Aye, T. Daniels-Aye, C. Charkowick-Aye, R. Brown-Aye)

At a meeting held on February 16, 2022 regarding the Petition of Glenn and Gretel McCrory, 200 Lavan Street, Unit 1, Warwick, RI 02888 for a Dimensional Variance under the Zoning Ordinance as follows: The applicant is seeking to construct a five (5) unit multi-family residential dwelling. The proposed structure will be separate from the existing three (3) unit residential structure. Relief is required for establishing more than one principal residential structure on a lot. Relief is required for locating dwelling units on the first floor in the CD district. The proposed structure will be located 11.67' from the rear property line. The required rear yard setback is 30'. Relief of 18.33' is requested. The Zoning Board previously granted the requested relief on June 19, 2019, but the approval has since expired. Lot size is .36 acres. A Dimensional Variance is required per Zoning Ordinance Section 402 Notes 4 & 9 (Notes to Dimensional Table), Section 501.1 (Supplementary Use Regulations) and Section 907 (Standards of Relief). Owner of the property is Glenn & Gretel McCrory for premises located at 507-509 High Street, South Kingstown, Assessor's Map 48-3, Lot 150 and is zoned CN (Commercial Neighborhood).

The following individuals spoke as representatives of the applicant:

- Attorney James Callaghan
- Glenn McCrory, applicant

The following spoke in regard to the petition:

- Lisa and Joel Hollenbeck, Church Street

The following materials were entered into the record:

- Application signed and dated January 13, 2022; Owner Authorization signed and notarized January 14, 2022; Site Plan (1 page) prepared by Environmental Planning & Surveying, Inc. and stamped by Wesley Grant III, PE, Site Plan dated September 10, 2002 with multiple revisions; previous Zoning application (3 pages) received June 13, 2008; Elevation and Floor Plan (2 pages); Drawing List (cover, A0.1, A1.0, A1.1, A2.0, A3.0, A4.0, A5.0) prepared by Cordtsen Design Architecture dated November 19, 2021; Insignificant Alteration Permit (4 pages) from RI DEM dated February 22, 2021
- Zoning Decisions
  - Granted June 19, 2019 and recorded June 27, 2019 Land Evidence Book L1709 Page 345-346
  - Granted August 27, 2008 and recorded October 14, 2008 Land Evidence Book L1332 Page 713
- 200' Radius Map and Abutter's List; Legal Notice; Proof of Certified Mailings and Notarized Affidavit of Mailing
- Notice of Recusal from Zoning Board Member and abutter, Susan Walsh

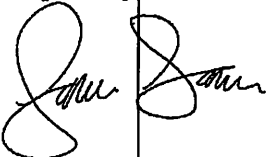
**Findings of Fact:**

1. The Board finds that the hardship from which the applicant seeks relief is due to the unique characteristics of the subject land or structure and not to the general characteristics of the surrounding area; and is not due to a physical or economic disability of the applicant, excepting those physical disabilities addressed in § 45-24-30(16), because the property is a very deep property with a lot of space to the rear. The addition of the 5-unit structure will not alter the appearance of the surrounding area and will in fact be a great benefit to the area by providing additional housing.
2. The Board finds that that the hardship is not the result of any prior action of the applicant and does not result primarily from the desire of the applicant to realize greater financial gain, because the applicant has put forth a significant investment in the purchase and development of this property and the proposed 5-unit structure will support the need for housing within the surrounding area.
3. The Board finds that the granting of the requested variance will not alter the general character of the surrounding area or impair the intent or purpose of the zoning ordinance or the comprehensive plan upon which the ordinance is based, because this proposal is helping to create more needed housing in the area as well as working towards improving the overall look of the lot.
4. The Board finds that the relief to be granted is the least relief necessary, because the applicant has demonstrated that there will be adequate parking on site to accommodate all the units and that the lot is deep enough to sustain the additional building without impeding the surrounding area. Additionally, the applicant has gone before RI DEM and obtained an Insignificant Alteration Permit and will meet all the requirements set forth.
5. The Board finds that that the hardship suffered by the owner of the subject property if the dimensional variance is not granted amounts to more than a mere inconvenience, because this is a fairly large, under-utilized lot and the proposed application will fit well within the surrounding community while also addressing housing needs.

**Approval is conditional subject to the following conditions:**

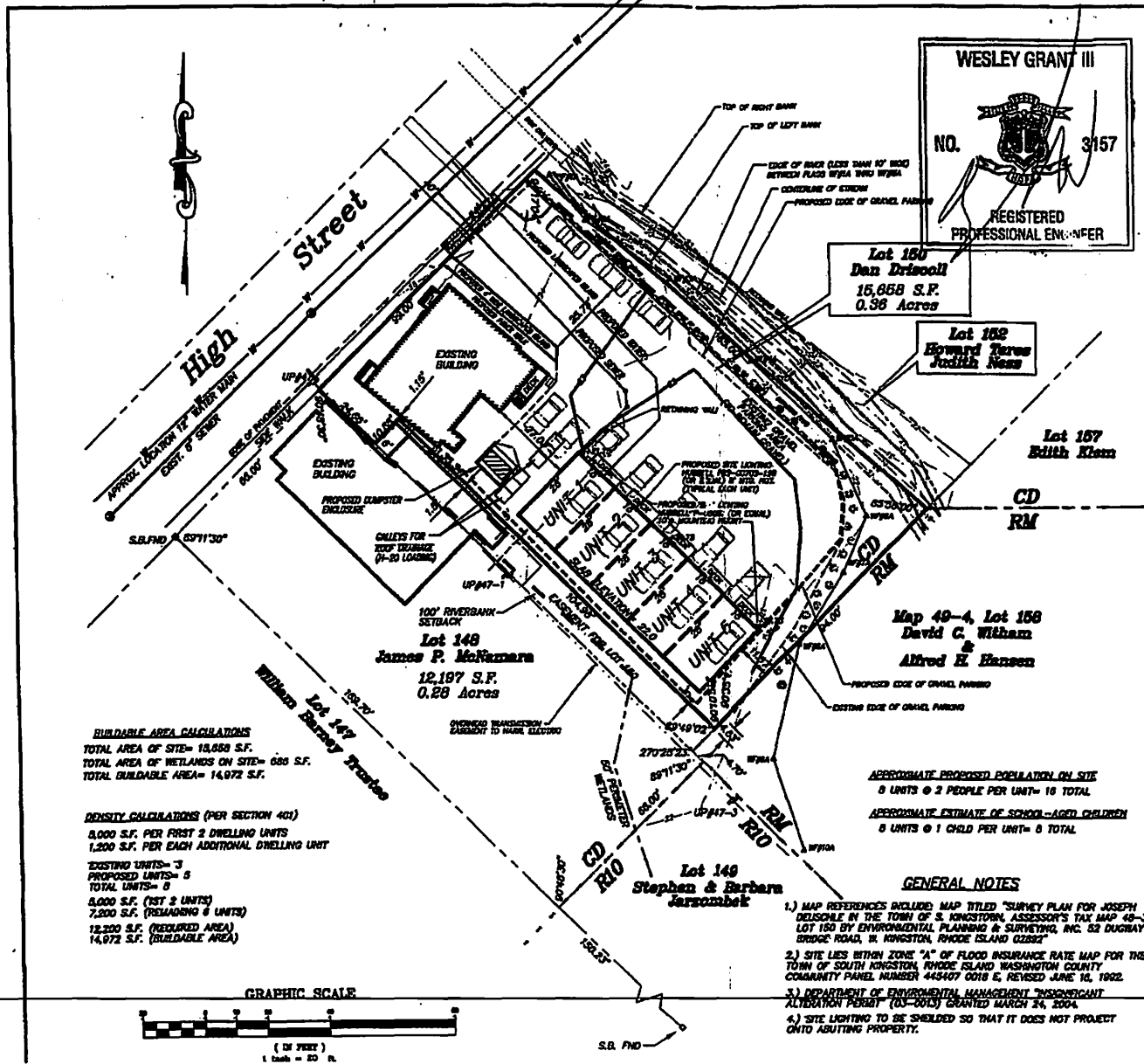
- The applicant must meet the (21) conditions set forth in the RI DEM Insignificant Alteration Permit dated February 22, 2021.

Respectfully,



James Gorman,  
Building Official & Zoning Clerk  
Town of South Kingstown





**WESLEY GRANT III**

NO. 3157

REGISTERED  
PROFESSIONAL ENGINEER

**Legend**

EXLAS DISTANCE IN FEET  
SB □ EXISTING SOUND  
RWB □ EXISTING SOUND  
OH ⊙ DRILL HOLE  
IP ⊙ IRON PIN  
UTL ⊙ UTILITY POLE

CD ZONING DISTRICT LINE  
RM ZONING DISTRICT LINE  
100' RIVERBANK SETBACK  
50' PERIMETER WETLANDS

**Site Plan**

Prepared For:  
**Dan Driscoll**  
36 Brown's Farm Drive,  
Kingston, R.I. 02881

For Property Located at:  
507-509 High Street  
In The Town of:  
South Kingstown, Rhode Island  
Map 48-3, Lot 150  
CD Zoning District

DESIGN BY	L.J.H.	DATE	8/19/02
DESIGNED BY	K.G.B.	CONSTRUCTION SUPERVISOR	
CHECKED BY	W.S.P.	REVISION	
NO.	DESCRIPTION	BY	
1	ADDED LANDSCAPE REFS	L.J.H.	
2	REVISED PER TOWN COMMENTS	L.J.H.	
3	ADDED DEM/WETLANDS INFO	L.J.H.	
4	ADDED DENSITY CALCULATIONS	L.J.H.	
5	ADDED WETLANDS CALCULATIONS	L.J.H.	
6	COMMENTS FROM S&L BOENSTEL	L.J.H.	

**Environmental Planning & Surveying, Inc.**  
Civil Engineering  
Surveying  
C & S Overlay

**McCRORY TOWNHOUSES  
SOUTH KINGSTOWN, RI  
April 6th, 2022**



**DRAWING LIST**

**ARCHITECTURAL DRAWINGS**

- A0.1 SPECIFICATIONS**
- A0.2 CODE REVIEW**
- A1.0 FLOOR PLANS & WALL DETAILS**
- A1.1 FLOOR PLANS**
- A2.0 EXTERIOR ELEVATIONS**
- A2.1 EXTERIOR ELEVATIONS & WINDOW DETAILS**
- A3.0 SECTIONS & DETAILS**
- A3.1 SECTIONS & DETAILS**
- A4.0 LIGHTING PLANS**
- A5.0 LIGHTING PLANS, INTERIOR ELEVATIONS & SCHEDULES**

**STRUCTURAL DRAWINGS**

- S0.0 FOUNDATION PLAN**
- S0.1 FOUNDATION DETAILS**
- S1.0 FIRST FLOOR FRAMING PLANS**
- S2.0 SECOND FLOOR FRAMING PLAN**
- S3.0 ROOF FRAMING PLAN**
- S4.0 GARAGE LEVEL SHEARWALLS**
- S4.1 FIRST FLOOR SHEARWALLS**
- S4.2 SECOND FLOOR SHEARWALLS**

**CIVIL DRAWINGS**

- 1.0 PROPOSED SITE PLAN**
- 2.0 PROPOSED SITE PLAN**
- 3.0 PROPOSED SITE PLAN**
- 4.0 FLOOD ELEVATION PLAN**
- 5.0 WATERSHED MAPS**

**CORDTSEN  
DESIGN  
ARCHITECTURE**

42 West Main Road  
Middletown, RI 02842  
CordtsenDesign.com  
401.619.4689



**PERMIT SET**



**CODE INFORMATION**

**CODE REFERENCES**

SBC-2 RHODE ISLAND ONE AND TWO FAMILY DWELLING CODE 2021

**PROJECT INFORMATION**

NEW CONSTRUCTION OF A THREE STORY 2,240 SF FOOTPRINT BUILDING CONTAINING 5 TWO BEDROOM TOWNHOUSES WITH SLAB ON GRADE BELOW.

**01 TOWNHOUSES GOVERNED BY RISBC-2 2019**

RISBC-2 2021: R101.2  
THE PROVISIONS OF THIS CODE SHALL APPLY TO THE CONSTRUCTION...USE AND OCCUPANCY AND LOCATION OF DETACHED ONE- AND TWO-FAMILY DWELLINGS AND MULTIPLE SINGLE-FAMILY DWELLINGS (TOWNHOUSES) NOT MORE THAN THREE STORIES IN HEIGHT WITH A SEPARATE MEANS OF EGRESS, AND THEIR ACCESSORY STRUCTURES.

RISBC-2-2021: R202 DEFINITIONS  
TOWNHOUSE: A SINGLE-FAMILY DWELLING UNIT CONSTRUCTED IN A GROUP OF THREE OR MORE ATTACHED UNITS IN WHICH EACH UNIT EXTENDS FROM FOUNDATION TO ROOF AND WITH A YARD OR PUBLIC WAY ON NOT LESS THAN TWO SIDES.

**FIRE RATINGS**

**02 SPRINKLERS NOT REQUIRED**

**03 2 HOUR FIRE-RESISTANCE-RATED WALL REQUIRED BETWEEN TOWNHOUSES**

RISBC-2 2021: R302.2 TOWNHOUSES  
WALLS SEPARATING TOWNHOUSE UNITS SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION R302.2.1 OR R302.2.2.

EXCEPTION: A COMMON TWO (2) HOUR FIRE-RESISTANCE-RATED WALL ASSEMBLY TESTED IN ACCORDANCE WITH ASTM E 119 OR UL 263 IS PERMITTED FOR TOWNHOUSES IF SUCH WALLS DO NOT CONTAIN PLUMBING OR MECHANICAL EQUIPMENT, DUCTS OR VENTS IN THE CAVITY OF THE COMMON WALL. THE WALL SHALL BE RATED FOR FIRE EXPOSURE FROM BOTH SIDES AND SHALL EXTEND TO AND BE TIGHT AGAINST EXTERIOR WALLS AND THE UNDERSIDE OF THE ROOF SHEATHING. ELECTRICAL INSTALLATIONS SHALL BE INSTALLED IN ACCORDANCE WITH RHODE ISLAND ELECTRICAL CODE SBC-5-2021 (PART 5 OF THIS SUBCHAPTER).

RISBC-2 2021: R302.2.3 CONTINUITY  
THE FIRE-RESISTANCE-RATED WALL OR ASSEMBLY SEPARATING TOWNHOUSES SHALL BE CONTINUOUS FROM THE FOUNDATION TO THE UNDERSIDE OF THE ROOF SHEATHING, DECK OR SLAB.

RISBC-2 2021: R302.2.4 PARAPETS FOR TOWNHOUSES  
EXCEPTION: A PARAPET IS NOT REQUIRED IN THE PRECEDING TWO CASES WHERE THE ROOF COVERING COMPLIES WITH A MINIMUM CLASS C RATING AS TESTED IN ACCORDANCE WITH ASTM E108 OR UL 790 AND THE ROOF DECKING OR SHEATHING IS OF NONCOMBUSTIBLE MATERIALS OR FIRE-RETARDANT-TREATED WOOD FOR A DISTANCE OF 4 FEET (1219 MM) ON EACH SIDE OF THE WALL OR WALLS, OR ONE LAYER OF 5/8-INCH (15.9 MM) TYPE X GYPSUM BOARD IS INSTALLED DIRECTLY BENEATH THE ROOF DECKING OR SHEATHING, SUPPORTED BY NOT LESS THAN NOMINAL 2-INCH (51 MM) LEDGERS ATTACHED TO THE SIDES OF THE ROOF FRAMING MEMBERS, FOR A DISTANCE OF NOT LESS THAN 4 FEET (1219 MM) ON EACH SIDE OF THE WALL OR WALLS AND ANY OPENINGS OR PENETRATIONS IN THE ROOF ARE NOT WITHIN 4 FEET (1219 MM) OF THE COMMON WALLS.

RISBC-2 2021: R302.4.1.1 FIRE-RESISTANCE-RATED ASSEMBLY PENETRATIONS SHALL BE INSTALLED AS TESTED IN THE APPROVED FIRE-RESISTANCE-RATED ASSEMBLY.

**04 GARAGES**

RISBC-2 2021: R302.6 DWELLING-GARAGE FIRE SEPARATION  
THE GARAGE SHALL BE SEPARATED AS REQUIRED BY TABLE R302.6. OPENINGS IN GARAGE WALLS SHALL COMPLY WITH SECTION R302.5. ATTACHMENT OF GYPSUM BOARD SHALL COMPLY WITH TABLE R302.5. THE WALL SEPARATION PROVISIONS OF TABLE R302.6 SHALL NOT APPLY TO GARAGE WALLS THAT ARE PERPENDICULAR TO THE ADJACENT DWELLING UNIT WALL.

RISBC-2 2021: TABLE R302.6 DWELLING - GARAGE SEPARATION  
FROM THE RESIDENCE AND ATTICS:  
NOT LESS THAN 1/2-INCH GYPSUM BOARD OR EQUIVALENT APPLIED TO THE GARAGE SIDE

FROM HABITABLE ROOMS ABOVE THE GARAGE:  
NOT LESS THAN 5/8-INCH TYPE X GYPSUM BOARD OR EQUIVALENT

**SOUND TRANSMISSION**

**05 REQUIRED STC RATING OF 45**

RISBC-2 2021: APPENDIX K - AK102.1 GENERAL  
AIRBORNE SOUND INSULATION FOR WALL AND FLOOR-CEILING ASSEMBLIES SHALL MEET A SOUND TRANSMISSION CLASS (STC) RATING OF 45 WHEN TESTED IN ACCORDANCE WITH ASTM E50. PENETRATIONS OR OPENINGS IN CONSTRUCTION ASSEMBLIES FOR PIPING; ELECTRICAL DEVICES; RECESSED CABINETS; BATHTUBS; SOFFITS; OR HEATING, VENTILATING OR EXHAUST DUCTS SHALL BE SEALED, LINED, INSULATED OR OTHERWISE TREATED TO MAINTAIN THE REQUIRED RATINGS.

**WINDOWS**

**06 EMERGENCY ESCAPE AND RESCUE OPENINGS SIZES**

RISBC-2 2021: R310.2 R310.2.1 MINIMUM OPENING AREA  
EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A NET CLEAR OPENING OF NOT LESS THAN 5.7 SQUARE FEET (0.530 M2). THE NET CLEAR OPENING DIMENSIONS REQUIRED BY THIS SECTION SHALL BE OBTAINED BY THE NORMAL OPERATION OF THE EMERGENCY ESCAPE AND RESCUE OPENING FROM THE INSIDE. THE NET CLEAR HEIGHT OF THE OPENING SHALL BE NOT LESS THAN 24 INCHES (610 MM) & THE NET CLEAR WIDTH SHALL BE NOT LESS THAN 20 INCHES (508 MM).

**07 IMPACT GLAZING NOT REQUIRED**

RISBC-2 2021: R609.6 WINDBORNE DEBRIS PROTECTION  
PROTECTION OF EXTERIOR WINDOWS, GLASS DOORS AND DOORS WITH GLASS IN BUILDINGS LOCATED IN WINDBORNE DEBRIS REGIONS SHALL BE IN ACCORDANCE WITH SECTION R301.2.1.2.

NOT REQUIRED, SITE SITS 1.4 MILES FROM OCEAN AND OUTSIDE WINDZONE #3

**STAIRS**

**08 WIDTH: RISBC-2 2021: R311.7.1**

STAIRWAYS SHALL BE NOT LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT AND BELOW THE REQUIRED HEADROOM HEIGHT. THE CLEAR WIDTH OF STAIRWAYS AT AND BELOW THE HANDRAIL HEIGHT, INCLUDING TREADS AND LANDINGS, SHALL BE NOT LESS THAN 31 1/2 INCHES WHERE A HANDRAIL IS INSTALLED ON ONE SIDE

**09 HEADROOM: RISBC-2 2021: R311.7.2**

THE HEADROOM IN STAIRWAYS SHALL BE NOT LESS THAN 6 FEET 8 INCHES MEASURED VERTICALLY FROM THE SLOPED LINE ADJOINING THE TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING OR PLATFORM ON THAT PORTION OF THE STAIRWAY.

**10 VERTICAL RISE: RISBC-2 2021: R311.7.3**

A FLIGHT OF STAIRS SHALL NOT HAVE A VERTICAL RISE LARGER THAN 151 INCHES BETWEEN FLOOR LEVELS OR LANDINGS.

**11 RISER HEIGHT: RISBC-2 2021: R311.7.5.1**

THE MAXIMUM RISER HEIGHT SHALL BE EIGHT AND ONE QUARTER INCHES (8 1/4"). THE RISER SHALL BE MEASURED VERTICALLY BETWEEN LEADING EDGES OF THE ADJACENT TREADS. THE GREATEST RISER HEIGHT WITHIN ANY FLIGHTS OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN THREE EIGHTHS OF ONE INCH (3/8")

**12 TREAD DEPTH: RISBC-2 2021: R311.7.5.2**

THE MINIMUM TREAD DEPTH SHALL BE NINE INCHES (9"). THE TREAD DEPTH SHALL BE MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AND AT A RIGHT ANGLE TO THE TREAD'S LEADING EDGE. THE GREATEST TREAD DEPTH WITHIN ANY FLIGHTS OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN THREE EIGHTHS OF ONE INCH (3/8")

**13 HANDRAILS: RISBC-2 2021: R311.7.8**

HANDRAILS SHALL BE PROVIDED ON NOT LESS THAN ONE SIDE OF EACH FLIGHT OF STAIRS WITH FOUR OR MORE RISERS.

**14 HANDRAIL HEIGHT: RISBC-2 2021: R311.7.8.1**

HANDRAIL HEIGHT, MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING, OR FINISH SURFACE OF RAMP SLOPE, SHALL BE NOT LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES.

**STAIRS CONTINUED**

**15 HANDRAIL GRIP SIZE: RISBC-2 2021: R311.7.1**

REQUIRED HANDRAILS SHALL BE OF ONE OF THE FOLLOWING TYPES OR PROVIDE EQUIVALENT GRASPABILITY.

TYPE I.  
HANDRAILS WITH A CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIAMETER OF NOT LESS THAN 1 1/4 INCHES AND NOT GREATER THAN 2 INCHES. IF THE HANDRAIL IS NOT CIRCULAR, IT SHALL HAVE A PERIMETER OF NOT LESS THAN 4 INCHES AND NOT GREATER THAN 6 1/4 INCHES AND A CROSS SECTION OF NOT MORE THAN 2 1/4 INCHES. EDGES SHALL HAVE A RADIUS OF NOT LESS THAN 0.01 INCH.

TYPE II.  
HANDRAILS WITH A PERIMETER GREATER THAN 6 1/4 INCHES SHALL HAVE A GRASPABLE FINGER RECESS AREA ON BOTH SIDES OF THE PROFILE. THE FINGER RECESS SHALL BEGIN WITHIN 3/4 INCH MEASURED VERTICALLY FROM THE TALLEST PORTION OF THE PROFILE AND HAVE A DEPTH OF NOT LESS THAN 5/16 INCH WITHIN 7/8 INCH BELOW THE WIDEST PORTION OF THE PROFILE. THIS REQUIRED DEPTH SHALL CONTINUE FOR NOT LESS THAN 3/8 INCH TO A LEVEL THAT IS NOT LESS THAN 1 3/4 INCHES BELOW THE TALLEST PORTION OF THE PROFILE. THE WIDTH OF THE HANDRAIL ABOVE THE RECESS SHALL BE NOT LESS THAN 1 1/4 INCHES AND NOT MORE THAN 2 3/4 INCHES. EDGES SHALL HAVE A RADIUS OF NOT LESS THAN 0.01 INCH.

**16 GUARDS: RISBC-2 2021: R312.1**

RISBC-2 2021: R312.1.1 WHERE REQUIRED  
GUARDS SHALL BE PROVIDED FOR THOSE PORTIONS OF OPEN-SIDED WALKING SURFACES, INCLUDING STAIRS, RAMPS AND LANDINGS, THAT ARE LOCATED MORE THAN 30 INCHES MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY TO THE EDGE OF THE OPEN SIDE.

RISBC-2 2021: R312.1.2 HEIGHT  
REQUIRED GUARDS AT OPEN-SIDED WALKING SURFACES, INCLUDING STAIRS, PORCHES, BALCONIES OR LANDINGS, SHALL BE NOT LESS THAN 36 INCHES IN HEIGHT AS MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE OR THE LINE CONNECTING THE NOSINGS.

**ATTIC (ROOF) ACCESS**

**17 RISBC-2 2021: R807.1 ATTIC ACCESS (MINIMUM OF A 22" x 30" OPENING)**

BUILDINGS WITH COMBUSTIBLE CEILING OR ROOF CONSTRUCTION SHALL HAVE AN ATTIC ACCESS OPENING TO ATTIC AREAS THAT HAVE A VERTICAL HEIGHT OF 30 INCHES OR GREATER OVER AN AREA OF NOT LESS THAN 30 SQUARE FEET. THE VERTICAL HEIGHT SHALL BE MEASURED FROM THE TOP OF THE CEILING FRAMING MEMBERS TO THE UNDERSIDE OF THE ROOF FRAMING MEMBERS.

THE ROUGH-FRAMED OPENING SHALL BE NOT LESS THAN 22 INCHES BY 30 INCHES AND SHALL BE LOCATED IN A HALLWAY OR CLOSET OR OTHER LOCATION WITH READY ACCESS. WHERE LOCATED IN A WALL, THE OPENING SHALL BE NOT LESS THAN 22 INCHES WIDE BY 30 INCHES HIGH. WHERE THE ACCESS IS LOCATED IN A CEILING, MINIMUM UNOBSTRUCTED HEADROOM IN THE ATTIC SPACE SHALL BE 30 INCHES AT SOME POINT ABOVE THE ACCESS MEASURED VERTICALLY FROM THE BOTTOM OF CEILING FRAMING MEMBERS. SEE SECTION M1305.1.3 FOR ACCESS REQUIREMENTS WHERE MECHANICAL EQUIPMENT IS LOCATED IN ATTICS.



CONSULTING DESIGN ARCHITECTURE ENGINEERING & CONSTRUCTION, INC. 200 WEST 10TH AVENUE SUITE 200 DENVER, CO 80202



PERMIT SET

REVISION:

DESCRIPTION: SPECIFICATIONS SCALE: As Noted DATE: April 6th, 2022

MCCRORY TOWNHOUSES 507-509 High Street South Kingstown, Rhode Island

A0.2

**2. FIRE PROTECTIVE LABELING**

- ① HEAT DETECTOR
- ② SMOKE DETECTOR
- ③ SMOKE CARBON MONOXIDE DETECTOR

**3. FLOOD VENT NOTES**

1. 4" x 8" FLOOD VENT BY SHURT-WALL VENT, ISOLATED MODEL, #160, 370 FOR HD FINISHING
2. COLOR FOR EXTERIOR VENTS TO BE AS PER BROWNE COAT
3. INSTALL AS PER MANUFACTURER'S INSTRUCTIONS
4. EACH SHURT-WALL VENT IS RATED FOR 200 SF OF FLOOR SPACE
5. BOTTOM OF VENT SHALL BE LOCATED A MAXIMUM OF 12" FROM THE HIGHER OF THE FINISH INTERIOR FLOOR AND EXTERIOR GRADE - MEASURED UNDER EACH OPENING
6. EACH ENCLOSED AREA SHALL HAVE A MINIMUM OF TWO OPENINGS. OPENINGS SHALL BE AT LEAST TWO WALLS OF EACH ENCLOSED AREA

**4. SOUTH EXPOSURE ZONES**

**ZONING DISTRICT:** CD (COMMERCIAL DOWNTOWN)  
**APPLICABLE:** MTH-HOUSEHOLD DEVELOPMENT PROJECT

**TYPE BARRIERS: REAR-YARD ENCLOSURE**

**TYPE BARRIERS: REAR-YARD ENCLOSURE**

- 6'-0" SIDE
- 6'-0" REAR

**TYPE BARRIERS: REAR-YARD ENCLOSURE**

- 12'-0" FRONT FROM EXISTING BUILDING AT STREET
- 6'-0" SIDE
- 6'-0" REAR

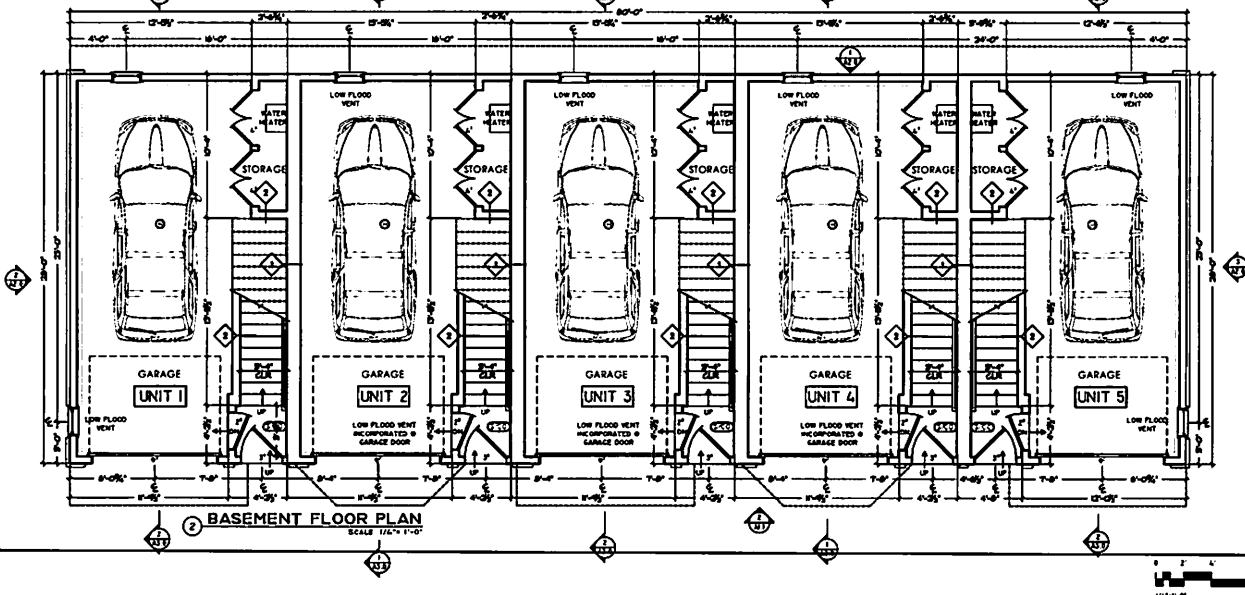
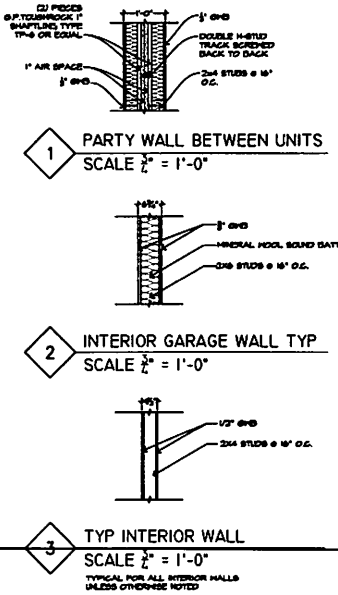
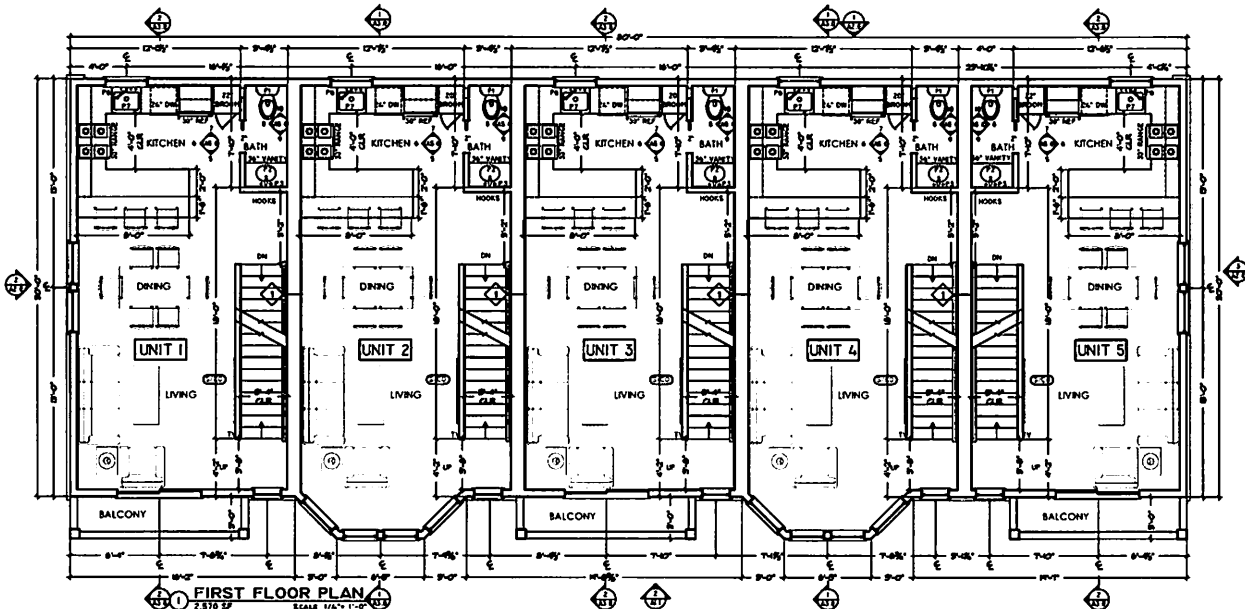
**BALCONY DEPTH: MAXIMUM ALLOWED: 10'-0" FT FROM AVERAGE ORIGINAL GRADE OR FOR ACCESSORY RECREATION PURPOSES: 10'-0"**

**BALCONY AREA: MAXIMUM ALLOWED: 500 SF PER UNIT (200 SF PER EACH ADDITIONAL UNIT)**

**LOT COVERAGE: ALLOWED: 50% OF 15,444 SF = 7,722 SF**

**LOT COVERAGE: EXCEEDED: 7,344 SF**

**SETBACKS: EXCEEDED: 10'-0" < 15'-0" FT**



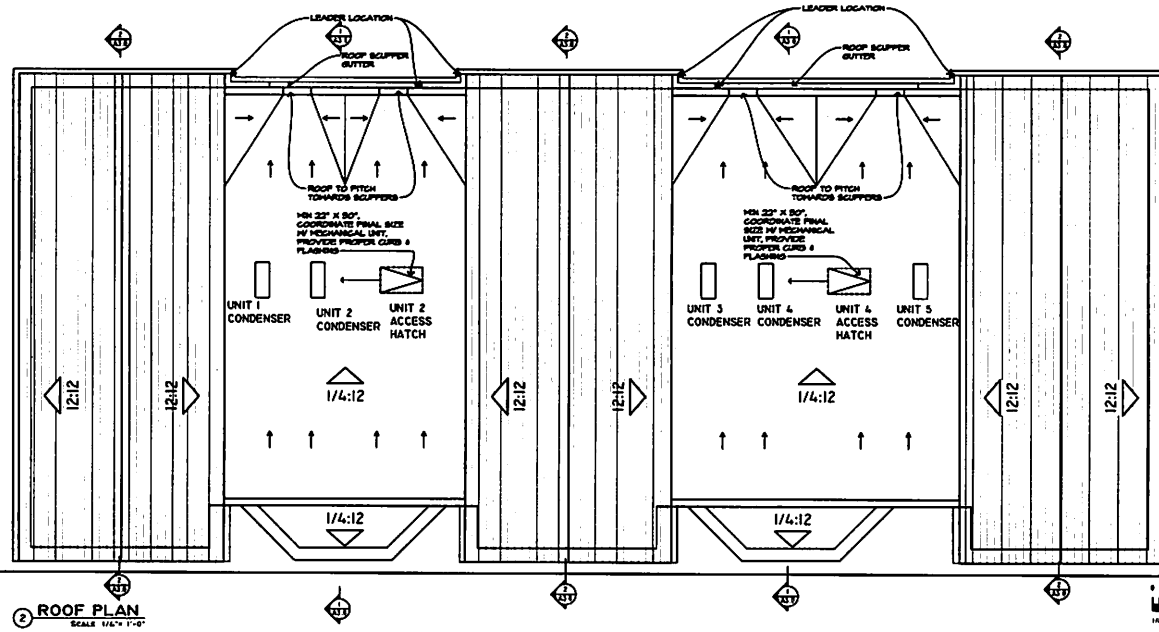
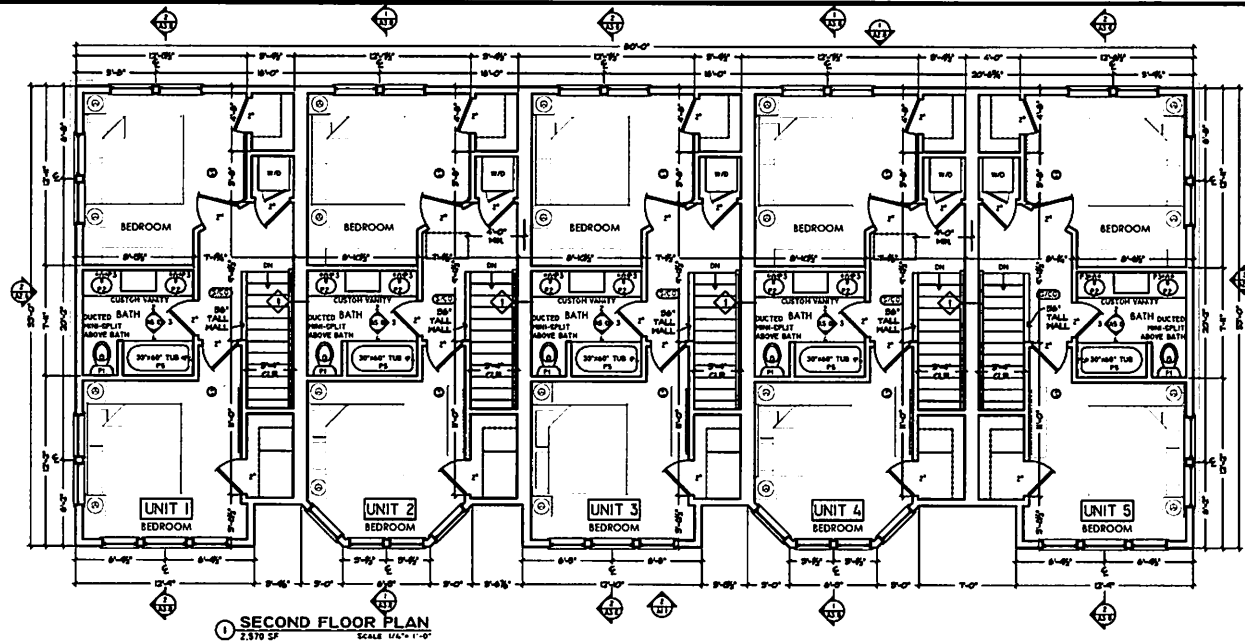
REVISIONS:  
**PERMIT SET**

DESCRIPTION: FLOOR PLANS & WALL DETAILS  
 SCALE: As Noted  
 DATE: April 4th, 2022

**MCCRORY TOWNHOUSES**  
 507-509 High Street  
 South Kingstown, Rhode Island

**A1.0**

- SYMBOLOGY LEGEND**
- ⊕ HEAT DETECTOR
  - ⊙ SMOKE DETECTOR
  - ⊗ SMOKE/CARBON MONOXIDE DETECTOR



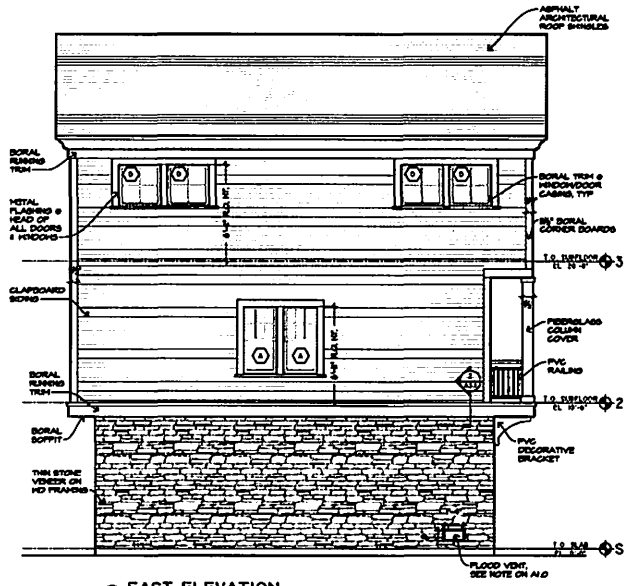
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SCALE: As Noted  
DATE: April 6th, 2022

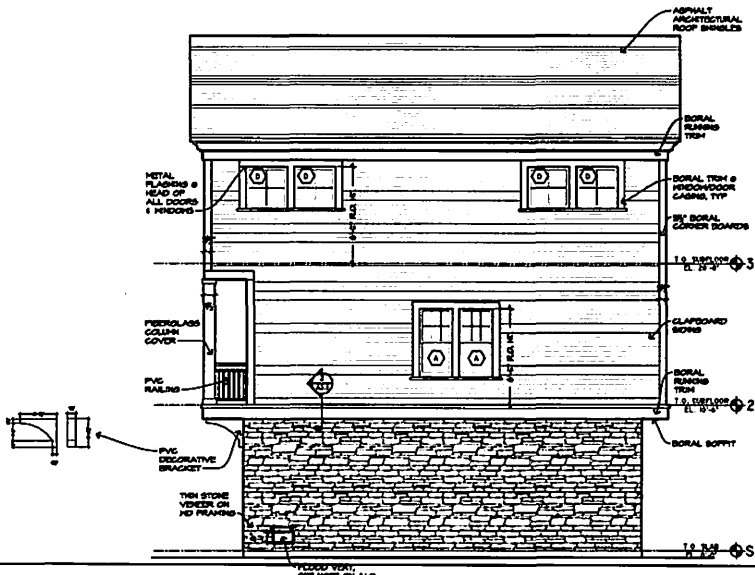
**MCCRORY TOWNHOUSES**  
507-509 High Street  
South Kingstown, Rhode Island

**A1.1**





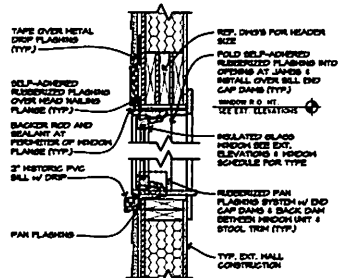
1 EAST ELEVATION  
SCALE 1/8" = 1'-0"



2 WEST ELEVATION  
SCALE 1/8" = 1'-0"

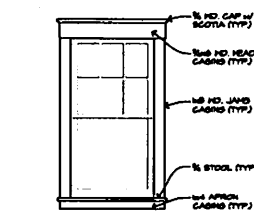
- EXTERIOR ELEVATION COLOR SCHEDULE**
1. WHITE BORAL TRIM, FIBERGLASS COLLARS, & PVC ELEMENTS
  2. CEDAR SHINGLES, CAPE COD GRAY
  3. CLAPBOARD, NAVY BLUE
  4. STONE VENEER, PRIMAL, GRAY

- NOTES**
1. ALL WINDOW DOORS TO HAVE MANTIN PATTERNS AS SHOWN ON ELEVATIONS REFER TO FLOOR PLANS TO CONFIRM WALL THICKNESS
  2. PROVIDE CUSTOM SIZE WINDOWS AS REQUIRED
  3. BEFORE INSTALLING EXT. DOORS & WINDOWS, INSTALL 1/2" STRIP OF ICE & WATER SHEET ON LEFT PLUMB SURROUNDING THE R.O. AS WELL AS ENTIRE ALL OF R.O. TO FORM A PAN.
  4. ALL WINDOW DOORS SHALL MEET & BE LABELED AS PER AIAA/CSA 01-127/8442.
  5. ALL SLATING SHALL MEET & BE LABELED AS PER STANDARDS.

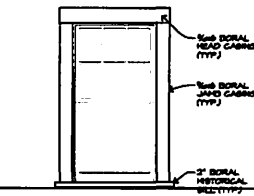


- INSTALLATION NOTES**
1. ALL WINDOWS AND DOORS TO HAVE TYPICAL BUTYRBUTYL MEMBRANE SILL FLASHING AND ALL WINDOWS & DOORS SHALL BE INSTALLED EXACTLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS
  2. WINDOW SILL FLASHING SHALL BE INSTALLED OVER A SLOPING SILL SIZE CEDAR CLAPBOARD SET ON THE ROUGH SILL TO PROVIDE POSITIVE DRAINAGE TO THE EXTERIOR
  3. PRE-FORMED WINDOW OR DOOR SILL PANS (I.E. MANTIN SILLBOARD OR EQUAL) MAY ALSO BE USED IN PLACE OF BUTYRBUTYL MEMBRANE FLASHING
  4. NEAR BOTH SIDES & TOP OF ALL WINDOW & DOOR ROUGH OPENINGS WITH A 1/4\"/>

3 WINDOW INSTALLATION DETAIL  
SCALE 1/4" = 1'-0"



4 TYP. INTERIOR WINDOW/ DOOR CASING  
SCALE 1/2" = 1'-0"



5 TYP. EXTERIOR WINDOW/ DOOR CASING  
SCALE 1/2" = 1'-0"

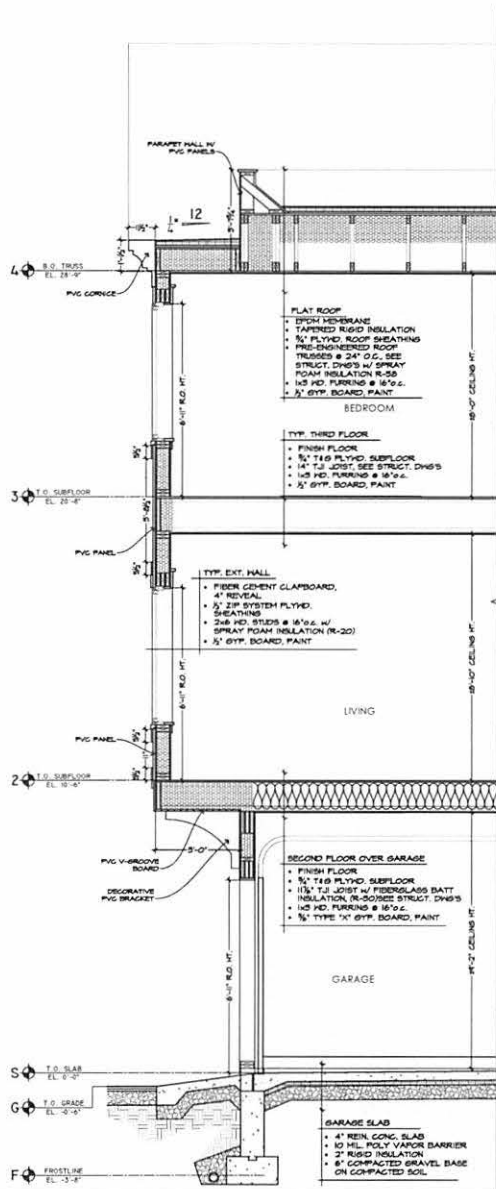


REVISIONS: PERMIT SET

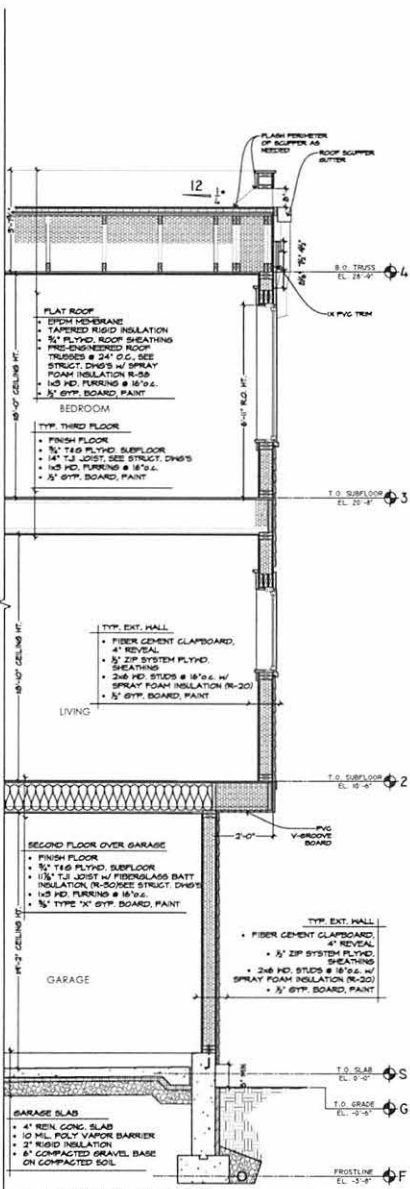
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SCALE: As Noted  
DATE: April 6th, 2022

MCCRORY TOWNHOUSES  
507-509 High Street  
South Kingstown, Rhode Island

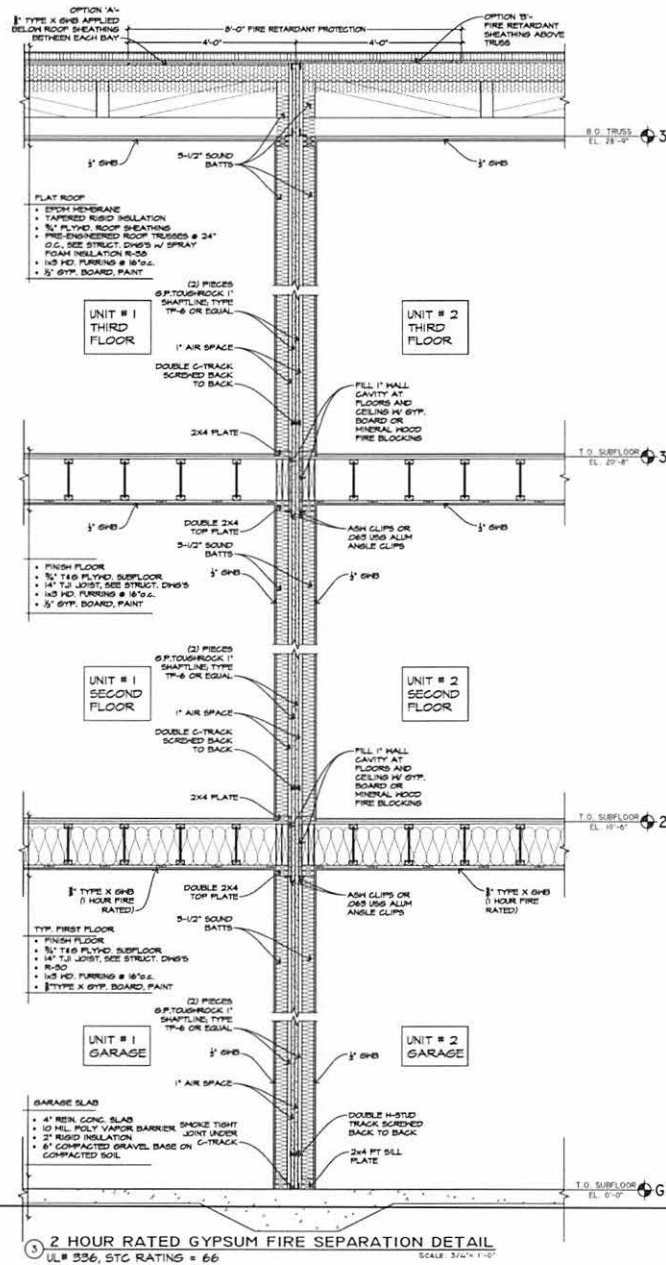
A2.1



1 BUILDING SECTION  
SCALE: 1/2" = 1'-0"



2 BUILDING SECTION  
SCALE: 1/2" = 1'-0"



3 2 HOUR RATED GYPSUM FIRE SEPARATION DETAIL  
UL# 536, STC RATING = 66  
SCALE: 3/4" = 1'-0"



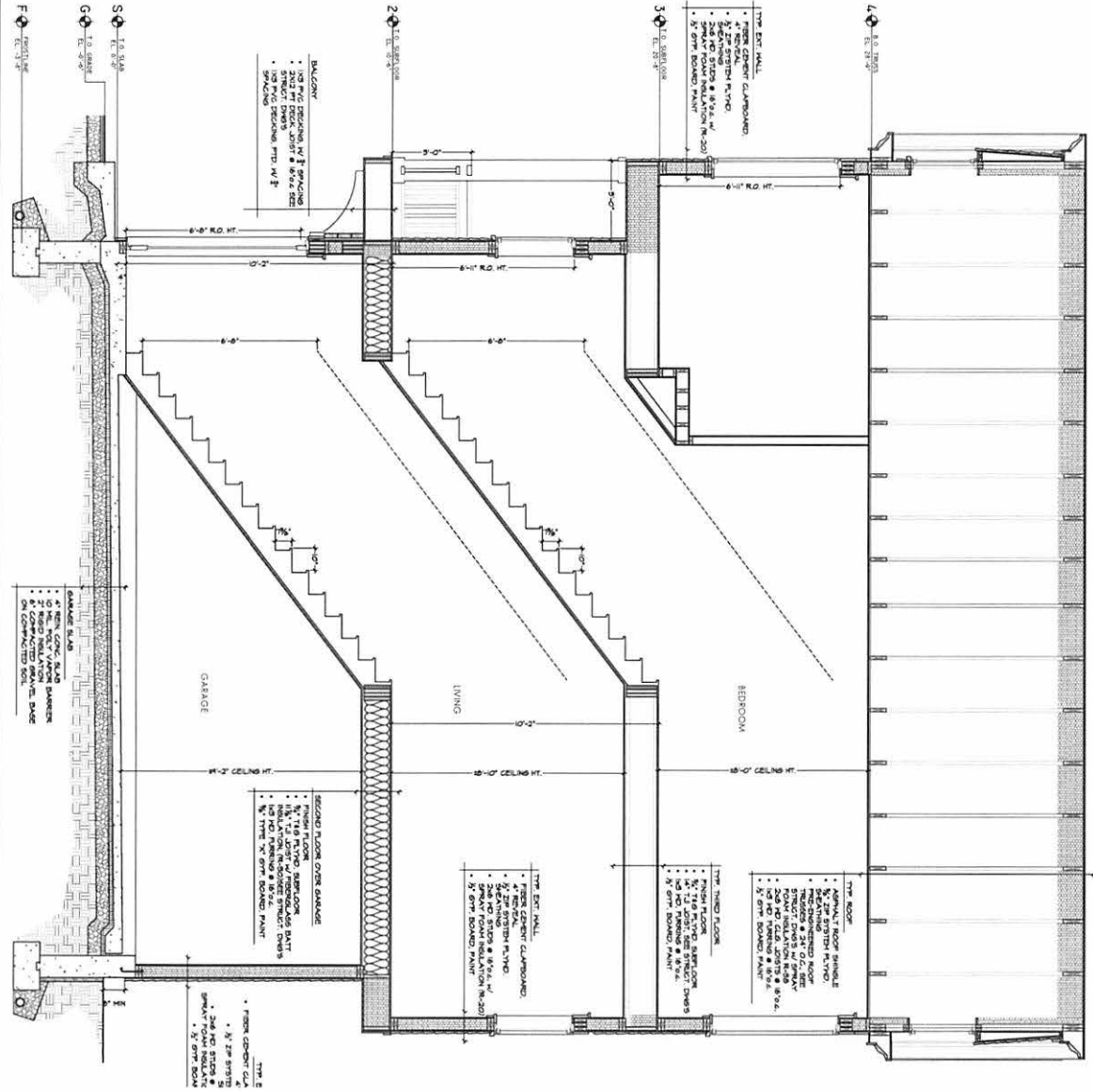
REVISIONS:  
PERMIT SET

DESCRIPTION:  
BUILDING SECTIONS  
SCALE: As Noted  
DATE: April 6th, 2022

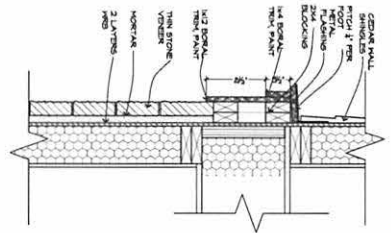
MCCRORY TOWNHOUSES  
507-509 High Street  
South Kingstown, Rhode Island

A3.0

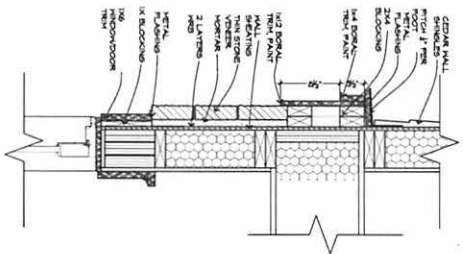
1 BUILDING SECTION  
SCALE: 1/8"=1'-0"






2 WATER TABLE DETAIL  
SCALE: 1/2"=1'-0"



3 MASONRY OPENING DETAIL  
SCALE: 1/2"=1'-0"



<h1 style="margin: 0;">A3.1</h1>	<h2 style="margin: 0;">McCRORY TOWNHOUSES</h2> <p style="margin: 0;">507-509 High Street South Kingstown, Rhode Island</p>	DESCRIPTION:	BUILDING SECTIONS	REVISIONS:			
		SCALE:	As Noted	PERMIT SET			
		DATE:	April 6th, 2022				



**LIGHTING LEGEND**

SYMBOL	DESCRIPTION	REMARKS
SW	SWITCH	
SW-1	GARAGE DOOR SWITCH	
DR	DUPLEX RECEPTACLE (D.R.)	
D.R. 6 F.I.	D.R. 6 F.I. ABOVE COUNTER	
D.R. 6 F.I. WATERPROOF	D.R. 6 F.I. WATERPROOF	
CR	CORRAL JACK OF DUPLEX RECEPTACLE	
TR	HEAT/COOL THERMOSTAT	
OP	GARAGE DOOR OPENER	
CL	1" REC. CARL LED	PROGRESS OR HALO WHITE
CC	1" REC. CARL W/ COVER LED	EXT / WATER RESISTANT
SM	SURFACE MOUNT WALL	OWNER TO PROVIDE
PL	PENDANT LIGHT	OWNER TO PROVIDE
UL	UNDER CABINET LINEAR LED	DIFFUSIBLE 2700K
SL	SURFACE MT. LED	24" STRIP JAMB SWITCH @ CLOSETS
EF	EXHAUST FAN	PANASONIC WHISPER VENT

**WINDOW SCHEDULE**

TAG	TYPE	DESIRED SIZE	FRAME (WxH)	R.O. (WxH)
A	DOUBLE HUNG	2'-0" x 4'-0"	2'-0 1/2" x 3'-4 1/2"	2'-0 1/2" x 3'-4 1/2"
B	DOUBLE HUNG	2'-0" x 4'-0"	2'-0 1/2" x 3'-4 1/2"	2'-0 1/2" x 3'-4 1/2"
C	CAZEMENT	2'-0" x 2'-0"	2'-0 1/2" x 2'-0 1/2"	2'-0 1/2" x 2'-0 1/2"
D	CAZEMENT	2'-0" x 3'-0"	2'-0 1/2" x 2'-0 1/2"	2'-0 1/2" x 3'-0"

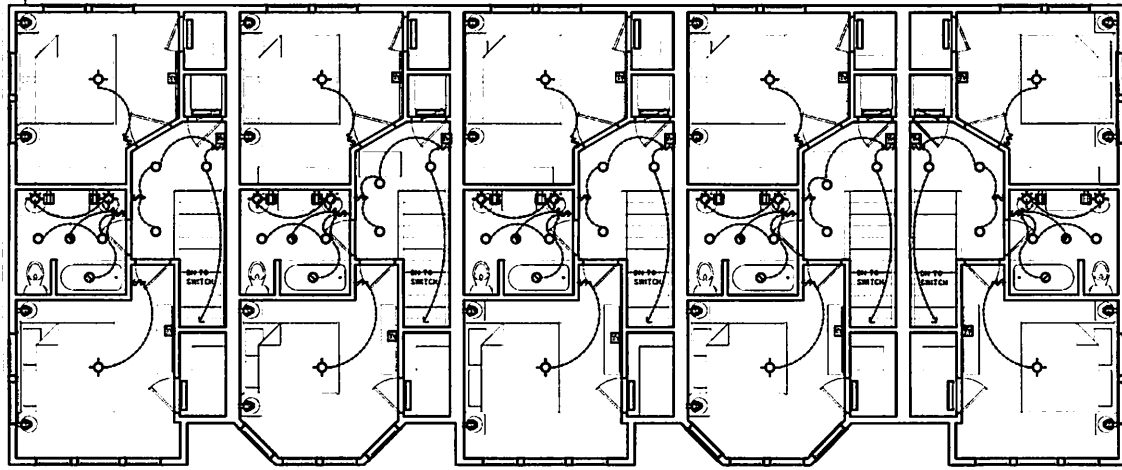
NOTE: FRAME & R.O. BASED ON ANDERSEN L&B SERIES

**DOOR SCHEDULE**

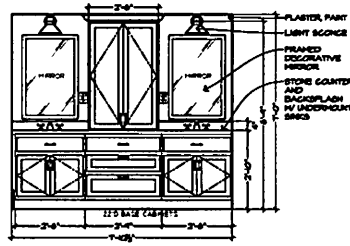
TAG	TYPE	FRAME (WxH)	R.O. (WxH)	MANUFACTURER
1	SINGLE SWEING	2'-0 1/2" x 6'-8 1/2"	2'-0" x 6'-8"	ANDERSEN L&B SERIES
2	DOUBLE SWEING	5'-0 1/2" x 8'-2 1/2"	5'-0" x 8'-2"	ANDERSEN L&B SERIES
3	OVERHEAD	8'-0" x 7'-0"	PER FRAME	FIBRAL DOOR

**ROOM FINISH SCHEDULE**

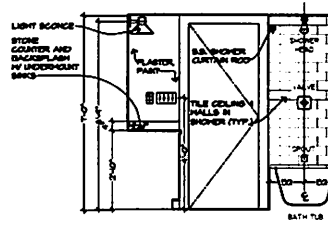
FL.	ROOM	NORTH WALL	EAST WALL	SOUTH WALL	WEST WALL	CEILING	FLOOR	BASE
2F	GARAGE	2" AC PLYND. PAINT	2" AC PLYND. PAINT	2" AC PLYND. PAINT	2" AC PLYND. PAINT	2" AC PLYND. PAINT	CONCRETE	N/A
2F	STORAGE	2" AC PLYND. PAINT	2" AC PLYND. PAINT	2" AC PLYND. PAINT	2" AC PLYND. PAINT	2" AC PLYND. PAINT	CONCRETE	N/A
2F	HALF BATH	6VP7 PAINT	6VP7 PAINT	6VP7 PAINT	6VP7 PAINT	6VP7 PAINT	CERAMIC TILE	WOOD/ PAINT
2F	KITCHEN	6VP7 PAINT	6VP7 PAINT	6VP7 PAINT	6VP7 PAINT	6VP7 PAINT	WOOD/ POLY	WOOD/ PAINT
2F	LIVING	6VP7 PAINT	6VP7 PAINT	6VP7 PAINT	6VP7 PAINT	6VP7 PAINT	WOOD/ POLY	WOOD/ PAINT
2F	DINING	6VP7 PAINT	6VP7 PAINT	6VP7 PAINT	6VP7 PAINT	6VP7 PAINT	WOOD/ POLY	WOOD/ PAINT
2F	STAIR	6VP7 PAINT	6VP7 PAINT	6VP7 PAINT	6VP7 PAINT	6VP7 PAINT	WOOD/ POLY	WOOD/ PAINT
2F	LAUNDRY	6VP7 PAINT	6VP7 PAINT	6VP7 PAINT	6VP7 PAINT	6VP7 PAINT	WOOD/ POLY	WOOD/ PAINT
2F	HALL	6VP7 PAINT	6VP7 PAINT	6VP7 PAINT	6VP7 PAINT	6VP7 PAINT	WOOD/ POLY	WOOD/ PAINT
2F	BEDROOM	6VP7 PAINT	6VP7 PAINT	6VP7 PAINT	6VP7 PAINT	6VP7 PAINT	WOOD/ POLY	WOOD/ PAINT
2F	BATHROOM	6VP7 PAINT	6VP7 PAINT	6VP7 PAINT	6VP7 PAINT	6VP7 PAINT	CERAMIC TILE	WOOD/ PAINT
2F	W.I.C.	6VP7 PAINT	6VP7 PAINT	6VP7 PAINT	6VP7 PAINT	6VP7 PAINT	WOOD/ POLY	WOOD/ PAINT
2F	BECDROOM	6VP7 PAINT	6VP7 PAINT	6VP7 PAINT	6VP7 PAINT	6VP7 PAINT	WOOD/ POLY	WOOD/ PAINT
2F	W.I.C.	6VP7 PAINT	6VP7 PAINT	6VP7 PAINT	6VP7 PAINT	6VP7 PAINT	WOOD/ POLY	WOOD/ PAINT



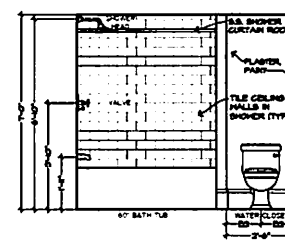
2 SECOND FLOOR RCP  
SCALE 1/8" = 1'-0"



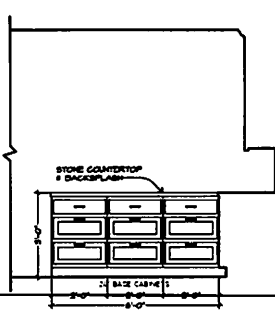
2 SECOND FLOOR BATH  
SCALE 1/2" = 1'-0"



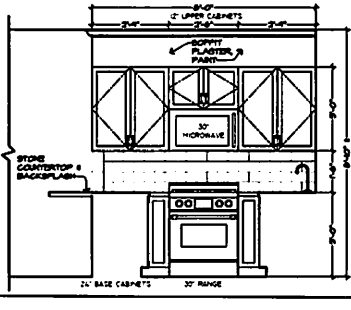
3 SECOND FLOOR BATH  
SCALE 1/2" = 1'-0"



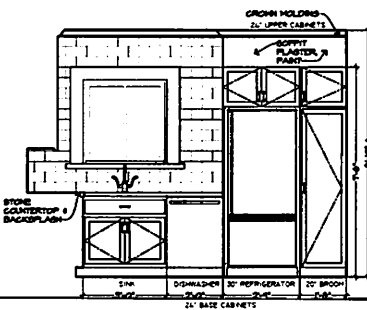
4 SECOND FLOOR BATH  
SCALE 1/2" = 1'-0"



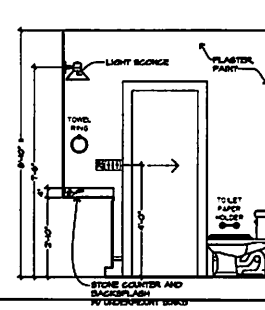
5 PENINSULA ELEVATION  
SCALE 1/2" = 1'-0"



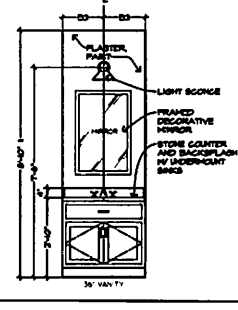
6 KITCHEN ELEVATION  
SCALE 1/2" = 1'-0"



7 KITCHEN ELEVATION  
SCALE 1/2" = 1'-0"



8 HALF BATH ELEV  
SCALE 1/2" = 1'-0"



9 HALF BATH ELEV  
SCALE 1/2" = 1'-0"



10 HALF BATH ELEV  
SCALE 1/2" = 1'-0"



REVISIONS:  
PERMIT SET

DESCRIPTION: LIGHTING PLANS, INTERIOR ELEVATIONS & SCHEDULES  
SCALE: As Noted  
DATE: April 6th, 2022

MCCORRY TOWNHOUSES  
507-509 High Street  
South Kingstown, Rhode Island

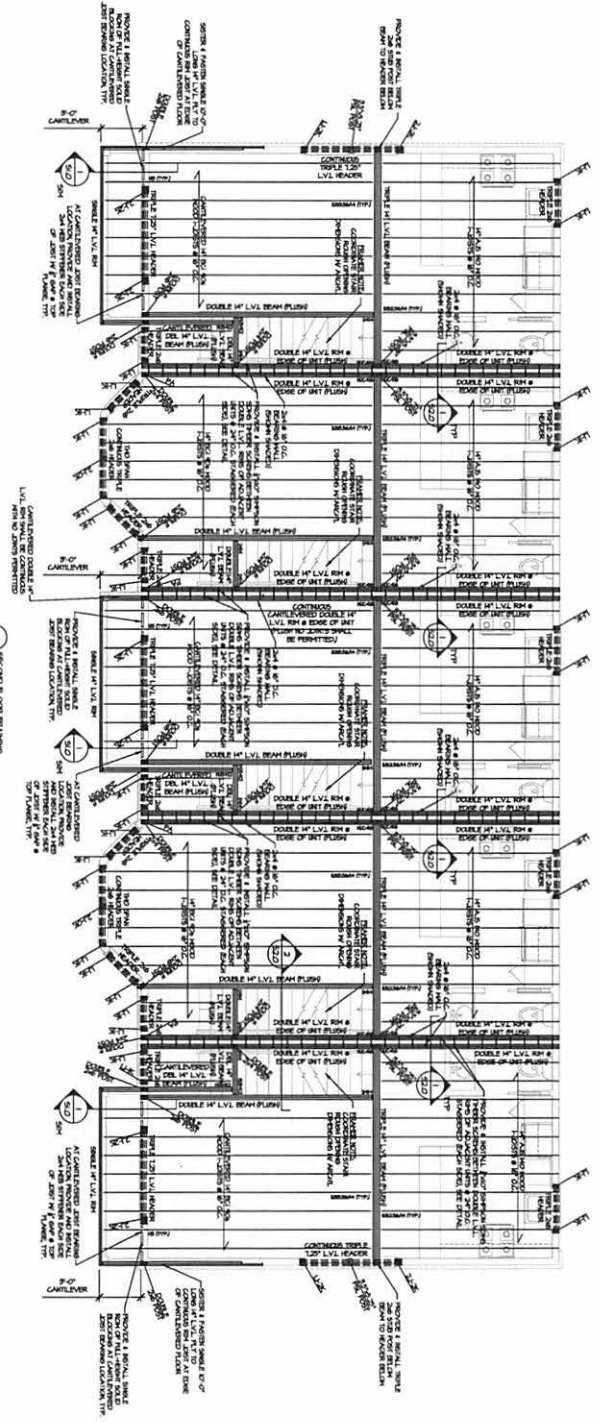
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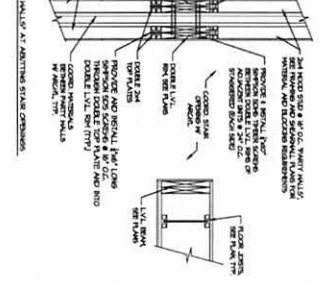
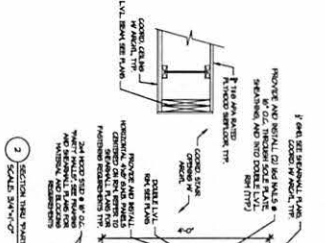
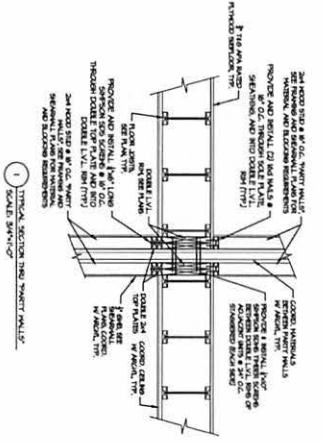




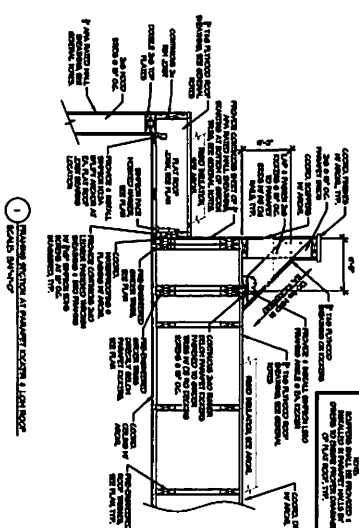
1. ALL MATERIALS AND FINISHES SHALL BE AS SHOWN ON THE DRAWINGS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
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9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.



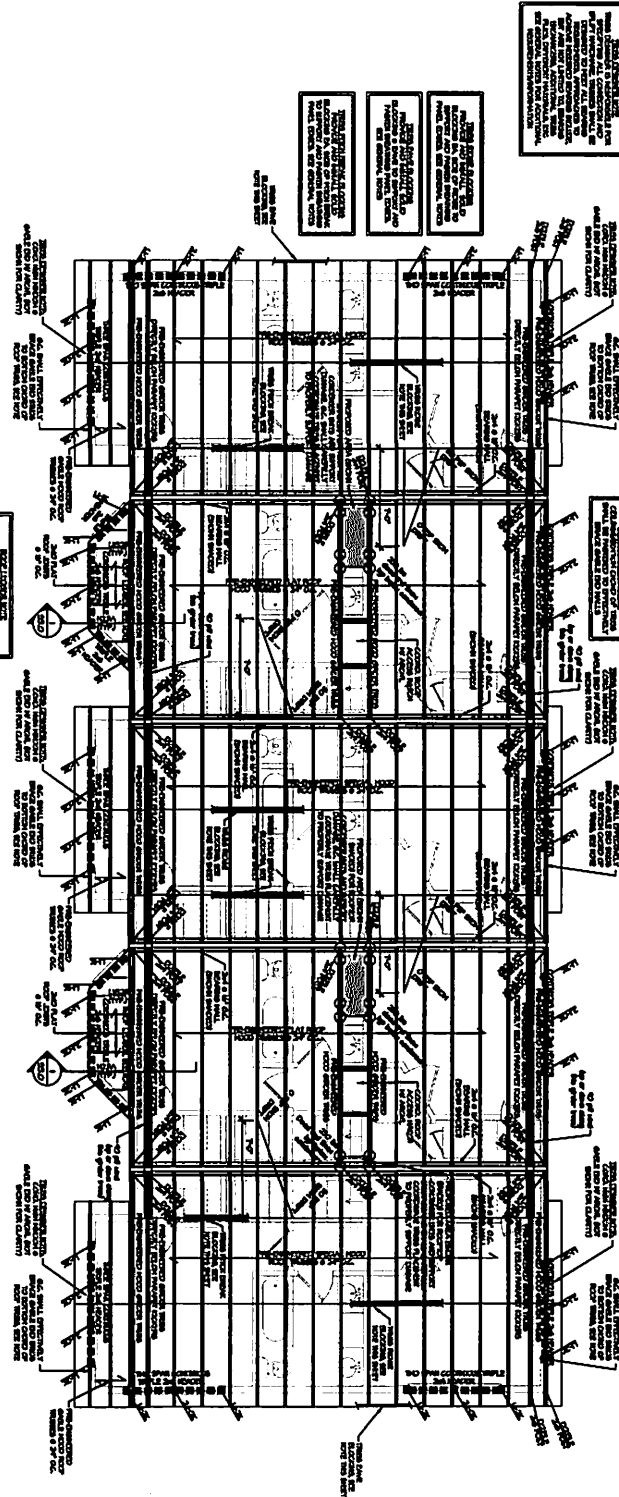
SEE NOTES  
 PROJECT & SERIAL TO BE SHOWN  
 PROJECT & SERIAL TO BE SHOWN  
 PROJECT & SERIAL TO BE SHOWN



S2.0	<b>McCRORY TOWNHOUSES</b>	DESCRIPTION: SECOND FLOOR FRAMING			
	507-509 High Street South Kingstown, Rhode Island	SCALE: As Noted			REVISIONS:
		DATE: April 5th, 2022			

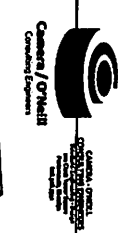


1 EXISTING SECTION AT RAFTERS, CEILING & FLOORING  
ROOF SHEATHING



2 ROOF TRUSSING  
CEILING SHEATHING

1. ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED.
2. ALL MATERIALS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
3. ALL MATERIALS SHALL BE INSTALLED AS SHOWN UNLESS OTHERWISE NOTED.
4. ALL MATERIALS SHALL BE INSTALLED AS SHOWN UNLESS OTHERWISE NOTED.
5. ALL MATERIALS SHALL BE INSTALLED AS SHOWN UNLESS OTHERWISE NOTED.
6. ALL MATERIALS SHALL BE INSTALLED AS SHOWN UNLESS OTHERWISE NOTED.
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9. ALL MATERIALS SHALL BE INSTALLED AS SHOWN UNLESS OTHERWISE NOTED.
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11. ALL MATERIALS SHALL BE INSTALLED AS SHOWN UNLESS OTHERWISE NOTED.
12. ALL MATERIALS SHALL BE INSTALLED AS SHOWN UNLESS OTHERWISE NOTED.
13. ALL MATERIALS SHALL BE INSTALLED AS SHOWN UNLESS OTHERWISE NOTED.
14. ALL MATERIALS SHALL BE INSTALLED AS SHOWN UNLESS OTHERWISE NOTED.
15. ALL MATERIALS SHALL BE INSTALLED AS SHOWN UNLESS OTHERWISE NOTED.
16. ALL MATERIALS SHALL BE INSTALLED AS SHOWN UNLESS OTHERWISE NOTED.
17. ALL MATERIALS SHALL BE INSTALLED AS SHOWN UNLESS OTHERWISE NOTED.
18. ALL MATERIALS SHALL BE INSTALLED AS SHOWN UNLESS OTHERWISE NOTED.
19. ALL MATERIALS SHALL BE INSTALLED AS SHOWN UNLESS OTHERWISE NOTED.
20. ALL MATERIALS SHALL BE INSTALLED AS SHOWN UNLESS OTHERWISE NOTED.



PROGRESS PLAN  
NOT FOR CONSTRUCTION

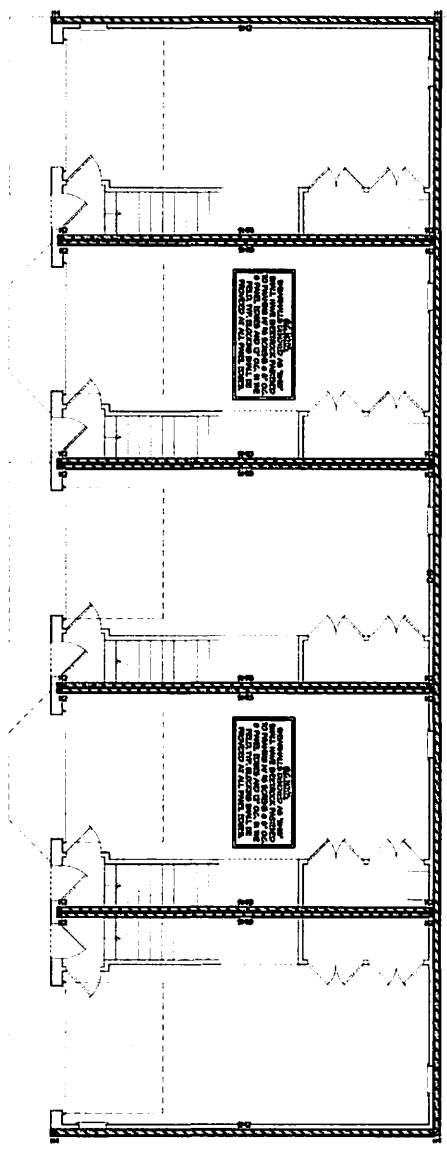
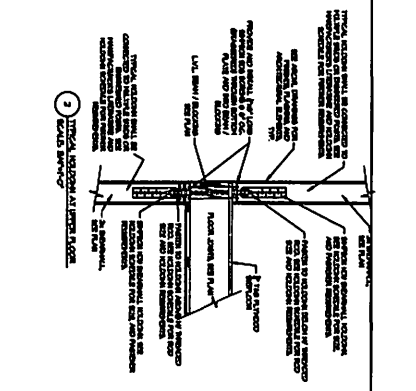
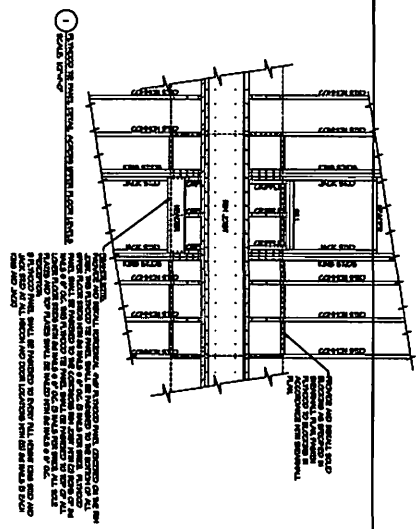


S3.0

McCROORY TOWNHOUSES  
507-509 High Street  
South Kingstown, Rhode Island

DESCRIPTION:	ROOF FRAMING
SCALE:	As Noted
DATE:	April 5th, 2022

REVISIONS:	
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NOTES:

1. ALL REINFORCEMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ACI 308 AND 318 CODES.
2. ALL REINFORCEMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ACI 308 AND 318 CODES.
3. ALL REINFORCEMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ACI 308 AND 318 CODES.
4. ALL REINFORCEMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ACI 308 AND 318 CODES.

**GARAGE LEVEL SHEARWALLS**

NO.	DESCRIPTION	DATE	BY	CHECKED
1	REVISION			
2	REVISION			
3	REVISION			
4	REVISION			
5	REVISION			
6	REVISION			
7	REVISION			
8	REVISION			
9	REVISION			
10	REVISION			

**HOLDOWN SCHEDULE**

NO.	DESCRIPTION	DATE	BY	CHECKED
1	REVISION			
2	REVISION			
3	REVISION			
4	REVISION			
5	REVISION			
6	REVISION			
7	REVISION			
8	REVISION			
9	REVISION			
10	REVISION			

**S4.0**

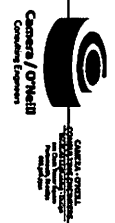
**MCCRORY TOWNHOUSES**  
507-509 High Street  
South Kingstown, Rhode Island

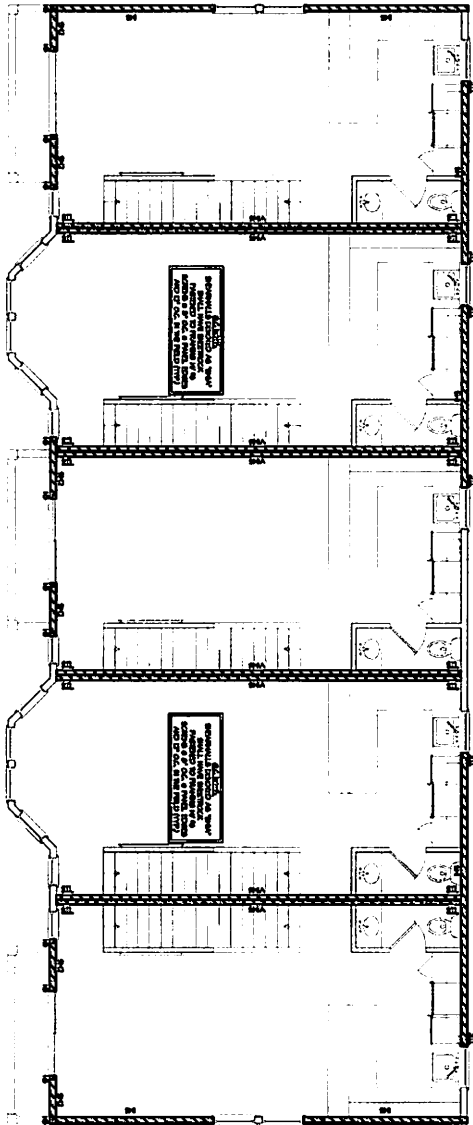
DESCRIPTION: GARAGE LEVEL SHEARWALLS  
SCALE: As Noted  
DATE: April 5th, 2022

REVISIONS:



**COSDEN DESIGN ARCHITECTS**  
45 West High Street  
Providence, Rhode Island  
402.263.1100  
www.cosden.com



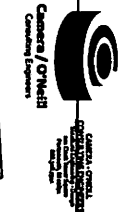


① FIRST FLOOR SHEARWALLS

1. ALL SHEARWALLS SHALL BE CONCRETE PER THE NOTES ON THE SHEARWALL SCHEDULE.
2. ALL SHEARWALLS SHALL BE CONCRETE PER THE NOTES ON THE SHEARWALL SCHEDULE.
3. ALL SHEARWALLS SHALL BE CONCRETE PER THE NOTES ON THE SHEARWALL SCHEDULE.
4. ALL SHEARWALLS SHALL BE CONCRETE PER THE NOTES ON THE SHEARWALL SCHEDULE.

**FIRST FLOOR SHEARWALLS**

NO.	DESCRIPTION	REVISIONS
1	1.00	1.00
2	1.00	1.00
3	1.00	1.00
4	1.00	1.00
5	1.00	1.00
6	1.00	1.00
7	1.00	1.00
8	1.00	1.00
9	1.00	1.00
10	1.00	1.00
11	1.00	1.00
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42	1.00	1.00
43	1.00	1.00
44	1.00	1.00
45	1.00	1.00
46	1.00	1.00
47	1.00	1.00
48	1.00	1.00
49	1.00	1.00
50	1.00	1.00



S4.1

**MCCRORY TOWNHOUSES**  
507-509 High Street  
South Kingstown, Rhode Island

DESCRIPTION:  
FIRST FLOOR SHEARWALLS

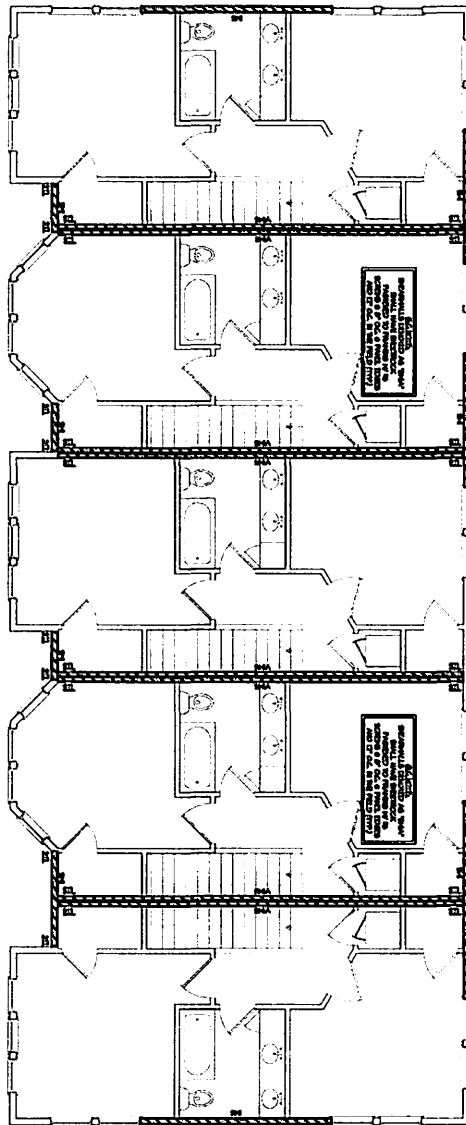
SCALE: As Noted  
DATE: April 5th, 2022

REVISIONS:



**CORBETT DESIGN ARCHITECTS**  
45 West South Street  
Providence, RI 02903  
Corbett@Corbett.com  
401.479.4888





② SECOND FLOOR SHEARWALLS

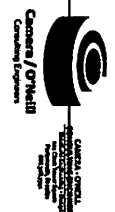
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT AND THE STATE OF RHODE ISLAND. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT AND THE STATE OF RHODE ISLAND.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT AND THE STATE OF RHODE ISLAND.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT AND THE STATE OF RHODE ISLAND.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT AND THE STATE OF RHODE ISLAND.

**SECOND FLOOR SHEARWALLS**

NO.	DESCRIPTION	QUANTITY	UNIT	AMOUNT	DATE
1	REINFORCED CONCRETE SHEARWALL	10	LINEAL FEET	10	4/5/22
2	REINFORCED CONCRETE SHEARWALL	10	LINEAL FEET	10	4/5/22
3	REINFORCED CONCRETE SHEARWALL	10	LINEAL FEET	10	4/5/22
4	REINFORCED CONCRETE SHEARWALL	10	LINEAL FEET	10	4/5/22
5	REINFORCED CONCRETE SHEARWALL	10	LINEAL FEET	10	4/5/22

**HOLD DOWN SCHEDULE**

NO.	DESCRIPTION	QUANTITY	UNIT	AMOUNT	DATE
1	REINFORCED CONCRETE SHEARWALL	10	LINEAL FEET	10	4/5/22
2	REINFORCED CONCRETE SHEARWALL	10	LINEAL FEET	10	4/5/22
3	REINFORCED CONCRETE SHEARWALL	10	LINEAL FEET	10	4/5/22
4	REINFORCED CONCRETE SHEARWALL	10	LINEAL FEET	10	4/5/22
5	REINFORCED CONCRETE SHEARWALL	10	LINEAL FEET	10	4/5/22



S4.2

**MCCRORY TOWNHOUSES**  
507-509 High Street  
South Kingstown, Rhode Island

DESCRIPTION:  
**SECOND FLOOR SHEARWALLS**

SCALE: As Noted

DATE: April 5th, 2022

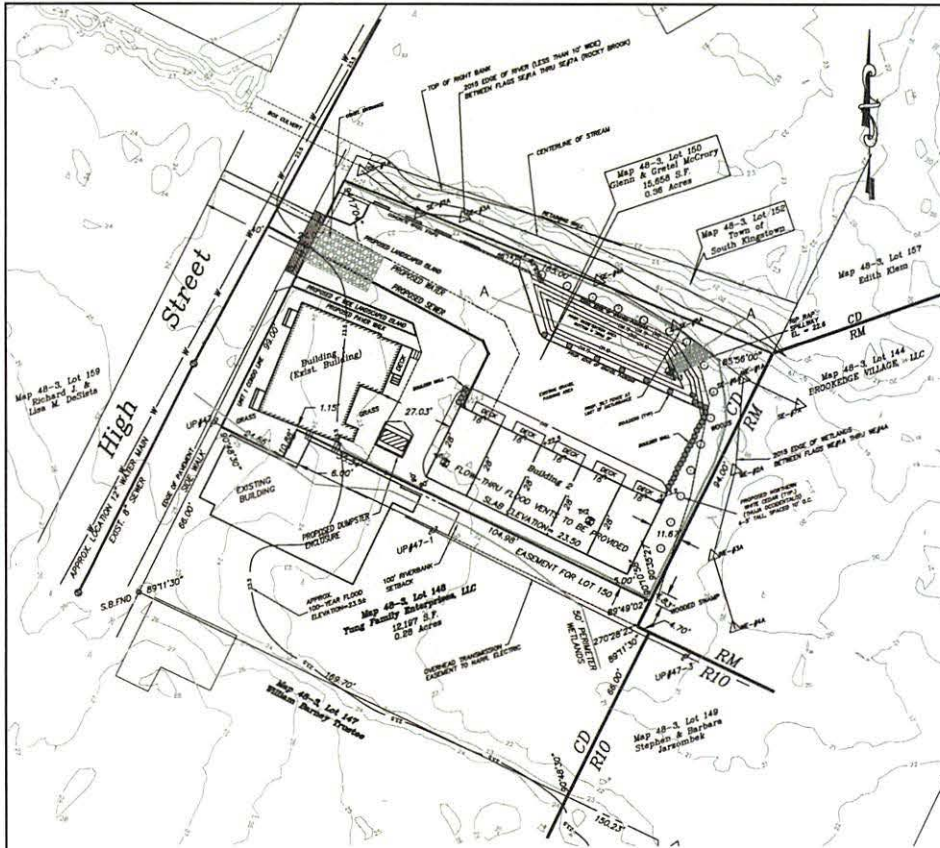
REVISIONS:

NO. 1

DATE

DESCRIPTION



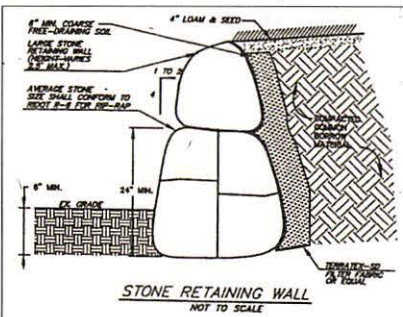


**BUILDABLE AREA CALCULATIONS**  
 TOTAL AREA OF SITE = 15,658 S.F.  
 TOTAL AREA OF WETLANDS ON SITE = 686 S.F.  
 TOTAL BUILDABLE AREA = 14,972 S.F.

**DENSITY CALCULATIONS (PER SECTION 401)**  
 5,000 S.F. PER FIRST 2 DWELLING UNITS  
 1,200 S.F. PER EACH ADDITIONAL DWELLING UNIT

**EXISTING UNITS = 1**  
**PROPOSED UNITS = 7**  
**TOTAL UNITS = 8**

5,000 S.F. (1ST 2 UNITS)  
 7,200 S.F. (REMAINING 6 UNITS)  
 12,200 S.F. (REQUIRED AREA)  
 14,972 S.F. (BUILDABLE AREA)



**Notes**

- 1.) ALL LAND LOCATED OUTSIDE OF UNIT 1 IS SUBJECT TO DEVELOPMENT RIGHTS, INCLUDING RIGHT OF WITHDRAWAL AND TO CONVERT.
- 2.) ALL LAND, INCLUDING BUILDING 1, IS SUBJECT TO DEVELOPMENT RIGHTS, INCLUDING RIGHT TO CONVERT.
- 3.) THIS PLAN IS SUBJECT TO DEVELOPMENT RIGHTS TO CREATE UP TO 8 UNITS IN THE CONDOMINIUM.
- 4.) THIS PLAN, PREPARED BY OTHERS, REPRESENTS THE PROPERTY SURVEY AND LOCATION OF INDIVIDUAL UNITS.
- 5.) UNLESS NOTED, ALL LAND AREA IS COMMON ELEMENT.
- 6.) PARKING SPACES FOR THE UNITS SHALL BE LIMITED COMMON ELEMENTS.
- 7.) ONE UNIT TOTAL IN PHASE 1.
- 8.) TOTAL AREA OF PROPOSED DEVELOPMENT: 15,658 S.F.
- 9.) THE REAL ESTATE, INCLUDING BUILDING 1, CONTAINED IN THIS PROJECT IS SUBJECT TO THE DEVELOPMENT RIGHTS AS SET FORTH IN THE DECLARATION.
- 10.) DECKS, CONCRETE PADS, STEPS AND OUTSIDE PARKING SPACES ARE LIMITED COMMON ELEMENTS.

**General Notes**

- 1.) MAP REFERENCES INCLUDE: MAP TITLED "SURVEY PLAN FOR JOSEPH DEUSCHLE IN THE TOWN OF S. KINGSTOWN, ASSESSOR'S TAX MAP 48-3, LOT 150 BY ENVIRONMENTAL PLANNING & SURVEYING, INC. 52 DUDWY BRIDGE ROAD, W. KINGSTOWN, RHODE ISLAND 02881"
- 2.) SITE LIES WITHIN ZONE "A" OF FLOOD INSURANCE RATE MAP FOR THE TOWN OF SOUTH KINGSTOWN, RHODE ISLAND WASHINGTON COUNTY COMMUNITY PANEL NUMBER 445407 0018 E, REVISED JUNE 18, 1992. 3.) DEPARTMENT OF ENVIRONMENTAL MANAGEMENT "INSIGNIFICANT ALTERATION PERMIT" (03-0013) GRANTED MARCH 24, 2004.
- 4.) SITE LIGHTING TO BE SHIELDED SO THAT IT DOES NOT PROJECT LIGHTS ADJACENT PROPERTY.
- 5.) SUBJECT PROPERTY IS SUBJECT TO A ZONING VARIANCE GRANTED ON AUGUST 17, 2005 AS RECORDED IN THE LAND EVIDENCE RECORDS BOOK 1212, PAGE 445.

**MULCH**

THE MULCH LAYER SHALL CONSIST OF WELL AGED (OVER 6 MONTHS) SHREDDED HARDWOOD THAT IS UNIFORM IN COLOR AND FREE OF OTHER MATERIALS (SUCH AS WEED SEEDS, SOIL, ROOTS, ETC.). GRASS CLIPPINGS SHOULD NOT BE USED AS MULCH MATERIAL. THE MAXIMUM DEPTH OF THE MULCH LAYER SHALL BE 3 INCHES.

**BIORETENTION AREA PLANTING**

1. LAYOUT PLANTS IN THE DESIRED PATTERN KEEPING THEM IN CONTAINERS UNTIL PLANTING.
2. DIG HOLE APPROXIMATELY TWICE THE WIDTH OF THE CONTAINER AND DEEP ENOUGH FOR THE CROWN OF THE PLANT TO BE LEVEL WITH GRADE AFTER PLANTING. TAMP LIGHTLY AROUND ROOTS TO ELIMINATE AIR VOIDS.
3. PLACE 3" OF MULCH, EVENLY SPREAD, OVER PLANTED AREA TAKING CARE NOT TO BURY THE CROWN OF THE NEW PLANTS.
4. LABEL PLANT GROUPS TO HELP IDENTIFY WEEDS DURING MAINTENANCE OF THE VEGETATED AREA.
5. WATER IMMEDIATELY AFTER PLANTING. CONTINUE TO WATER UNTIL PLANTS ARE ESTABLISHED. PLANTS NEED APPROXIMATELY 1" OF WATER PER WEEK. MONITOR RAINFALL AND SUPPLEMENT WITH MANUAL WATERING AS NEEDED. ONCE ESTABLISHED, THE BIORETENTION AREA WILL NORMALLY NOT REQUIRE MANUAL WATERING.
6. GENERALLY, PLANTING SHOULD BE CONDUCTED IN EARLY SPRING OR FALL, HOWEVER PLANTING MAY OCCUR ANYTIME DURING THE GROWING SEASON AS LONG AS THE PLANTS ARE PROVIDED SUFFICIENT WATERING.

**BIORETENTION AREA MAINTENANCE**

1. REMOVE WEEDS (BY HAND) FOR THE FIRST TWO GROWING SEASONS OR UNTIL VEGETATION IS WELL ESTABLISHED. CONTINUE TO REMOVE ISOLATED WEED PATCHES AS NEEDED.
2. LEAVE STEMS AND SEED HEADS THROUGH WINTER AS A FOOD SOURCE FOR BIRDS AND COVER FOR WILDLIFE.
3. CUT BACK PLANTS IN SPRING TIME AFTER NEW GROWTH REACHES 4-6". REMOVE DEAD PLANT MATERIAL AND COMPOST IF DESIRED.
4. BIORETENTION AREA SHOULD BE INSPECTED FREQUENTLY UNTIL PLANTS ARE ESTABLISHED. PLANTS THAT DO NOT SURVIVE SHOULD BE REPLACED.
5. BIORETENTION AREA SHOULD BE RE-MULCHED ANNUALLY.

**EROSION CONTROL PROGRAM**

PRIOR TO START OF CONSTRUCTION, HAYBALES, SILT FENCES AND/OR ALL OTHER SPECIFIED EROSION CONTROL FENCES SHALL BE IN PLACE.

CRITICAL AREAS SUCH AS WETLAND AREAS, SLOPES AND STREAMS SHALL BE PROTECTED AS PER PLAN AND, IN THE PRESENCE OF WETLANDS, THE CONDITIONS OF ANY ISSUED PERMIT SHALL BE ADHERED TO.

THE CONTRACTOR SHALL BE REQUIRED TO ESTABLISH AND FULLY MAINTAIN ALL REQUIRED EROSION AND SEDIMENTATION CONTROLS.

**SEDIMENTATION CONTROL PROGRAM**

ALL EXPOSED SLOPES, INCLUDING STOCKPILES OF MATERIAL, SHALL RECEIVE TEMPORARY SEDIMENTATION AND EROSION CONTROLS. THIS WILL INCLUDE LOAMING AND SEEDING, MULCHING, HAYMATS, ETC., TO STABILIZE THE AREA.

ANY DRAINAGE STRUCTURES SHALL BE SURROUNDED BY HAYBALES TO PREVENT INFILTRATION OF SEDIMENTS.

SHOULD SEDIMENTS ENTER A CRITICAL AREA (WETLAND, BUFFER ZONE, ADJUTING PROPERTY) THE CONTRACTOR SHALL IMMEDIATELY CLEAN AND RESTORE THE AFFECTED AREA.

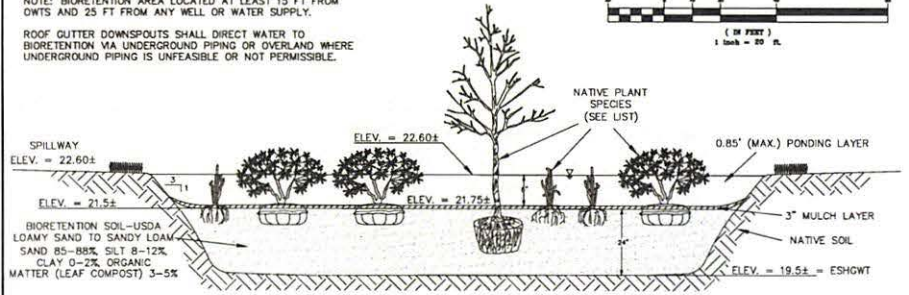
SLOPE PROTECTION TO BE INSTALLED ON ANY DISTURBED AREAS SUBJECT TO EROSION. EXTREME CARE SHALL BE TAKEN TO PREVENT SEDIMENT OR UNSUITABLE MATERIAL FROM ENTERING WETLANDS, ROADWAYS AND/OR DRAINAGE STRUCTURES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTING AND MAINTAINING ALL EROSION CONTROL MEASURES PROMPTLY AFTER EACH RAINFALL AND TO ENSURE THAT RUNOFF FLOW PATTERNS ARE NOT INHIBITED DURING RAINFALL AND/OR SNOWMELT.

ACCUMULATED SEDIMENTS SHALL BE REMOVED AS DIRECTED BY THE OWNER, ENGINEER, BIOLOGIST, APPLICANT, LOCAL OR STATE OFFICIALS.

NOTE: BIORETENTION AREA LOCATED AT LEAST 15 FT FROM DOWNSPOUTS AND 25 FT FROM ANY WELL OR WATER SUPPLY.

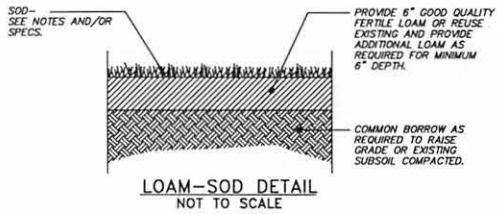
ROOF GUTTER DOWNSPOUTS SHALL DIRECT WATER TO BIORETENTION VIA UNDERGROUND PIPING OR OVERLAND WHERE UNDERGROUND PIPING IS UNFEASIBLE OR NOT PERMISSIBLE.



**BIORETENTION AREA TYPICAL CROSS SECTION**

NOT TO SCALE

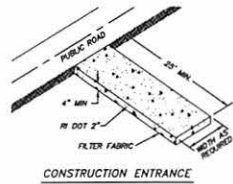
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	<b>PROJECT:</b> A.P. 48-3 LOT 150 507-509 HIGH STREET SO. KINGSTOWN, RHODE ISLAND	DATE: 12/5/19
<b>CLIENT:</b> GLENN & GRETEL MCGRORY GARY C. LAMOND, P.E. LLC 194 HATCHERY ROAD NORTH KINGSTOWN, RI 02882	1/5	REVISED: 12/8/2020
SCALE: AS SHOWN		



**LOAM-SOD DETAIL**  
NOT TO SCALE

**MATERIALS SIZE**

SQUARE MESH SIEVES (INCHES)	ROCK 2" CRUSHED STONE OR GRAVEL & FINER	ASTM NO. 20 & FINER	ASTM NO. 30 & FINER	ASTM NO. 40 & FINER
2-1/2	100	80-100	100	100
2	95-100	35-70	100-100	100-100
1-1/2	30-35	0-19	35-70	—
1-1/4	0-5	0-25	—	—
1	—	0-15	—	—
3/4	—	0-5	—	—
1/2	—	—	—	—
3/8	—	—	—	—



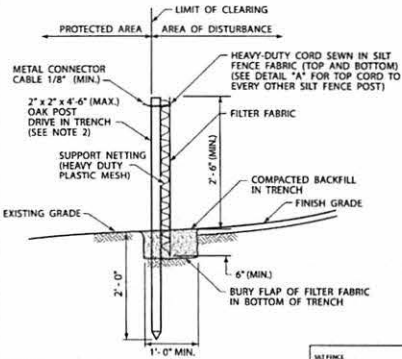
**CONSTRUCTION ENTRANCE**

**INSTALLATION REQUIREMENTS**  
THE AREA OF THE ENTRANCE SHOULD BE CLEARED OF ALL VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL. A STABILIZATION FILTER CLOTH CAN BE PLACED ON THE SURFACE PRIOR TO THE GRAVEL PLACEMENT TO PREVENT PUMPING. THE GRAVEL SHALL BE PLACED TO THE SPECIFIED DIMENSIONS. ANY DRAINAGE FACILITIES REQUIRED BECAUSE OF WASHING SHOULD BE CONSTRUCTED ACCORDING TO SPECIFICATIONS. IF WASH RACKS ARE USED, THEY SHOULD BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.

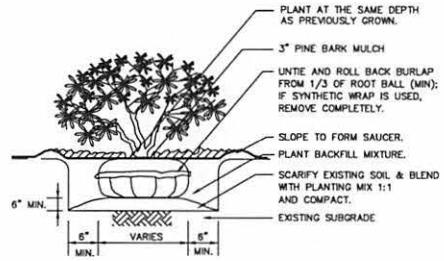
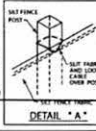
**MAINTENANCE**  
THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS WILL REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE OR ADDITIONAL LENGTH AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANUP OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAYS MUST BE REMOVED IMMEDIATELY.

**CONSTRUCTION ENTRANCE DETAIL**  
NOT TO SCALE

## Installation of Silt Fence



- NOTES:**
- SHALL BE IN ACCORDANCE WITH SECTION 206 OF THE R.I. STANDARD SPECIFICATIONS.
  - 2" x 2" x 4'-6" (MAX.) OAK POSTS FOR SILT FENCE SHALL BE LOCATED 8'-0" (MAX.) O.C. IN WETLAND AREAS & 10'-0" (MAX.) O.C. IN WETLAND RAVINE, GULLY OR DROP-OFF AREAS AS SHOWN ON PLANS.
  - 1 1/2" x 4'-6" (MIN.) POSTS PERMITTED FOR PRE-FABRICATED SILT FENCE.
  - SILT FENCE SHALL BE INSTALLED BEFORE ANY GRUBBING OR EARTH EXCAVATION TAKES PLACE.



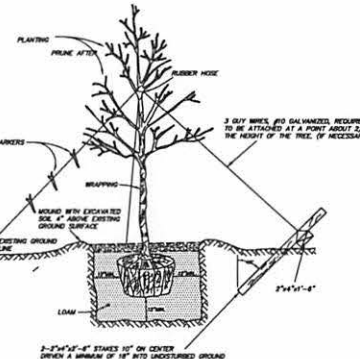
**TYPICAL SHRUB PLANTING DETAIL**  
NOT TO SCALE

**EROSION CONTROL PROGRAM**  
PRIOR TO START OF CONSTRUCTION, HAYBALES, SILT FENCES AND ALL OTHER SPECIFIED EROSION CONTROL FENCES SHALL BE IN PLACE.  
CRITICAL AREAS SUCH AS WETLAND AREAS, SLOPES AND STREAMS SHALL BE PROTECTED AS PER PLAN AND, IN THE PRESENCE OF WETLANDS, THE CONDITIONS OF ANY ISSUED PERMIT SHALL BE ADHERED TO.  
THE CONTRACTOR SHALL BE REQUIRED TO ESTABLISH AND FULLY MAINTAIN ALL REQUIRED EROSION AND SEDIMENTATION CONTROLS.

**SEDIMENTATION CONTROL PROGRAM**  
ALL EXPOSED SLOPES, INCLUDING STOCKPILES OF MATERIAL SHALL RECEIVE TEMPORARY SEDIMENTATION AND EROSION CONTROLS. THIS WILL INCLUDE LOAMING AND SEEDING, MULCHING, HAYMA, ETC., TO STABILIZE THE AREA.  
ALL DRAINAGE STRUCTURES SHALL BE SURROUNDED BY HAYBALES TO PREVENT INFILTRATION OF SEDIMENTS.  
DRYWELLS, GALLEYS, RAIN GARDENS, AND OTHER LEACHING FACILITIES SHALL BE THOROUGHLY PROTECTED FROM SEDIMENTATION DURING CONSTRUCTION. IF SEDIMENTS ENTER FACILITIES DURING CONSTRUCTION, THE STRUCTURES SHALL BE CLEARED AND, IF NECESSARY, REMOVED AND REINSTALLED WITH ALL EXPENSE TO BE BORNE BY CONTRACTOR.  
SHOULD SEDIMENTS ENTER A CRITICAL AREA (WETLAND, BUFFER ZONE, ABUTTING PROPERTY) THE CONTRACTOR SHALL IMMEDIATELY CLEAN AND RESTORE THE EFFECTED AREA.

**SLOPE PROTECTION TO BE INSTALLED ON ANY DISTURBED AREAS SUBJECT TO EROSION.**  
EXTREME CARE SHALL BE TAKEN TO PREVENT SEDIMENT OR UNSUITABLE MATERIAL FROM ENTERING WETLANDS, ROADWAYS AND/OR DRAINAGE STRUCTURES.  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTING AND MAINTAINING ALL EROSION CONTROL MEASURES PROMPTLY AFTER EACH RAINFALL AND TO ENSURE THAT RUNOFF FLOW PATTERNS ARE NOT INHIBITED DURING RAINFALL AND/OR SNOWMELT.  
REMOVED SEDIMENTS SHALL NOT BE STOCKPILED IN AREAS WHERE POTENTIAL EXISTS FOR TRANSPORT OF THESE SEDIMENTS VIA STORM FLOW TO WETLANDS OR OTHER UNDESIRABLE LOCATIONS.  
SILT FENCE SHALL BE PLACED AS DESIGNATED ON PLAN AS WELL AS ANY AREAS WHERE CONDITIONS WARRANT DURING CONSTRUCTION.  
ACCUMULATED SEDIMENTS SHALL BE REMOVED AS DIRECTED BY THE OWNER, ENGINEER, BIOLOGIST, APPLICANT, LOCAL OR STATE OFFICIALS.

THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE CONSTRUCTION ENTRANCE. AT A MINIMUM THE ENTRANCE SHALL BE SWEEP FREE OF SEDIMENT AND DEBRIS AT THE END OF EACH WORK DAY.



**TYPICAL TREE PLANTING DETAIL**  
NOT TO SCALE

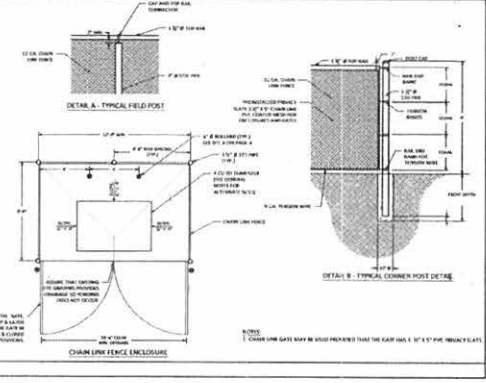
## SUGGESTED BIORETENTION AREA PLANT LIST

SPECIES	COMMON NAME	PLANT TYPE
Amelanchier arborea	SERVICEBERRY	TREE
Amelanchier canadensis	SHADBUSH	SHRUB
Amelanchier laevis	ALLEGHENY SERVICEBERRY	TREE
Arctostaphylos uva-ursi	BEARBERRY	SHRUB
Asclepias tuberosa	BUTTERFLY MILKWEED	PERENNIAL
Carex stricta	TUSsock SEDGE	GRASS
Clethra alnifolia	SWEET PEPPERBUSH	SHRUB
Comptonia peregrina	SWEET FERN	SHRUB
Cornus amomum	SILKY DOGWOOD	SHRUB
Cornus racemosa	RED DOGWOOD	SHRUB
Cornus sericea	GREYDOG WOOD	SHRUB
Eupatorium purpureum	JOE PYE WOOD	PERENNIAL
Ilex glabra	INKBERRY HOLLY	SHRUB
Ilex opaca	AMERICAN HOLLY	TREE
Ilex verticillata	WINTERBERRY HOLLY	SHRUB
Morella (Myrica) pensylvanica	BAYBERRY	SHRUB
Panicum virgatum	SWITHGRASS	GRASS
Phytolacca melanocarpa	BLACK CHOKEBERRY	SHRUB
Phloxia pyrifolia	RED CHOKEBERRY	SHRUB
Symphoricarpon novae-angliae	NEW ENGLAND ASTER	PERENNIAL
Vaccinium corymbosum	HIGHBUSH BLUEBERRY	SHRUB
Veronica noveboracensis	NEW YORK IRONWEED	PERENNIAL
Viburnum dentatum	ARROWWOOD	SHRUB

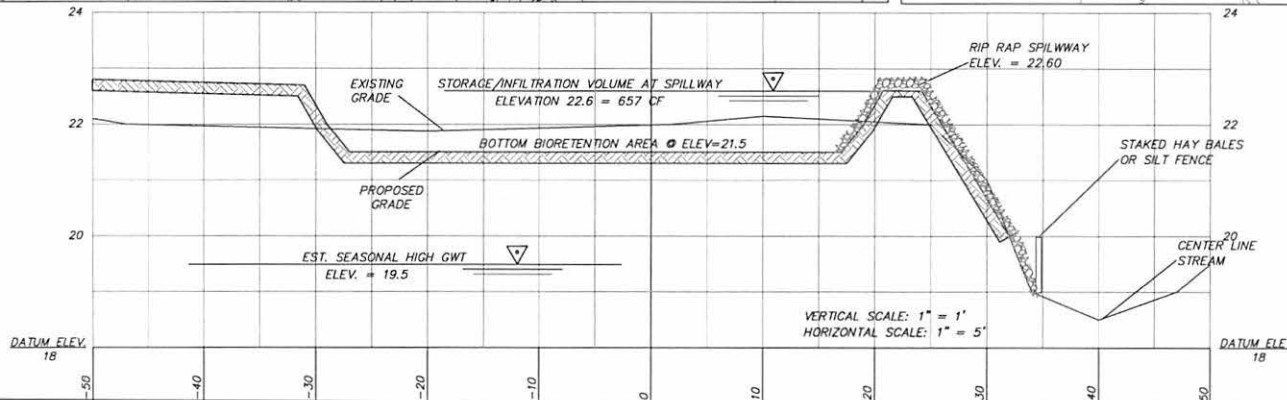
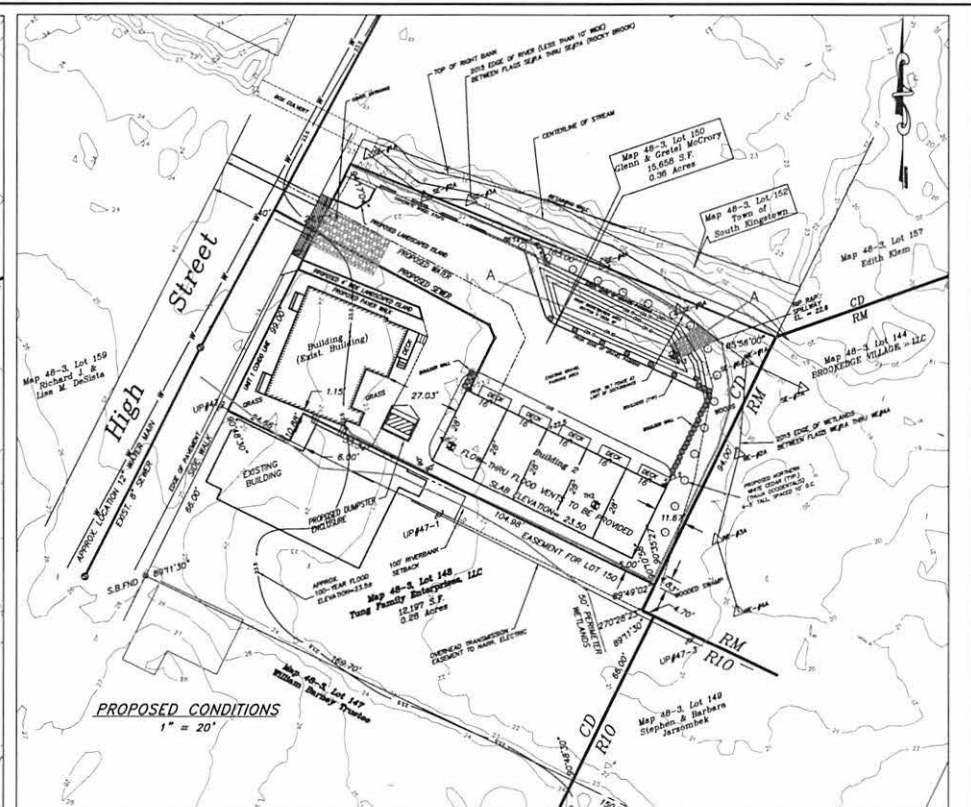
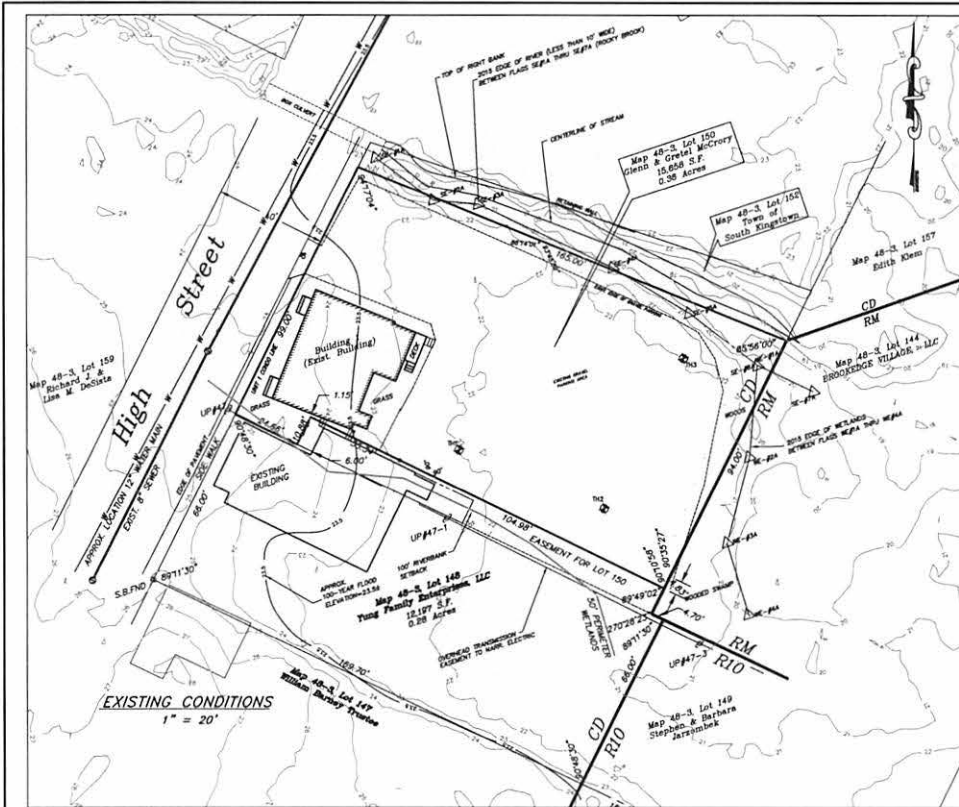
PLANT SPECIES WERE SELECTED FROM THE RHODE ISLAND COASTAL PLANT GUIDE PREPARED BY THE URI CELS AND RI CRMC. ONLY THOSE NATIVE PLANTS THAT ARE SUITABLE FOR RAIN GARDENS AND ARE TOLERANT OF FULL SUN AND DROUGHT ARE SHOWN HERE.  
TREES SHALL BE PLANTED WITH A DENSITY OF NO MORE THAN ONE PER 250 SF, SPACED 15 FT ON CENTER. SHRUBS SHALL BE PLANTED 5-10 FT ON CENTER AND HERBACEOUS VEGETATION PLANTED 2.5 FT ON-CENTER.

**SOIL STABILIZATION & PLANTING PROGRAM**  
**ACCEPTABLE PLANTING MATERIALS:**  
LOAM - THE MATERIAL TO BE FURNISHED SHALL CONSIST OF LOOSE, FRABLE, SANDY LOAM OR LOAM TOPSOIL FREE OF A MIXTURE OF SUBSOIL, REFUSE, STUMPS, ROOTS, ROCKS, BRUSH, WEEDS AND OTHER MATERIAL WHICH WILL PREVENT THE FORMATION OF A SUITABLE SEED BED.  
**SEED MIXTURES - ALL LEGUME SEED SHALL BE INOCULATED WITHIN 24 HOURS BEFORE MIXING AND PLANTING WITH THE APPROPRIATE INOCULUM FOR EACH VARIETY. ALL INOCULA SHALL BE FRESH AND SHALL BE USED WITHIN THE DATE LIMIT PRESCRIBED BY THE MANUFACTURER.**  
**FOR RELATIVELY FLAT SLOPES:**  
MIX % BY WEIGHT  
RED FESCUE - CHEWING'S PENNLAWN OR CREEPING 70  
KENTUCKY BLUEGRASS 15  
COLONIAL BENTGRASS - ASTORIA OR 5  
CREEPER  
PERENNIAL RYEGRASS 10  
- SEEDING RATE = 100 LBS. PER ACRE  
**FOR STEEP SLOPES 3:1 OR GREATER**  
MIX % BY WEIGHT  
RED FESCUE - PENNLAWN OR CREEPING 75  
PERENNIAL RYEGRASS 5  
COLONIAL BENTGRASS - ASTORIA OR 5  
CREEPER  
BIRDSFOOT TREFOIL - EMPIRE 15  
- SEEDING RATE: 100 LBS. PER ACRE  
THE ACCEPTED PLANTING SEASON SHALL BE BETWEEN APRIL 1ST AND OCTOBER 15TH. CONTRACTOR SHOULD COORDINATE ON ALL DISTURBED AREAS. THE CONTRACTOR SHALL PROVIDE A MINIMUM OF FOUR (4) INCHES OF LOAM ON AREAS UP TO 10% IN GRADE. ALL AREAS OVER 10% SHALL RECEIVE A MINIMUM OF SIX (6) INCHES.

## CHAIN LINK FENCE DUMPSTER ENCLOSURE



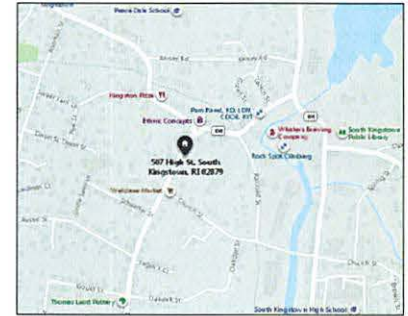
	TITLE: <b>PROPOSED SITE PLAN</b>	PROJ. NO: 2019074
	PROJECT: A.P. 48-3 LOT 150 507-509 HIGH STREET SO. KINGSTOWN, RHODE ISLAND	DATE: 12/5/19
CLIENT: <b>CLENN &amp; GRETTEL MCCORRY</b>	2/5	
SCALE: AS SHOWN	<b>GARY C. LAMOND, P.E., LLC</b> 194 HATCHERY ROAD NORTH KINGSTOWN, RI 02882 REVISED: 12/8/2020	



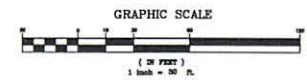
Type	UnAdjusted Volume (CF)	Adjusted Volume (CF)	Comparison Area (SF)
In Cut	0.00	0.00	0.00
In Fill	9,517.95	9,517.95	8,018.38
Undisturbed	0.00	0.00	0.00
Total	9,517.95	9,517.95	8,018.38


SUBTRACTING THE VOLUME RESTORED FROM THE REMOVAL OF THE EXISTING BUILDINGS (718 CF) YIELDS A NET REDUCTION IN FLOOD STORAGE OF 8800 CF.

	TITLE: <b>PROPOSED SITE PLAN</b>	PROJ. NO: 2019074
	PROJECT: A.P. 48-3 LOT 150 507-509 HIGH STREET SO. KINGSTOWN, RHODE ISLAND	DATE: 12/5/19
CLIENT: <b>GLENN &amp; GRETEL McGRORY</b>		3/5
<b>GARY C. LAMOND, P.E., LLC</b> 194 HATCHERY ROAD NORTH KINGSTOWN, RI 02882		REVISED: 12/8/2020



ELEVATION OF WEIR FLOW = 21.7±  
 ESTIMATED 100-YEAR FLOOD ELEVATION = 23.5±  
 AREA OF REACH = 222,520± SF  
 PROPOSED FLOODPLAIN DISPLACEMENT = 8800±  
 RISE IN FLOOD PLAIN OVER REACH AREA = 0.0395 FT. = 0.47 IN.



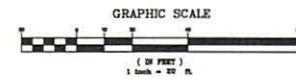
GARY C. LAMOND  REGISTERED PROFESSIONAL ENGINEER	TITLE: FLOOD ELEVATION PLAN	PROJ. NO: 2019074
	PROJECT: A.P. 48-3 LOT 150 507-509 HIGH STREET SO. KINGSTOWN, RHODE ISLAND	DATE: 12/5/19
CLIENT: GLENN & GRETEL MCCORRY GARY C. LAMOND, P.E. LLC 194 HITCHCOCK ROAD NORTH KINGSTOWN, RI 02882	4/5	REVISED: 12/8/2020
DATE: GCL DATE: GCL DATE: GCL DATE: GCL SCALE: AS SHOWN		



EXISTING WATERSHED MAP  
1" = 20'



PROPOSED WATERSHED MAP  
1" = 20'



	TITLE: <b>WATERSHED MAPS</b>	PROJ. NO: 2019074
	PROJECT: A.P. 48-3 LOT 150 507-509 HIGH STREET SO. KINGSTOWN, RHODE ISLAND	DATE: 12/5/19
CLIENT: GLENN & GRETEL MCCRORY <b>GARY C. LAMOND, P.E. LLC</b> 194 HATCHERY ROAD NORTH KINGSTOWN, RI 02882	5/5	REVISED: 12/8/2020
SCALE: AS SHOWN		

# ELEVATION CERTIFICATE

Important: Follow the instructions on pages 1-9.

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

SECTION A – PROPERTY INFORMATION					FOR INSURANCE COMPANY USE	
A1. Building Owner's Name Gretel McCrory and Glenn McCrory					Policy Number:	
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 507-509 High Street					Company NAIC Number:	
City South Kingstown		State Rhode Island		ZIP Code 02879		
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) Plat 48-3, Lot 150, Use: multi-household development						
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) <u>Residential</u>						
A5. Latitude/Longitude: Lat. <u>41.45028</u> Long. <u>-71.50039</u> Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983						
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.						
A7. Building Diagram Number <u>7</u>						
A8. For a building with a crawlspace or enclosure(s):						
a) Square footage of crawlspace or enclosure(s) <u>2240.00</u> sq ft						
b) Number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade <u>10</u>						
c) Total net area of flood openings in A8.b <u>1280.00</u> sq in						
d) Engineered flood openings? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No						
A9. For a building with an attached garage:						
a) Square footage of attached garage _____ sq ft						
b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade _____						
c) Total net area of flood openings in A9.b _____ sq in						
d) Engineered flood openings? <input type="checkbox"/> Yes <input type="checkbox"/> No						
SECTION B – FLOOD INSURANCE RATE MAP (FIRM) INFORMATION						
B1. NFIP Community Name & Community Number Town of South Kingstown 445407			B2. County Name Washington		B3. State Rhode Island	
B4. Map/Panel Number 0184	B5. Suffix K	B6. FIRM Index Date 04-03-2020	B7. FIRM Panel Effective/ Revised Date 04-03-2020	B8. Flood Zone(s) A	B9. Base Flood Elevation(s) (Zone AO, use Base Flood Depth) 22.1	
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9: <input type="checkbox"/> FIS Profile <input type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input checked="" type="checkbox"/> Other/Source: <u>Engineering Analysis, HEC-RAS</u>						
B11. Indicate elevation datum used for BFE in Item B9: <input type="checkbox"/> NGVD 1929 <input checked="" type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: _____						
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date: _____ <input type="checkbox"/> CBRS <input type="checkbox"/> OPA						

# ELEVATION CERTIFICATE

OMB No. 1660-0008  
Expiration Date: November 30, 2022

<b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>			<b>FOR INSURANCE COMPANY USE</b>
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 507-509 High Street			Policy Number:
City South Kingstown	State Rhode Island	ZIP Code 02879	Company NAIC Number

## SECTION C – BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on:  Construction Drawings\*  Building Under Construction\*  Finished Construction

\*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations – Zones A1–A30, AE, AH, A (with BFE), VE, V1–V30, V (with BFE), AR, AR/A, AR/AE, AR/A1–A30, AR/AH, AR/AO. Complete Items C2.a–h below according to the building diagram specified in Item A7. In Puerto Rico only, enter meters.

Benchmark Utilized: \_\_\_\_\_ Vertical Datum: \_\_\_\_\_

Indicate elevation datum used for the elevations in items a) through h) below.

NGVD 1929  NAVD 1988  Other/Source: \_\_\_\_\_

Datum used for building elevations must be the same as that used for the BFE.


Check the measurement used.

- |   |       |                               |                                 |
|---|-------|-------------------------------|---------------------------------|
| a) Top of bottom floor (including basement, crawlspace, or enclosure floor)   | _____ | <input type="checkbox"/> feet | <input type="checkbox"/> meters |
| b) Top of the next higher floor   | _____ | <input type="checkbox"/> feet | <input type="checkbox"/> meters |
| c) Bottom of the lowest horizontal structural member (V Zones only)   | _____ | <input type="checkbox"/> feet | <input type="checkbox"/> meters |
| d) Attached garage (top of slab)  | _____ | <input type="checkbox"/> feet | <input type="checkbox"/> meters |
| e) Lowest elevation of machinery or equipment servicing the building<br>(Describe type of equipment and location in Comments) | _____ | <input type="checkbox"/> feet | <input type="checkbox"/> meters |
| f) Lowest adjacent (finished) grade next to building (LAG)  | _____ | <input type="checkbox"/> feet | <input type="checkbox"/> meters |
| g) Highest adjacent (finished) grade next to building (HAG)   | _____ | <input type="checkbox"/> feet | <input type="checkbox"/> meters |
| h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support                                  | _____ | <input type="checkbox"/> feet | <input type="checkbox"/> meters |

## SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Were latitude and longitude in Section A provided by a licensed land surveyor?  Yes  No  Check here if attachments.

Certifier's Name Joshua Rosenberg		License Number RI-12640		
Title Professional Engineer				
Company Name RMA Environmental LLC				
Address 20 Main Street				
City Wickford	State Rhode Island	ZIP Code 02852		
Signature 	Date 9/14/2022	Telephone (401) 741-9667	Ext.	

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments (including type of equipment and location, per C2(e), if applicable)

Proposed Top of Slab Elevation Basement/Garage: 23.5

Top of Next Higher Floor Elevation: 34.0'

Lowest Elevation of Machinery: 23.5 in accordance with RI Building Code SBC-2-2019, IRC 2015, ASCE 7-10, ASCE 24-14

LAG: 22.5

HAG: 23.2

# ELEVATION CERTIFICATE

OMB No. 1660-0008  
Expiration Date: November 30, 2022

<b>IMPORTANT:</b> In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE	
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 507-509 High Street			Policy Number:	
City South Kingstown	State Rhode Island	ZIP Code 02879	Company NAIC Number	

## SECTION E – BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)

For Zones AO and A (without BFE), complete Items E1–E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1–E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

- E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
- a) Top of bottom floor (including basement, crawlspace, or enclosure) is \_\_\_\_\_  feet  meters  above or  below the HAG.
- b) Top of bottom floor (including basement, crawlspace, or enclosure) is \_\_\_\_\_  feet  meters  above or  below the LAG.
- E2. For Building Diagrams 6–9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 1–2 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is \_\_\_\_\_  feet  meters  above or  below the HAG.
- E3. Attached garage (top of slab) is \_\_\_\_\_  feet  meters  above or  below the HAG.
- E4. Top of platform of machinery and/or equipment servicing the building is \_\_\_\_\_  feet  meters  above or  below the HAG.
- E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance?  Yes  No  Unknown. The local official must certify this information in Section G.

## SECTION F – PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, and E are correct to the best of my knowledge.

Property Owner or Owner's Authorized Representative's Name

Address \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ ZIP Code \_\_\_\_\_  
Rhode Island

Signature \_\_\_\_\_ Date \_\_\_\_\_ Telephone \_\_\_\_\_

Comments

Check here if attachments.



**ELEVATION CERTIFICATE**

**BUILDING PHOTOGRAPHS**

See Instructions for Item A6.

OMB No. 1660-0008

Expiration Date: November 30, 2022

<b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>			<b>FOR INSURANCE COMPANY USE</b>
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 507-509 High Street			Policy Number:
City South Kingstown	State Rhode Island	ZIP Code 02879	Company NAIC Number

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least 2 building photographs below according to the instructions for Item A6. Identify all photographs with date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8. If submitting more photographs than will fit on this page, use the Continuation Page.

Photo One

Photo One

Photo One Caption

Clear Photo One

Photo Two

Photo Two

Photo Two Caption

Clear Photo Two

**ELEVATION CERTIFICATE**

**BUILDING PHOTOGRAPHS**

Continuation Page

OMB No. 1660-0008

Expiration Date: November 30, 2022

<b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>			<b>FOR INSURANCE COMPANY USE</b>
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 507-509 High Street			Policy Number:
City South Kingstown	State Rhode Island	ZIP Code 02879	Company NAIC Number

If submitting more photographs than will fit on the preceding page, affix the additional photographs below. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8.

**Photo Three**

Photo Three

Photo Three Caption

Clear Photo Three

**Photo Four**

Photo Four

Photo Four Caption

Clear Photo Four



**RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT**  
**OFFICE OF WATER RESOURCES**  
235 Promenade Street  
Providence, Rhode Island 02908

February 22, 2021

Glenn McCrory  
80 Fawn's Run  
North Kingstown, RI 02852

**Insignificant Alteration – Permit**

**Re: Application No. 19-0346 in reference to the location below:**

Approximately 75 feet east of High Street (at 507-509 High Street), Utility Pole 1815-48, approximately 250 feet south of its intersection with Kingstown Road, Assessor's Plat 48-3, Lot 150, South Kingstown, RI.

Dear Mr. McCrory:

Kindly be advised that the Department of Environmental Management's ("DEM") Freshwater Wetlands Program ("Program") has completed its review of your **Request for Preliminary Determination** application. This review included a site inspection of the above referenced property ("subject property") and an evaluation of the proposed five (5) condominium units with attached decks, expanded gravel parking areas, dumpster enclosure, vegetated bioretention basin and mitigation plantings with associated site alterations as illustrated and detailed on site plans submitted with your application. These revised site plans were received by the DEM on December 30, 2020 and the revised Operation & Maintenance Plan was received by the DEM on February 11, 2021.

Our observations of the subject property, review of the site plans and evaluation of the proposed project reveals that alterations of freshwater wetlands are proposed. However, pursuant to 250-RICR-150-15-1.9 of the Rules and Regulations Governing the Administration and Enforcement of the Fresh Water Wetlands Act, 250-RICR-150-15-1, this project may be permitted as an **insignificant alteration** to freshwater wetlands under the following terms and conditions:

**Terms and Conditions for Wetlands Application No. 19-0346:**

1. This letter is the DEM's permit for this project under the R.I. Fresh Water Wetlands Act, R.I. Gen. Laws § 2-1-18 et seq.
2. This permit is specifically limited to the project, site alterations and limits of disturbance as detailed on the revised site plans submitted with your application and received by the DEM on December 30, 2020. A copy of the site plans stamped approved by the DEM is enclosed. Changes or revisions to the project that would alter freshwater wetlands are not authorized without a permit from the DEM.
3. Where the terms and conditions of the permit conflict with the approved site plans, these terms and conditions shall be deemed to supersede the site plans.

4. You must notify this Program in writing of the anticipated start date, and of your contractor's contact information, by submitting the Notice of Start of Construction Form prior to commencement of any permitted site alterations or construction activity. You must also notify this Program in writing upon completion of the project. The Start of Construction Form can be found on the webpage: [dem.ri.gov/stormwaterconstruction](http://dem.ri.gov/stormwaterconstruction)
5. A copy of the stamped approved site plans and a copy of this permit must be kept at the site at all times during site preparation, construction, and final stabilization. Copies of this permit and the stamped approved plans must be made available for review by any DEM or town representative upon request.
6. Within ten (10) days of the receipt of this permit, you must record this permit in the land evidence records of the Town of South Kingstown and supply this Program with written documentation obtained from the Town showing this permit was recorded.
7. The effective date of this permit is the date this letter was issued. This permit expires four (4) years from the date of this letter unless renewed pursuant to the Rules.
8. Any material utilized in this project must be clean and free of matter that could pollute any freshwater wetland.
9. Prior to commencement of site alterations, you shall erect or post a sign resistant to the weather and at least twelve (12) inches wide and eighteen (18) inches long, which boldly identifies the initials "DEM" and the application number of this permit. This sign must be maintained at the site in a conspicuous location until such time that the project is complete.
10. Temporary erosion and sediment controls detailed or described on the approved site plans shall be properly installed at the site prior to or commensurate with site alterations. Such controls shall be properly maintained, replaced, supplemented, or modified as necessary throughout the life of this project to minimize soil erosion and to prevent sediment from being deposited in any wetlands not subject to disturbance under this permit.
11. Upon permanent stabilization of all disturbed soils, temporary erosion and/or sediment controls must be removed.
12. You are responsible for the proper installation, operation, maintenance and stability of any mitigative features, stormwater treatment facilities, and systems of treatment and control that are installed or used in compliance with this permit to prevent harm to adjacent wetlands until documentation is provided that this responsibility has been assigned to another entity. The long-term operation and maintenance plan shall be strictly followed. The long-term O & M Plan shall be that entitled "Operation & Maintenance Plan for the Stormwater Management System; Project: Existing Multi-Family Dwelling and Proposed 5-Unit Condominium Parking and Stormwater Improvements, Assessor's Plat 48-3, Lot 150, 507-509 High Street, South Kingstown, RI; Applicant / Owner's Name: Glenn & Gretel McCrory, 570 Glen Hill Drive, Saunterstown, RI 02874," dated 12/20/2020, dated received 02/11/2021, prepared by Gary C. Lamond, P.E., LLC.
13. A 2.5' wide by 1.5' deep washed crushed stone diaphragm shall be added between the proposed parking area and the bioretention practice to serve as pretreatment for runoff entering the proposed bioretention basin.

14. The owner shall perform stream maintenance activities in the form of removal of fallen trees that have been observed partially clogging the stream adjacent to the site. In no case shall such work exceed the exempted activities allowed without a permit by the Freshwater Wetlands Rules -- see Rule 250-RICR-150-15.1.6(C)(1)(j).
15. You are obligated to install, utilize and follow all best management practices detailed or described on the approved site plans in the construction of the project to minimize or prevent adverse impacts to any adjacent freshwater wetlands and the functions and values provided by such wetlands.
16. Since the proposed Bioretention basin may provide some limited volumetric compensation for flood storage, it must be completed prior to any filling or construction alterations within flood plain or areas subject to flooding on the subject property.
17. All plantings of shrubs, trees or other forms of vegetation as shown or detailed on the approved plans, or detailed in this permit, must be installed as soon as possible after completion of final grading; weather and season permitting.
18. Buffer zone plantings of trees and/or shrubs proposed between the project and any adjacent freshwater wetland areas, except for necessary replacement, must be allowed to develop naturally without being subjected to mowing or manicuring.
19. Any plantings which fail to survive one full growing season shall be replaced. Replacement plantings shall be similarly guaranteed for one full growing season.
20. Artificial lighting must be directed away from all vegetated wetland areas. Where this is not possible, the use of deflectors to concentrate lighting away from vegetated wetlands must be employed.
21. You must provide written certification from a registered land surveyor or registered professional engineer that the stormwater drainage system including any and all basins, piping systems, catch basins, culverts, swales and any other stormwater management control features have been constructed/installed in accordance with the site plans approved by this permit. This written certification must be submitted to this Program within twenty (20) days of its request or upon completion of the project.

Pursuant to the provisions in 250-RICR-150-15-1.7(A)(9) and 250-RICR-150-15-1.11(D), as applicable, any properly recorded and valid permit is automatically transferred to the new owner upon sale of the property.

You are required to comply with the terms and conditions of this permit and to carry out this project in compliance with the Rules at all times. Failure to do so may result in an enforcement action by this Department.

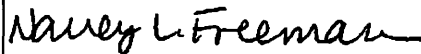
In permitting the proposed alterations, the DEM assumes no responsibility for damages resulting from faulty design or construction.

Kindly be advised that this permit is not equivalent to a verification of the type or extent of freshwater wetlands on site. Should you wish to have the types and extent of freshwater wetlands verified, you may submit the appropriate application in accordance with 250-RICR-150-15-1.8(C).

This permit does not remove your obligation to obtain any local, state, or federal approvals or permits required by ordinance or law and does not relieve you from any duties owed to adjacent landowners with specific reference to any changes in drainage.

Please contact Rene Legault of this office (telephone: 401-222-4700, ext. 77732) should you have any questions regarding this letter.

Sincerely,



Nancy L. Freeman, Principal Environmental Scientist  
Office of Water Resources  
Freshwater Wetlands Program

NLF/RJL/rjl

Enclosure: Approved site plans

cc: Jon R. Schock, South Kingstown Town Director of Public Works  
Jamie Gorman, South Kingstown Town Building Official  
Nicholas A. Pisani, PE, Supervisor, DEM Stormwater Program  
Gary C. Lamond, Gary C. Lamond, PE, LLC.