

**SUPPORTING MATERIALS
FOR THE
HOSLEY MINOR
SUBDIVISION**

LOCATED AT

LOT 54 A.M. 57

**1696 MINISTERIAL ROAD
SOUTH KINGSTOWN, RI**

PREPARED BY:

Christopher G. Palmer PLS

DOUGHERTY & ASSOCIATES
LAW, INC.

887 Boston Neck Road, Suite #1
Narragansett, RI 02882

Ph: 401-789-8400
Fax: 401-789-8401

August 31, 2022

Honorable Members of the Scenic Road Commission

Re: **1696 Ministerial Road – Hosley Property**

Dear Members of the Scenic Road Commission:

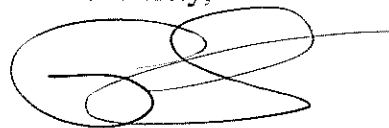
I am counsel to the applicant/owners of the above referenced property regarding the intended subdivision which is before you concerning the access to Ministerial Road. It has come to my attention that the Commission is questioning whether there is any other more desirable entry point available to service the subject property.

The short answer is a definitive no and this is based upon extensive title examination which was previously undertaken in the initial planning stages of this project, along with requests of the owner of land and grantor of an easement located to the south of the subject property which services another unrelated lot not before you in connection with this matter.

Unfortunately, the Hosleys do not have rights to the easement and private driveway to the north of their property, nor do they have any rights whatsoever in the private driveway located to the south of the subject lot. I can assure you that attempts were made to try to gain access through other means, but the abutter to the south has indicated that she does not wish to grant an easement to the Hosleys. Furthermore, an exhaustive title examination was undertaken at significant cost in an attempt to determine whether the Hosley property were entitled to benefit and use of the private access way which is located off Ministerial Road to the north of the subject property. It is clear and it was concluded that the subject property had no such rights, thereby leaving the Hosleys with no other viable options other than the one proposed.

If you require or would like additional information or clarification, please do not hesitate to contact me and I will respond accordingly.

Sincerely,

A handwritten signature in black ink, appearing to read "Patrick J. Dougherty". The signature is stylized with large, overlapping loops and a long horizontal stroke extending to the right.

Patrick J. Dougherty



Division of Highway and Bridge
Maintenance
360 Lincoln Avenue
Warwick, RI 02888

PHYSICAL ALTERATION PERMIT

Application Number: 22-77

Date: October 14, 2022

Expiration Date: October 14, 2023

APPLICANT (PERMITTEE): Wendy Hosley
Address: 69 Kickapoo Run Charlestown RI 02813 Phone Number: 401-932-4145

PROPERTY OWNER: SAME AS APPLICANT
Address: Phone Number:

DEVELOPER: SAME AS APPLICANT
Address: Phone Number:

ENGINEER: SUSAN B CAPASSO
SUSAN B. CAPASSO
Address: 11 CRESTVIEW CIR NORTH SCITUATE RI 02857 Phone Number:

TYPE OF APPLICATION: Single Family Residential

LOCATION OF WORK: 1696 Ministerial Road South Kingstown Rhode Island 02879

DIRECT TIE-IN TO STATE DRAINAGE SYSTEM?: No

IF YES, provide coordinates:
COORDINATE SYSTEM:

PURPOSE OF PERMIT: Proposed driveway access for a new single family residential dwelling

This permit is valid for one year from the date the permit is issued and expires on the date noted above, subject to the conditions listed below and/or attached. Extensions may be granted upon request in accordance with Section 4.6, Part E, of the Department's Rules and Regulations regarding Physical Alteration Permits.


CONDITIONS OF APPROVAL:

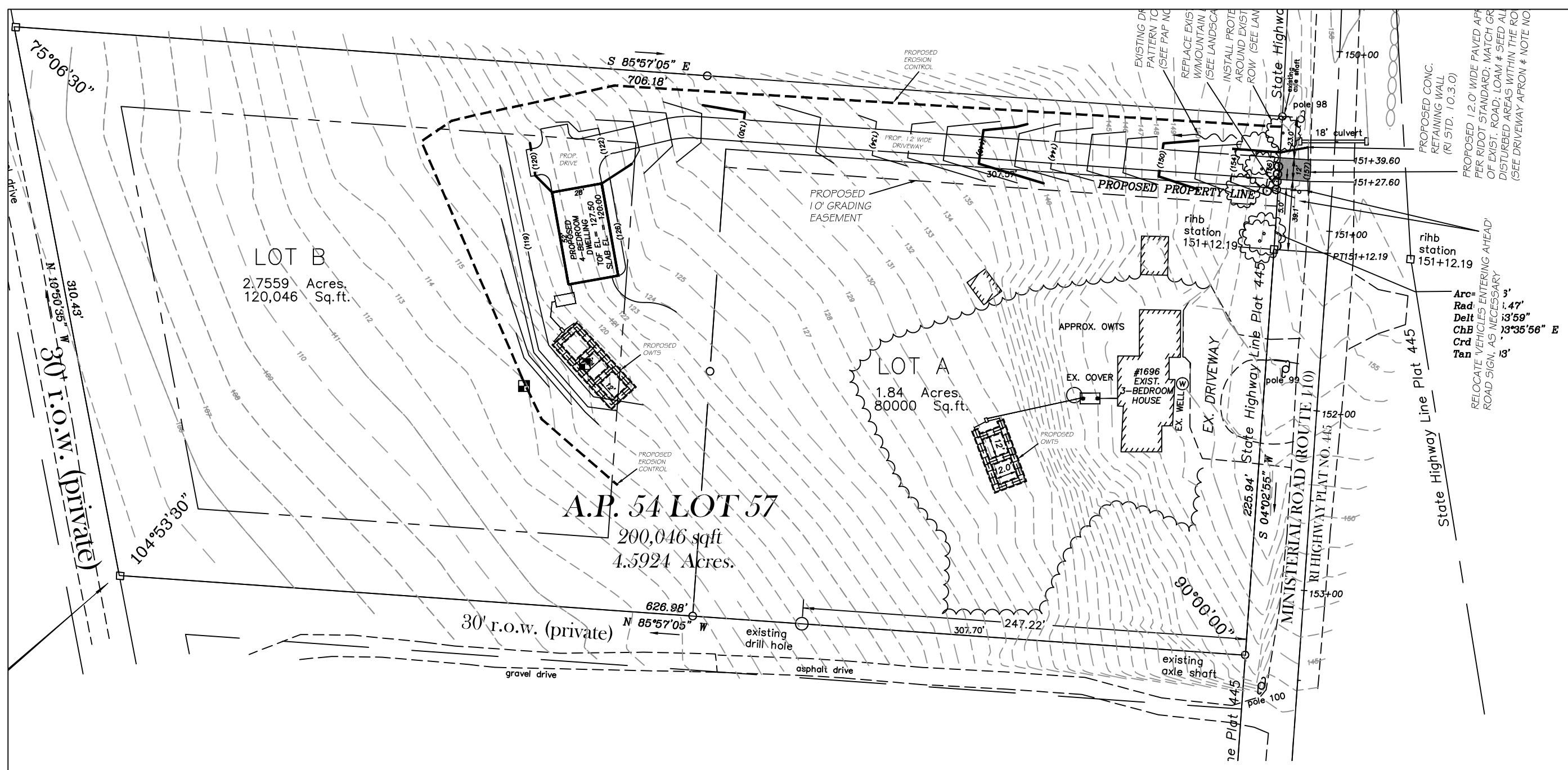
- 1.) Specifications that govern this permit are the Rhode Island Department of Transportation Standard Specifications for Road and Bridge Construction, 2004 Edition (Amended March 2018), with all revisions (RIDOT Std Specifications) and the special provisions included in this permit. Standard Details for this permit are the Rhode Island Standard Details, 1998 Edition (Amended June 2019), with all revisions (RI Std Details). The RIDOT Hot Mix Asphalt (HMA) Matrix is incorporated into this permit by reference. All traffic control shall conform to the Manual on Uniform Traffic Control Devices (MUTCD), 2009 Edition, with all revisions.
 - 7.) The driveway (roadway) approach will be constructed so that roadside drainage shall not be deflected or impeded.
 - 8.) Tree removal will be performed by a state of Rhode Island licensed and bonded arborist.
 - 9.) Tree stumps must be removed and all disturbed areas must be loamed and seeded.
 - 11.) Elevate end of driveway and maintain grassed shoulder to control runoff along edge of road.
 - 13.) This permit's intent is only to give permission for drainage tie-ins & driveway curb cuts. Any other work performed on state property such as gas, water, or sewer lines will require a utility permit from this office @ (401) 734-4835.
 - 14.) Any damage to state property caused by construction shall be repaired or replaced to the satisfaction of the department.
 - 14a.) Any damage to state property caused by construction or due to the added runoff to the state's drainage system shall be repaired or replaced to the satisfaction of the department.
 - 21.) Applicant/permittee agrees that (a) no person shall, on the grounds of race, color, sex, national origin age or disability be excluded from participation in, be denied the benefits of or be otherwise subjected to discrimination in the use of state property (s) in the furnishing or services on state property, no person shall, on the grounds of race, of race, color, sex, national origin age or disability be excluded from participation in, be denied the benefits of or be otherwise subjected to discrimination; and (c) the applicant/permitte shall use state property in compliance with all other requirements imposed by or pursuant to 49 c.f.r. part 21, nondiscrimination in federally-assisted programs of the Department of Transportation – effectuation of title vi of the Civil Rights Act of 1964 (the regulations) and as the regulations may be amended.
- In accordance with the approval of the Scenic Roadway Board, the following permit conditions shall apply:

Special Permit Specific Condition 1.) Removal of the arborvitae from the landscape plan to be replaced with mountain laurel.

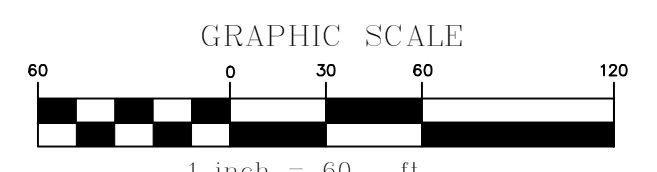
Special Permit Specific Condition 2.) Protection of the tree located nearby the driveway opening within the right-of-way by use of protective fencing and prohibition of placement of any heavy materials on the tree's root zone.

Special Permit Specific Condition 3.) Driveway surface material to be installed per the site plan.

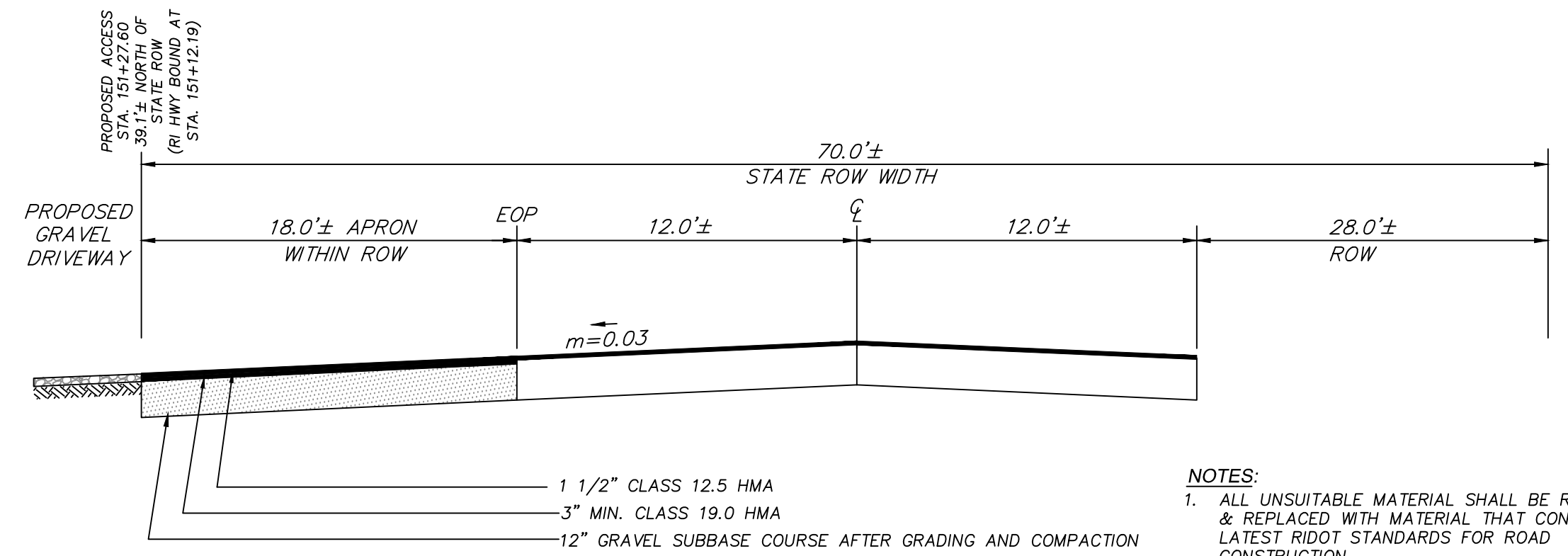
HIGHWAY AND BRIDGE MAINTENANCE	INFRASTRUCTURE
Approved 	
STATE HIGHWAY MAINTENANCE OPERATIONS ENGINEER	CHIEF ENGINEER



OVERALL PROPERTY LINE PLAN



lot 39 a.n
54
land n/f
James &
Isa
johnson

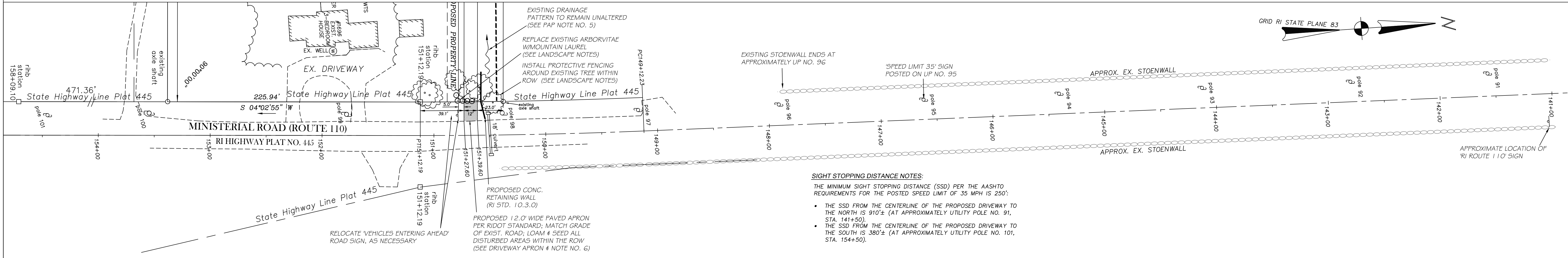


DRIVEWAY APRON DETAIL
NOT TO SCALE

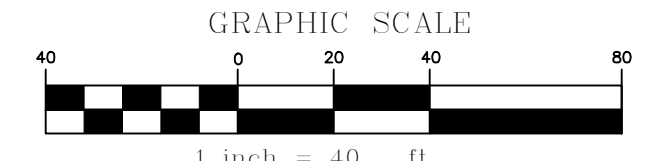
- NOTES:
1. ALL UNSUITABLE MATERIAL SHALL BE REMOVED & REPLACED WITH MATERIAL THAT CONFORMS TO LATEST RIDOT STANDARDS FOR ROAD CONSTRUCTION.
 2. ALL PAVEMENT STRUCTURE MATERIALS REQUIRED FOR THE DRIVEWAY APRON WITHIN THE STATE ROW SHALL CONFORM TO LATEST RIDOT NMAS CLASSIFICATIONS FOR HMA (SEE RIDOT HMA MATRIX).

LEGEND

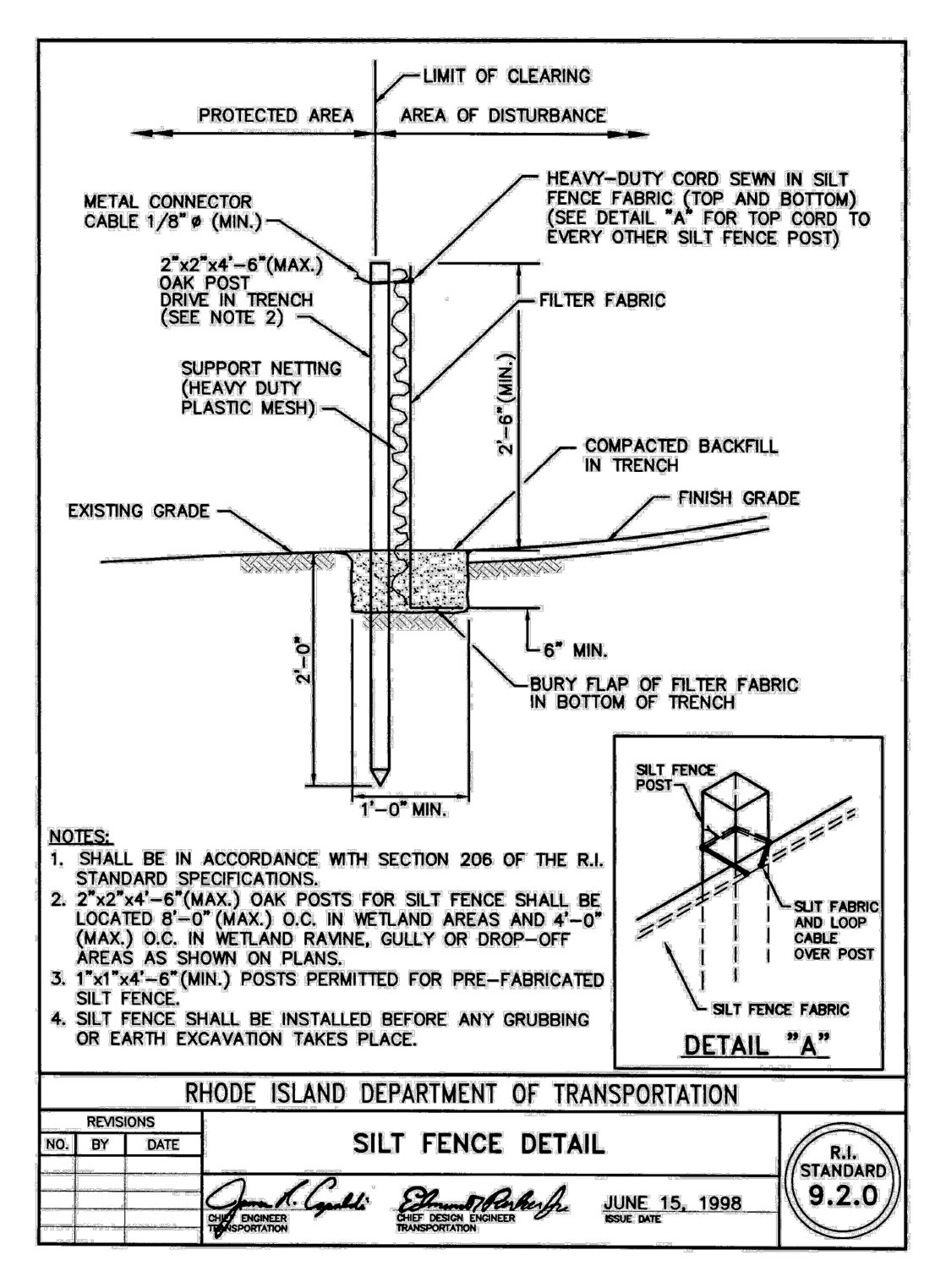
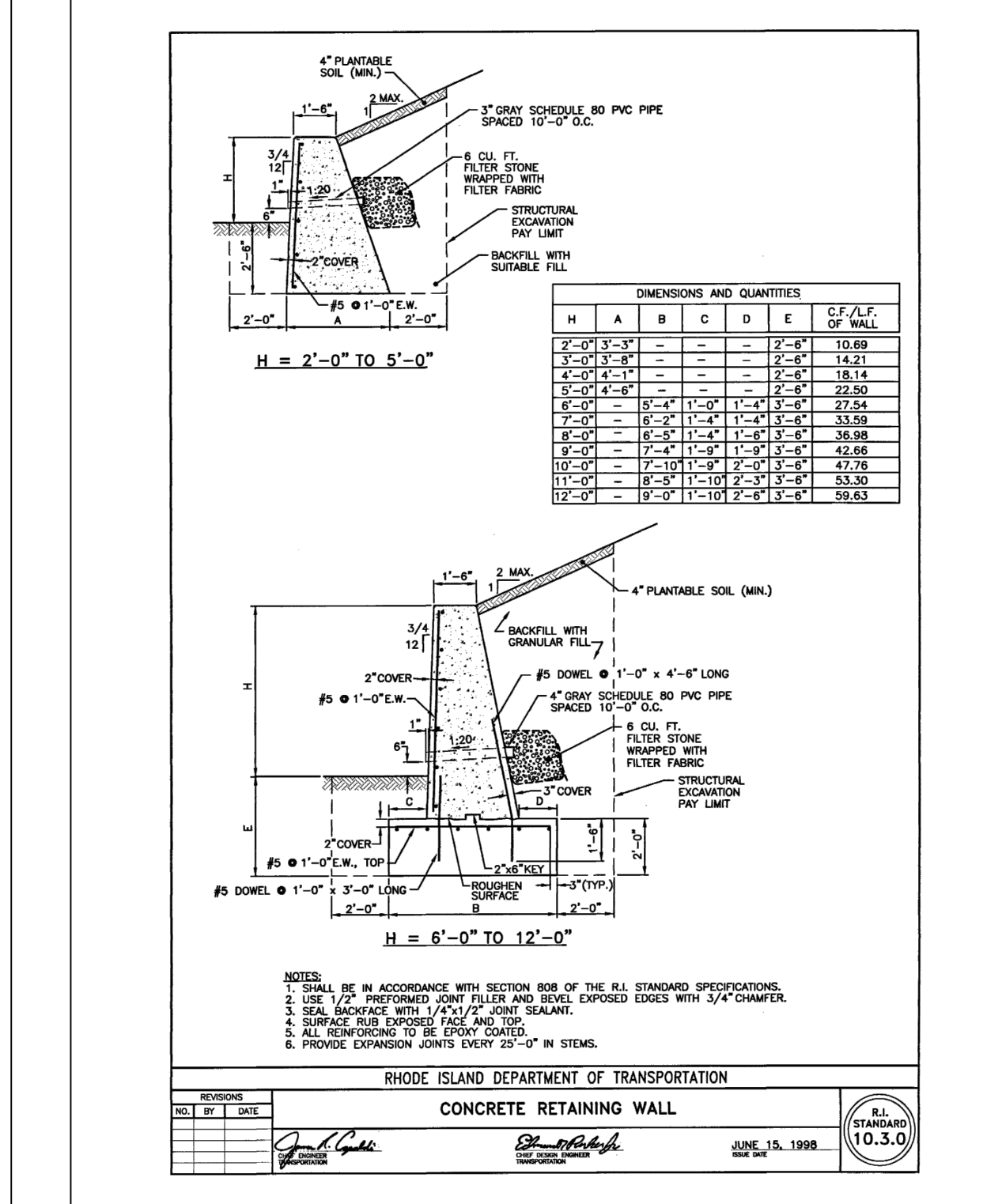
- STONE WALL
- PROPERTY LINE
- BUILDING SETBACK LINE
- UTILITY POLE
- EXISTING WELL
- EXISTING TREE
- EXISTING CESSPOOL
- SOIL EVALUATION TEST HOLE
- THM
- AC
- SF
- A.P.
- N/F
- EXISTING CONTOUR
- PROPOSED CONTOUR
- GRADE TO DRAIN
- 100x8
- PROPOSED EROSION CONTROL
- PROPOSED APRON
- STATE HIGHWAY LINE



DRIVEWAY ACCESS/ROADWAY PLAN



- SIGHT STOPPING DISTANCE NOTES:**
THE MINIMUM SIGHT STOPPING DISTANCE (SSD) PER THE AASHTO REQUIREMENTS FOR THE POSTED SPEED LIMIT OF 35 MPH IS 250':
- THE SSD FROM THE CENTERLINE OF THE PROPOSED DRIVEWAY TO THE NORTH IS 910'± (AT APPROXIMATELY UTILITY POLE NO. 91, STA. 141+50).
 - THE SSD FROM THE CENTERLINE OF THE PROPOSED DRIVEWAY TO THE SOUTH IS 380'± (AT APPROXIMATELY UTILITY POLE NO. 101, STA. 154+50).



PAP PLAN NOTES

1. THE CONTRACTOR SHALL VERIFY PROPERTY LINE LOCATION, BENCHMARK ELEVATIONS AND ALL FIELD CONDITIONS PRIOR TO ANY CONSTRUCTION.
2. THE CONTRACTOR SHALL CALL "DIG-SAFE" AND VERIFY THE LOCATION OF ALL THE UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
3. THE CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES PRIOR TO START OF LAND DISTURBING ACTIVITIES.
4. THERE ARE NO PROPOSED GRADE CHANGES AT PROPOSED DRIVEWAY ACCESS; EXISTING DRAINAGE PATTERNS TO REMAIN UNIMPEDED.
5. IT WAS OBSERVED IN THE FIELD THAT THE EXISTING CULVERT COLLECTS OR CONVEYS MINIMAL STORMWATER IF ANY; CULVERT IS LOCATED AT A HIGH POINT IN THE ROADWAY; CULVERT OPENINGS ON BOTH SIDES OF THE ROADWAY ARE PARTIALLY FILLED IN.
6. BITUMINOUS PAVEMENT DRIVEWAY APRON TO BE INSTALLED TO EDGE OF STATE HIGHWAY LINE; GRADE OF DRIVEWAY ACCESS WITHIN STATE ROW WILL CONTINUE SLOPE TOWARD PROPERTY; EXISTING DRAINAGE PATTERN WILL NOT BE ALTERED AND WILL NOT IMPACT THE STATE ROAD.
6. ALL UTILITY WORK WILL BE APPLIED UNDER A SEPARATE UTILITY PERMIT APPLICATION.

LANDSCAPE NOTES

1. PER THE RHODE ISLAND SCENIC ROADWAYS BOARD MEMO DATED AUGUST 29, 2022 THE FOLLOWING CONDITIONS MUST BE MET:
 1. REMOVAL OF THE ARBORVITAE FROM THE SITE PLAN TO BE REPLACED WITH MOUNTAIN LAUREL (SEE SITE PLAN).
 2. PROTECTION OF THE TREE LOCATED NEAR THE DRIVEWAY OPENING WITHIN THE RIGHT-OF-WAY BY USE OF PROTECTIVE FENCING AND PROHIBITION OF PLACEMENT OF ANY HEAVY MATERIALS ON THE TREE'S ROOT ZONE (SEE SITE PLAN).
 3. DRIVEWAY SURFACE MATERIALS TO BE INSTALLED PER THE SITE PLAN.
2. LOAM & SEED ALL DISTURBED AREAS WITHIN THE STATE ROW.

GENERAL CONSTRUCTION NOTES:

1. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO OBTAIN ANY AND ALL PERMITS REQUIRED BY THE STATE AND THE MUNICIPALITY IN WHICH WORK IS BEING PERFORMED PRIOR TO START OF ANY WORK.
2. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DOCUMENT EXISTING CONDITIONS OF SURROUNDING PROPERTIES AND TO MAINTAIN THE INTEGRITY OF THE SAME. ANY DAMAGE TO AND THE COST OF REPAIR OF UTILITIES, ROADWAYS, STRUCTURES AND SURROUNDING PROPERTY SHALL BE FULLY BORNE BY THE CONTRACTOR.
3. ALL WORKMANSHIP AND MATERIALS SHALL MEET OR EXCEED THE LATEST STANDARDS OF THE MUNICIPALITY, AND THE LATEST STATE STANDARDS AND SPECIFICATIONS PUBLISHED FOR ROAD AND BRIDGE CONSTRUCTION.
4. CONTACT DIG-SAFE AND UTILITY COMPANIES FOR EXACT ON-SITE LOCATION OF EXISTING UNDERGROUND UTILITIES AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO START OF CONSTRUCTION.
5. CONTRACTOR SHALL OBTAIN REQUIRED INSPECTION SCHEDULE OF THE MUNICIPALITY, UTILITY COMPANIES AND ALL OTHER REQUIRED PARTIES AND SHALL STRICTLY ADHERE TO THOSE REQUIREMENTS.
6. ALL CONTRACTORS SHALL ADHERE TO ALL CONDITIONS OF CONSTRUCTION APPROVALS AND SHALL KEEP A COPY OF ALL APPROVALS ON-SITE DURING CONSTRUCTION. CONTRACTOR SHALL READ THE APPROVALS PRIOR TO START OF CONSTRUCTION AND SHALL CLARIFY ANY QUESTIONS BEFOREHAND.
7. OIL ABSORBING PILLOWS OR OTHER MEANS SHALL BE USED TO REMOVE ACCUMULATIONS OF HYDROCARBONS (OIL, GREASE) THAT ARE REGULARLY OBSERVED TO CONTAIN HYDROCARBONS, THAT DO NOT EVAPORATE BETWEEN INSPECTIONS.
8. ANY REFUELING, GREASING OR ADJUSTMENTS OF CONSTRUCTION VEHICLES OR EQUIPMENT SHALL TAKE PLACE AT LEAST 100 FEET FROM WETLAND AREAS.
9. ANY ON-SITE DISPOSAL OF SOLID WASTE, INCLUDING EARTH MATERIALS, SHALL OCCUR OUTSIDE RIDEM/RICMOC JURISDICTIONAL WETLANDS AND OUTSIDE OF THE CONSTRUCTION AREAS (UNLESS OTHERWISE DESIGNATED). ANY MATERIAL NOT RE-USED ON-SITE SHALL BE HAULED OFF-SITE TO AN AUTHORIZED, LEGAL LOCATION.
10. ALL CONTRACTORS AND SUBCONTRACTORS SHALL BE INFORMED THAT THE CLEANING OF EQUIPMENT IS PROHIBITED IN AREAS WHERE THE WASH-WATER WILL DRAIN DIRECTLY TO WETLANDS.
11. THE LOCATION AND DEPTH OF EXISTING UTILITIES HAVE BEEN PLOTTED FROM THE LATEST AVAILABLE INFORMATION. THE UTILITY LOCATIONS ARE APPROXIMATE AND MAY NOT BE ALL INCLUSIVE. THE CONTRACTOR SHALL CHECK AND VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, BOTH OVERHEAD AND UNDERGROUND, AND "DIG-SAFE" MUST BE NOTIFIED PRIOR TO COMMENCING ANY CONSTRUCTION OPERATIONS.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING (R&D) ALL MATERIALS TO INCLUDE, BUT NOT BE LIMITED TO, TREES, STUMPS, UNSUITABLE MATERIAL, BITUMINOUS PAVEMENT, ETC.
13. MATING AS SPECIFIED BY ENGINEER OR ENVIRONMENTAL CONSULTANT IS TO BE PLACED ALONG ACCESS ROUTE FROM PAVED DRIVEWAY TO STAGING AREA FOR ANY EQUIPMENT MOVEMENT.

PLAN REFERENCE

THIS "PROPOSED DRIVEWAY ACCESS PLAN" IS PREPARED FOR A RIDOT PHYSICAL ALTERATION PERMIT (PAP) APPLICATION. THIS PLAN IS BASED ON THE HOSLEY PLAT MAJOR SUBDIVISION PLAN, COMPREHENSIVE BOUNDARY SURVEY 1698 MINISTERIAL ROAD, SOUTH KINGSTOWN, RHODE ISLAND, ASSESSOR'S PLAT 54 LOT 57; PREPARED BY CHRISTOPHER G. PALMER, PLS ON MARCH 24, 2022.

SUBJECT PROPERTY

ASSESSOR'S PLAT 54 LOT 57
MINISTERIAL ROAD (RI ROUTE 110)
LOCATED AT POLE NO. 98
(RI HIGHWAY PLAT 445)

RIDOT PAP APPLICATION NO. 22-77
PROPOSED DRIVEWAY ACCESS PLAN

Project:
THE HOSLEY PLAT
AP 54 LOT 57
1696 MINISTERIAL ROAD
SOUTH KINGSTOWN, RHODE ISLAND

Prepared for:
OWNER/APPLICANT: WENDY HOSLEY
69 KICKAPOO RUN, CHARLESTOWN, RI

SUSAN B. CAPASSO
No. 7443
REGISTERED PROFESSIONAL ENGINEER (CIVIL)



**RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
ONSITE WASTEWATER TREATMENT SYSTEM CONSTRUCTION PERMIT**



www.dem.ri.gov/septic

FOR RIDEM USE ONLY

APPLICATION No. 2132-1439 DATE RECEIVED 6/17/22 AMOUNT RECEIVED \$ 350 CHECK # 163 NOTE 14

TYPE OF APPLICATION (CHECK ALL THAT APPLY)

- | | |
|--|--|
| <input type="checkbox"/> NEW BUILDING CONSTRUCTION | <input type="checkbox"/> A/E TECHNOLOGY TYPE _____ |
| <input type="checkbox"/> ALTERATION | <input type="checkbox"/> VARIANCE |
| <input type="checkbox"/> REPAIR | <input type="checkbox"/> REDESIGN |
| <input type="checkbox"/> TRANSFER | <input type="checkbox"/> JOINT OWTS / WETLANDS PD |

I, SUSAN B LAPASSO (print), the undersigned licensed OWTS designer, certify that I prepared this application and accompanying forms, submittals, plans and sketches in accordance with the RULES of the RIDEM pertaining to OWTS and that all the information provided on this application and accompanying forms, submittals, plans and sketches is true and accurate.

Designer's Signature [Signature] License # D3057

Designer's Email SUELAPASSO@GMAIL.COM Phone # (401) 261-8570

Business/Company Name SUSAN B LAPASSO PE

I certify that a) I am the owner of the property indicated under the site information on this application, b) I will hire a licensed OWTS installer to install the system proposed herein, c) the system will be installed in strict accordance with this application, d) I will hire and retain the licensed OWTS designer of record to witness and inspect the installation of the system, e) I assume all responsibility for the truth and accuracy of this application and all liability and responsibility for any improper installations of the system on this site and agree to hold the RIDEM harmless from any and all claims relating whatsoever to the system. In the case of a transfer application, I acknowledge that the permit application and plans previously approved and accompanying this application are the operative documents subject to certification.

Owner's Phone Number 401-932-0176

Owner's Email whosley69@gmail.com

Owner(s) Signature Wendy Hosley

SITE INFORMATION

NO. STREET 1690 MINISTERIAL RD SOUTH KINGSTON CITY/TOWN SOUTH KINGSTON POLE # _____
 PLAT NUMBER 54 LOT NUMBER 57 SUBDIVISION LOT NUMBER A
 LOT SIZE 4.6 SF/ACRES EXISTING/1.8 ACRES PROPOSED
 SUBDIVISION NAME HOSLEY PLAT
 SUBDIVISION SITE SUITABILITY CERTIFICATION # NA

OWNER INFORMATION

LAST NAME HOSLEY FIRST NAME WENDY M.I. _____
 NO. STREET 169 KILKA 200 RUN CHARLESTOWN RI CITY/TOWN CHARLESTOWN ZIP CODE 02813

RIDEM APPLICATION HISTORY

PREVIOUS SITE TESTING YES NO APPLICATION # 2132-1439
 DEPTH TO APPROVED WATER TABLE 72" HOW DETERMINED SOIL EVAL.
 TEST HOLE # PH DATE EXCAVATED 10/13/21 WETLANDS within 200' OF OWTS YES NO
 WETLAND DETERMINATION YES NO RIDEM FILE # _____ DATE 1/1/
 LARGE SYSTEM YES NO OCI FILE # IF APPLICABLE _____

DESIGN INFORMATION

BUILDING USE: Residential Commercial Other _____
 WATER SUPPLY: public water public well private well
 # OF DESIGN UNITS 3
 UNIT DESIGN FLOW 15 gallons per (unit) TOTAL DAILY FLOW 45 gallons
 TANK SIZE 1000 gallons DESIGN LOADING RATE 0.48 gpd/sf
 MINIMUM REQUIRED LEACHFIELD AREA 718.8 square feet
 LEACHFIELD TYPE 27 ELTENIN-DRAIN UNITS
 TOTAL AREA OF LEACHFIELD PROVIDED 756.0 square feet

PERMIT APPROVAL SECTION: DO NOT WRITE BELOW THIS LINE

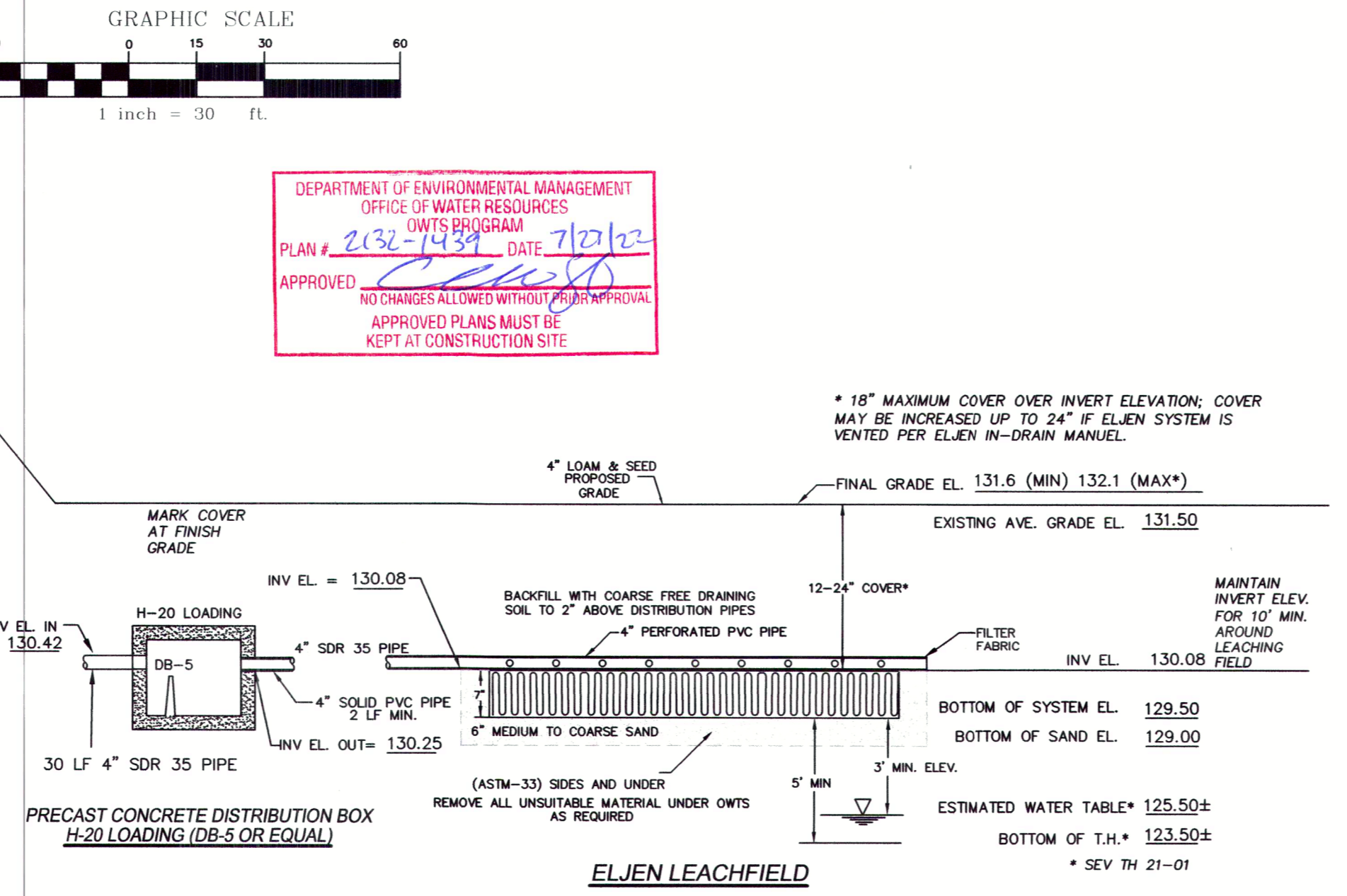
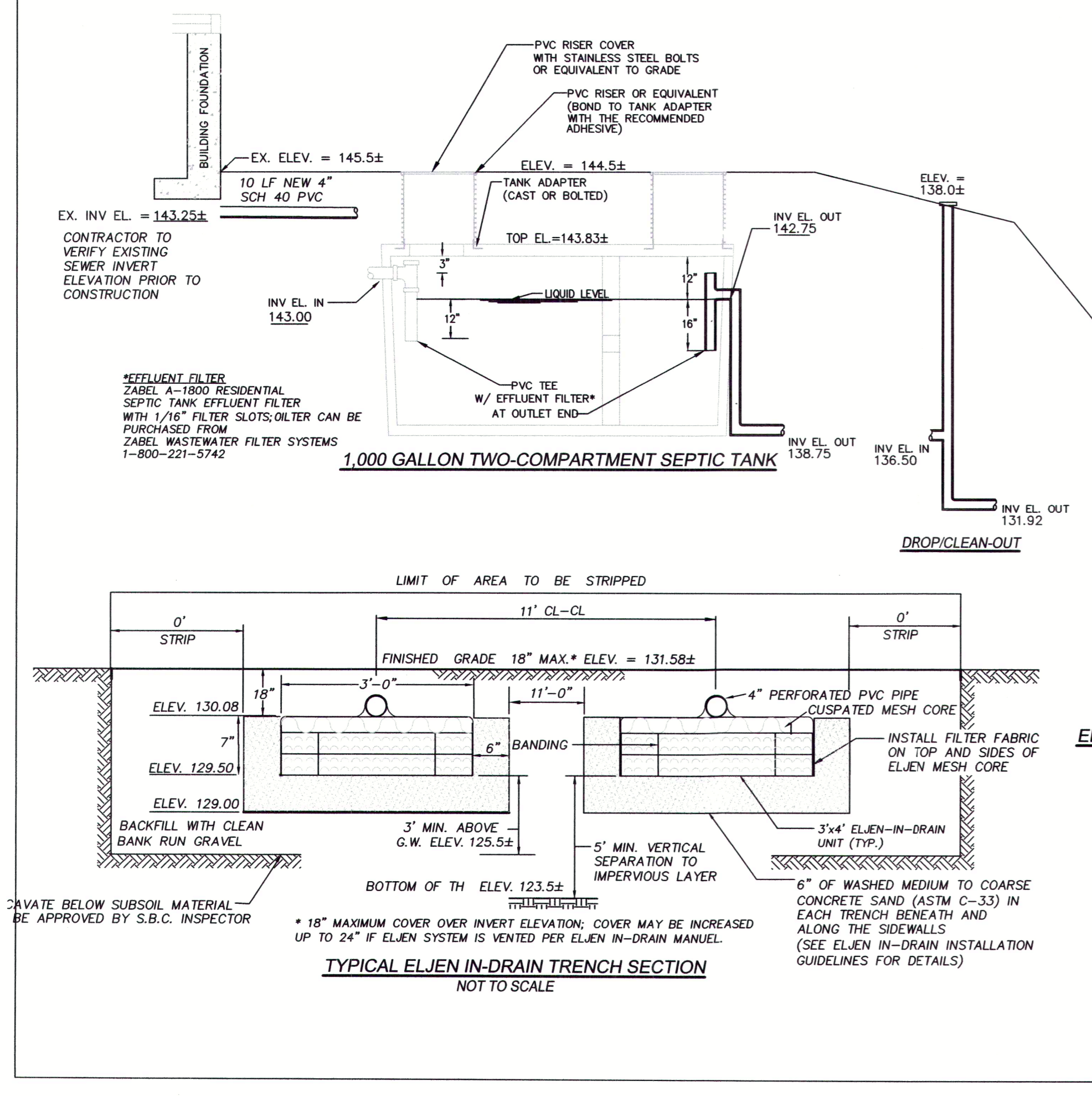
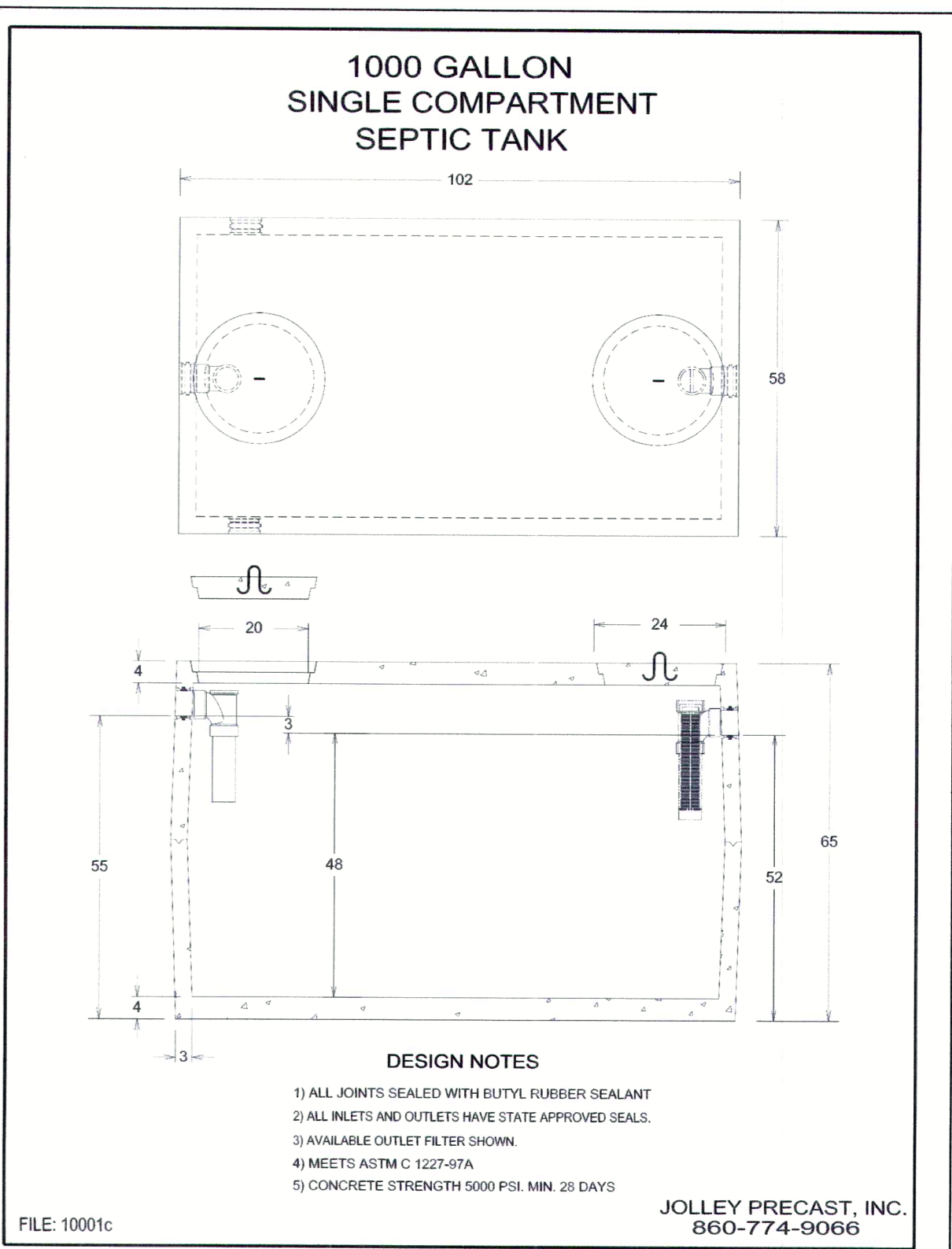
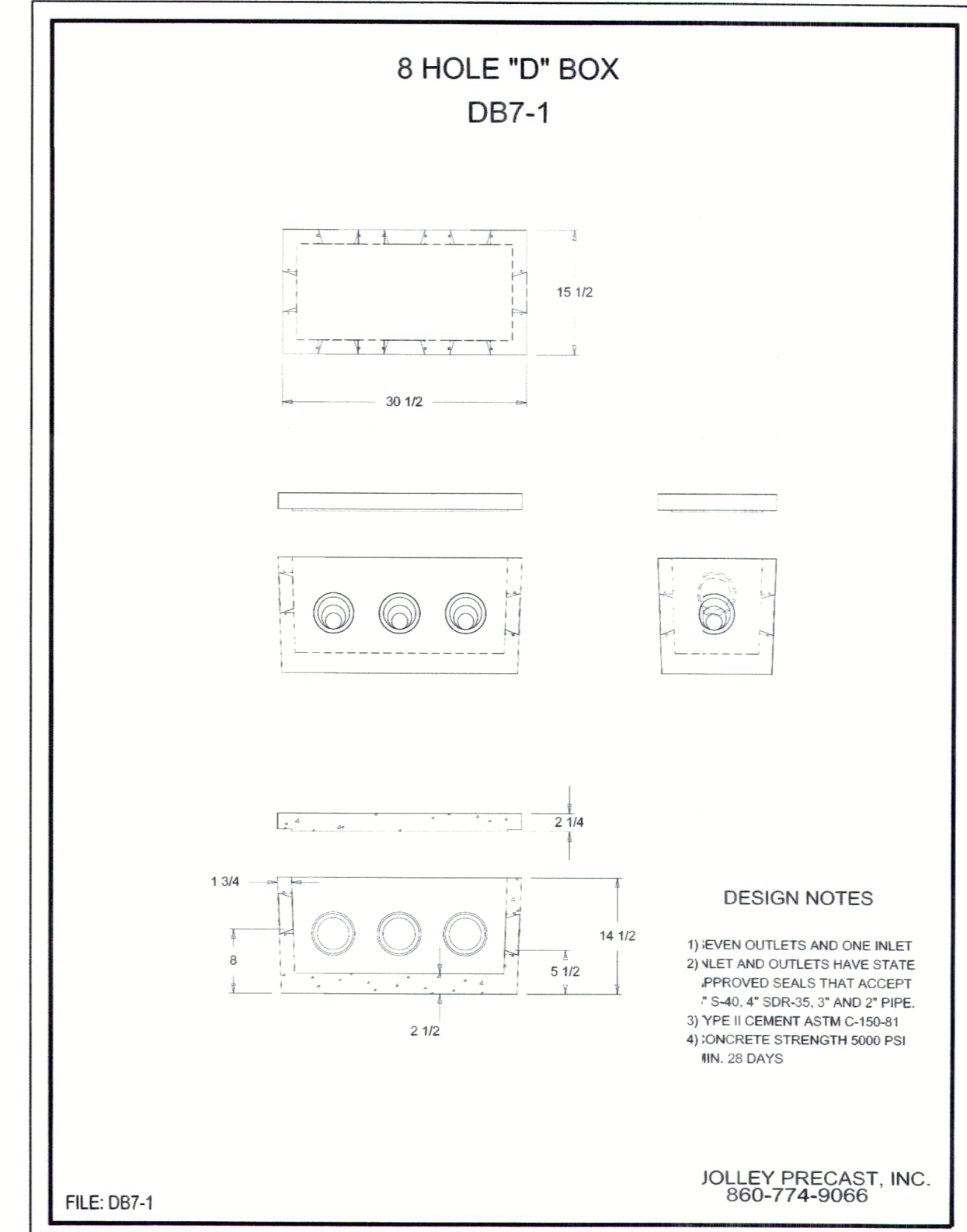
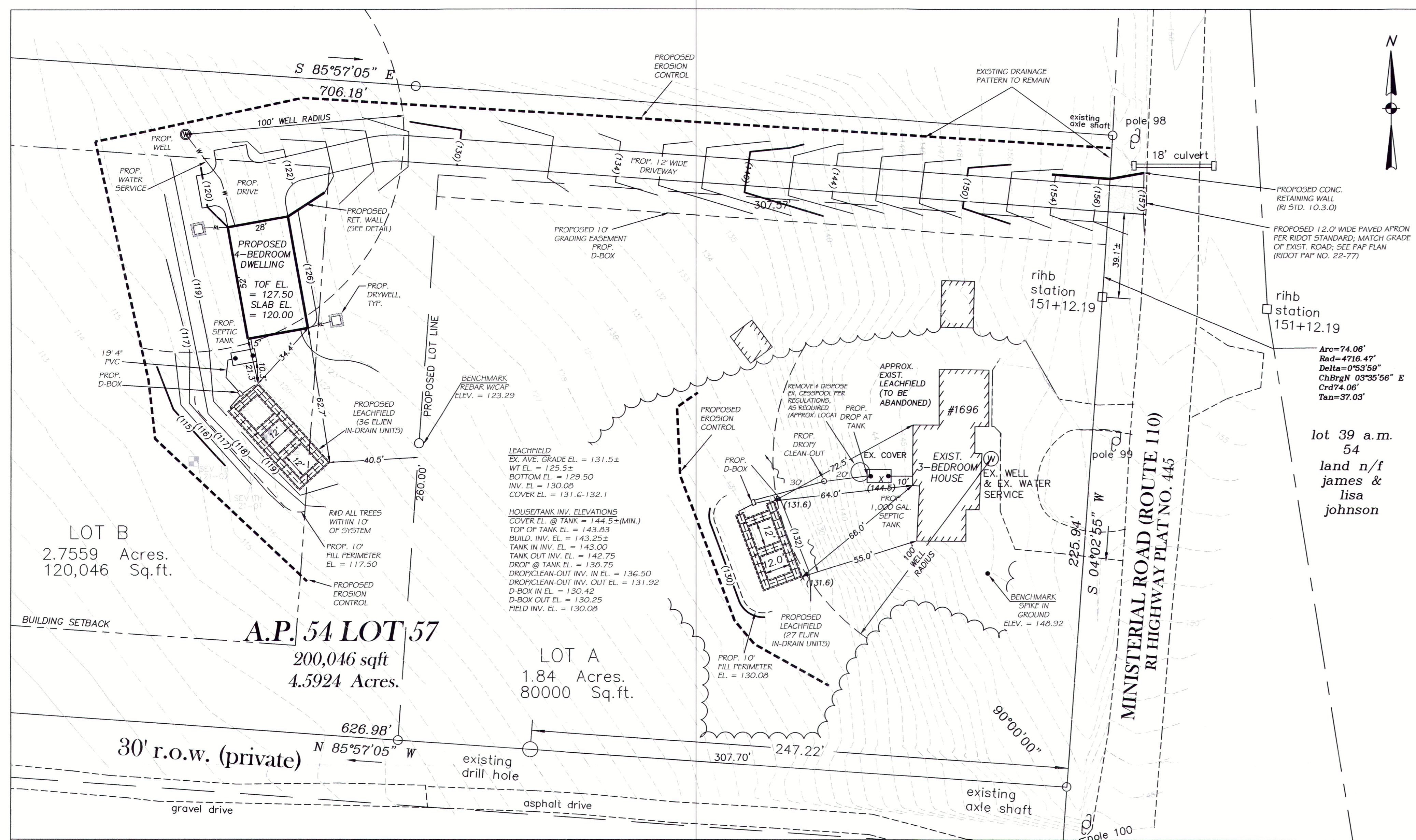
Based upon the representations of the owner and the owner's agents, including the representations of the owner's OWTS designer, and the truth and accuracy of all information submitted, this application for an OWTS is hereby approved. The RIDEM assumes no responsibility or liability for the future safe operation or maintenance of the aforesaid system, of the fitness or suitability of this system to this site, nor does it assume any responsibility for the accuracy and truth of the owner's, or the owner's agent's representations. This approval is subject to future suspension or revocation in the event that subsequent examination reveals any data indicated on any application, form, submittal, plan or sketch to be incorrect, or not in compliance with the RULES or any conditions at the site are such that the approved design is not in accordance with the RULES, or in the event that the system discharges inadequately treated wastewater to waters of the State or fails to operate satisfactorily in any other manner.

IMPORTANT: Additional terms of approval as circled.

- A. Bottom of leaching area excavation must be inspected by the RIDEM prior to placement of any gravel or stone.
- B. System installation must be inspected by RIDEM prior to covering any component of the system with backfill.
- C. Applicant shall comply with all requirements, conditions and stipulations of variance(s) approved on _____.
- D. Joint Permit: Designer of record must contact RIDEM prior to start of any site construction.
- E. A/E Technology: additional installation, operation or maintenance requirements may apply (see A/E Technology Certification.)
- F. Copy of this form and Operation/Maintenance contract must be filed in land evidence records prior to conformance.
- G. Proposed construction falls within "Coastal Zone". Contact Rhode Island Coastal Resources Management Council.
- H. Proper erosion and sedimentation controls must be installed prior to start of construction.
- I. Transfer: See original permit for all applicable conditions.
- J. Other _____

Signature of RIDEM Official [Signature] Date of Approval 7/27/22 Date of Expiration 7/27/23

OWNER



DESIGN DATA/CALCULATIONS

SOIL CATEGORY	Bm	LOADING RATE	0.48 GAL/SF/DAY
DESIGN WATER TABLE	72" (RIDEM NO. 2132-1439)		
DAILY SEWAGE FLOW RATE:			
3 BDRM UNITS x 115 GAL/BDRM UNIT	=	345 GPD	
REQUIRED (MIN.) LEACHING AREA:			
345 GPD / 0.48 GAL/SF/DAY	=	718.8	
SYSTEM SIZING:			
718.8 SF REQ'D ÷ 28 SF/UNIT	=	25.7 UNITS REQ'D	
27 UNITS REQ'D x 28 SF/UNIT	=	756 SF PROVIDED	
LENGTH OF SYSTEM	37	FT	
WIDTH OF SYSTEM	19	FT	
NUMBER ELJEN UNITS	27		
SAND SIDES/UNDER	0.5	FT	

SOIL DESCRIPTION

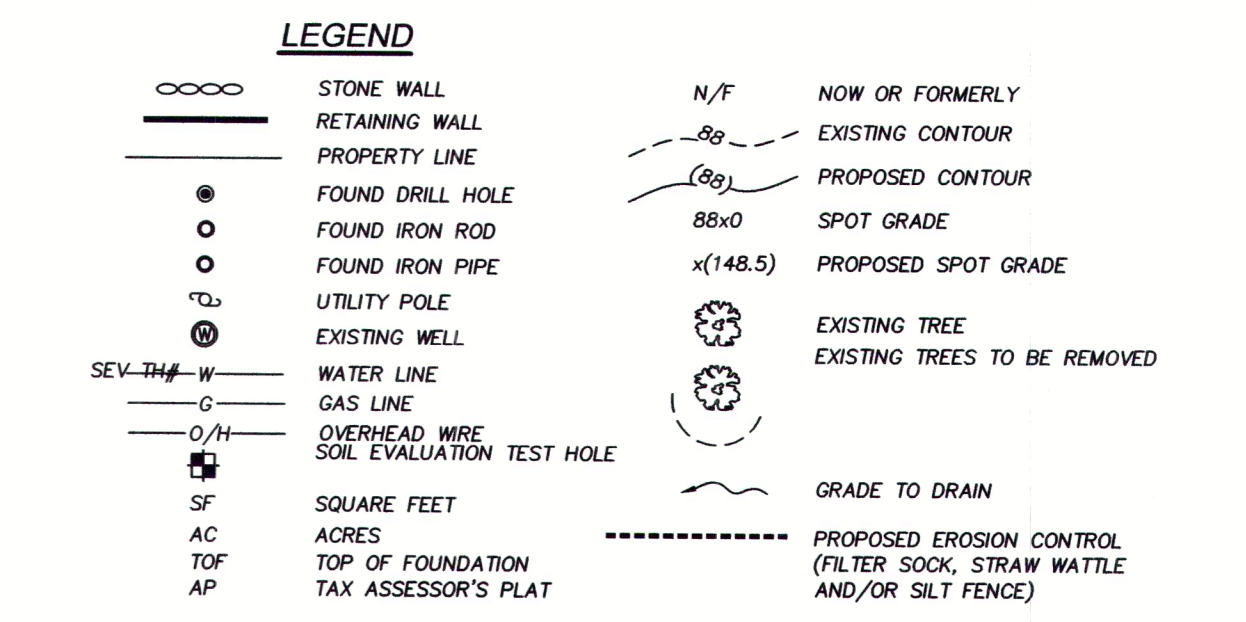
SEV TH21-01 ESHWT = 72" TOTAL DEPTH OF TH = 96"

HORIZON	DEPTH	TEXTURE	SOIL CATEGORY
A	0-8"	FSL	4
Bw1	6-18"	FSL	4
Bw2	18-32"	SL	4
Bc	32-48"	GSL	3
C1	48-72"	CBGSL	6M
C2	72-96"	STG6SL	6M

* SOIL EVALUATION PERFORMED ON 10/13/21 BY RIDEM SOIL EVALUATOR D-4028. SEE ATTACHED SITE EVALUATION REPORT FOR FULL PROFILE DESCRIPTION.

GENERAL OWTS CONSTRUCTION NOTES

- ALL OTHER DESIGN, CONSTRUCTION AND MAINTENANCE REQUIREMENTS WHETHER NOTED HEREON, OR NOT, SHALL BE IN CONFORMANCE WITH THE RIDEM OFFICE OF WATER RESOURCES, RULES ESTABLISHING MINIMUM STANDARDS RELATING TO LOCATION, DESIGN, CONSTRUCTION AND MAINTENANCE OF ONSITE WASTEWATER TREATMENT SYSTEMS AS AMENDED.
- THE CONTRACTOR SHALL MAINTAIN A COPY OF THE APPROVED PLAN ON-SITE AT ALL TIMES.
- THE CONTRACTOR MUST FOLLOW ALL ITEMS CIRCLED IN THE LOWER RIGHT HAND AREA IF THE OWTS APPLICATION LABELED—IMPORTANT AND NOTIFY ENGINEER DURING THE DIFFERENT STAGES OF CONSTRUCTION TO ALLOW THE ENGINEER TO OBSERVE COMPLIANCE WITH THE APPROVED PLANS, AS REQUIRED BY RIDEM.
- THE CONTRACTOR SHALL COMPLY WITH ALL ADDITIONAL TERMS OF APPROVAL AS MAY BE REQUIRED BY RIDEM.
- THE CONTRACTOR MUST NOTIFY LICENSED DESIGNER 48 HOURS PRIOR TO START OF CONSTRUCTION WITH VALID INSTALLER'S LICENSE NUMBER. DESIGNER MUST NOTIFY RIDEM 24 HOURS PRIOR TO START OF CONSTRUCTION IN ACCORDANCE WITH RIDEM RULE 6.4.7.
- THE LICENSED DESIGNER SHALL WITNESS AND INSPECT ALL ASPECTS OF THE INSTALLATION, KEEP RECORDS, PREPARE THE CERTIFICATE OF COMPLETION AND PROVIDE O & M INFORMATION AND RECOMMENDATIONS TO THE OWNER, IN ACCORDANCE WITH RIDEM RULE 6.4.7.
- THE CONTRACTOR SHALL VERIFY PROPERTY LINE LOCATION, BENCHMARK ELEVATIONS AND ALL FIELD CONDITIONS PRIOR TO ANY CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING SEWER INVERTS PRIOR TO CONSTRUCTION BUILDING, SEPTIC TANK, GREASE TANK, D-BOX & FIELD.
- IF FIELD CONDITIONS VARY FROM PLANS OR IF CONTRACTOR ENCOUNTERS UNANTICIPATED CONDITIONS DURING CONSTRUCTION WHICH INDICATE THAT THE SYSTEM CANNOT BE INSTALLED IN ACCORDANCE WITH THE APPROVED DESIGN, INSTALLER SHALL STOP CONSTRUCTION AND NOTIFY THE LICENSED DESIGNER RESPONSIBLE FOR WITNESSING AND INSPECTING THE INSTALLATION IN ACCORDANCE WITH RIDEM RULE 6.4.7.
- THERE ARE NO EXISTING OR PROPOSED PRIVATE DRINKING WATER WELLS WITHIN 200' OF THE PROPOSED OWTS EXCEPT AS SHOWN.
- THERE ARE NO EXISTING OR PROPOSED PUBLIC WATER SUPPLY WELLS WITHIN 500' OF THE PROPOSED OWTS AREA EXCEPT AS SHOWN.
- ALL KNOWN OWTS'S WITHIN 100' OF EXISTING OR PROPOSED WELLS ARE SHOWN.
- ALL KNOWN OWTS'S AND WATER SUPPLIES WITHIN 100' OF ADJACENT PROPERTY LINES ARE SHOWN.
- THERE ARE NO KNOWN EXISTING OR PROPOSED SUBSURFACE DRAINS WITHIN 50 FEET OF THE PROPOSED OWTS.
- THE CONTRACTOR SHALL CALL "DIG-SAFE" AND VERIFY THE LOCATION OF ALL THE UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES PRIOR TO START OF LAND DISTURBING ACTIVITIES.
- CLEAR ALL TREES, BRUSH AND STUMPS WITHIN 10' OF SYSTEM.
- STRIP LEACHING AREA PERIMETER 5' IF INVERT OF LEACHFIELD IS AT OR ABOVE EXISTING GRADE OR IF FILL OR OTHER HTM IS FOUND. EXCAVATE DOWN TO ELEVATION AS SHOWN ON PLAN, REMOVING ALL TREES, BRUSH, TOPSOIL, UNDESIRABLE MATERIAL AND SOIL CONTAINING FINES. REPLACE WITH SEPTIC GRAVEL AS REQUIRED AND SPECIFIED IN RIDEM REGULATIONS.
- INSTALLER MUST ASSURE THAT BOTTOM AND SIDES OF EXCAVATION FOR THE LEACHFIELD ARE NOT COMPACTED OR SMEARED.
- NO VEHICULAR TRAFFIC IS ALLOWED OVER THE LEACHFIELD.
- ALL PVC PIPE SHALL BE 4" DIA. SDR 35 OR EQUIVALENT, UNLESS OTHERWISE NOTED.
- DISTRIBUTION LINES MUST BE INTERCONNECTED AT ALL ENDS AND AT INTERVALS NOT EXCEEDING 25'.
- MAINTAIN INVERT ELEVATION (FILL PERIMETER) FOR 10 FEET AROUND SYSTEM AS SHOWN.
- EXISTING SEPTIC TANK(S) TO REMAIN IN SERVICE SHALL BE PUMPED AND INSPECTED. EXISTING TANK(S) SHALL BE REPLACED IF CONDITION IS FOUND TO BE INADEQUATE. PROPOSED SEPTIC TANKS SHALL CONFORM TO ALL STANDARDS SET FORTH IN THE RIDEM OWTS REGULATIONS AS STATED IN NOTE NO. 1.
- ALL MANHOLES SHALL BE SET TO GRADE; GRADE TO MAINTAIN RUNOFF.
- THE DESIGNER IS NOT RESPONSIBLE FOR ANY NEGLIGENT ACT OF OMISSION OF A USER (AN OWTS, INCLUDING BUT NOT LIMITED TO, FAILURE TO PROPERLY USE AND MAINTAIN THE SYSTEM, WHICH CAUSES DAMAGE TO THE OWTS).
- THIS SYSTEM IS NOT DESIGNED TO HANDLE A GARBAGE DISPOSAL, OTHER HIGH WATER USE UNITS AND/OR ANY DISCHARGE FROM ANY WATER TREATMENT SYSTEMS (WATER SOFTENERS).
- THE CONTRACTOR SHALL PROVIDE DESIGNER WITH MATERIAL RECEIPTS FOR ALL CONSTRUCTION MATERIALS PRIOR TO DESIGNER ISSUING CERTIFICATE OF CONSTRUCTION.
- ALL CURBING, PAVEMENT, LANDSCAPING AND OTHER EXISTING SITE CONDITIONS DISTURBED DURING THE CONSTRUCTION WORK SHALL BE RESTORED PER THE OWNER'S SPECIFICATION BY CONTRACTOR.
- CONTRACTOR TO COORDINATE CONSTRUCTION SCHEDULE WITH THE OWNER.
- GROUNDWATER TABLE FLUCTUATES ANNUALLY. NO GUARANTEE OF A DRY BASEMENT IS EXPRESSED OR IMPLIED.
- CONTRACTOR TO COORDINATE CONSTRUCTION SCHEDULE WITH THE OWNER.



PLAN REFERENCE
 THIS PLAN IS BASED ON THE HOSLEY PLAT, MAJOR SUBDIVISION PLAN COMPREHENSIVE BOUNDARY SURVEY 1698 MINISTERIAL ROAD, SOUTH KINGSTOWN, RHODE ISLAND, ASSESSOR'S PLAT 54 LOT 57, PREPARED BY CHRISTOPHER G. PALMER, PLS ON MARCH 24, 2022.

SUBJECT PROPERTY
 ASSESSOR'S PLAT 54 LOT 57
 MINISTERIAL ROAD (Rt. ROUTE 110)
 LOCATED AT POLE NO. 98
 (Rt. HIGHWAY PLAT 445)

RIDEM APPLICATION NO. 2132-1439

PROPOSED OWTS REPAIR PLAN

Project:
THE HOSLEY PLAT
AP 54 LOT 57 (SUB-LOT A)
1696 MINISTERIAL ROAD
SOUTH KINGSTOWN, RHODE ISLAND

Prepared for:
OWNER/APPLICANT: WENDY HOSLEY
 69 KICKAPOO RUN, CHARLESTOWN, RI

REVISION 7/20/22 PER DEM COMMENTS PROJECT NO.: 21-84 JUNE 12, 2022

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 PLAN # 2132-1439 DATE 7/27/22
 APPROVED
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE KEPT AT CONSTRUCTION SITE

SUSAN B. CAPASSO
 No. 7443
 REGISTERED PROFESSIONAL ENGINEER (CIVIL)



**RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
ONSITE WASTEWATER TREATMENT SYSTEM CONSTRUCTION PERMIT**



www.dem.ri.gov/septic

FOR RIDEM USE ONLY

APPLICATION No. 232-0824 DATE RECEIVED 6/17/22 AMOUNT RECEIVED \$ 250⁽²⁾ CHECK # 163 NOTE 03

TYPE OF APPLICATION (CHECK ALL THAT APPLY)

- | | |
|--|---|
| <input type="checkbox"/> NEW BUILDING CONSTRUCTION | <input checked="" type="checkbox"/> A/E TECHNOLOGY TYPE <u>ELJENS</u> |
| <input type="checkbox"/> ALTERATION | <input type="checkbox"/> VARIANCE |
| <input type="checkbox"/> REPAIR | <input type="checkbox"/> REDESIGN |
| <input type="checkbox"/> TRANSFER | <input type="checkbox"/> JOINT OWTS / WETLANDS PD |

CERTIFICATION

I, SUSAN B. CAPASSO (print), the undersigned licensed OWTS designer, certify that I prepared this application and accompanying forms, submittals, plans and sketches in accordance with the RULES of the RIDEM pertaining to OWTS and that all the information provided on this application and accompanying forms, submittals, plans and sketches is true and accurate.

SITE INFORMATION

NO. STREET MINISTERIAL RD SOUTH KINGSTOWN CITY/TOWN SOUTH KINGSTOWN POLE # 98
 PLAT NUMBER 54 LOT NUMBER 57 SUBDIVISION LOT NUMBER B
 LOT SIZE 2.8 SF/ACRES
 SUBDIVISION NAME HOSLEY PLAT
 SUBDIVISION SITE SUITABILITY CERTIFICATION # NA OWTS #2132-1439

Designer's Signature [Signature] License # D3087

Designer's Email SUECAPASSO@GMAIL.COM Phone # (401) 261-8570

Business/Company Name SUSAN B. CAPASSO, PE

I certify that a) I am the owner of the property indicated under the site information on this application, b) I will hire a licensed OWTS installer to install the system proposed herein, c) the system will be installed in strict accordance with this application, d) I will hire and retain the licensed OWTS designer of record to witness and inspect the installation of the system, e) I assume all responsibility for the truth and accuracy of this application and all liability and responsibility for any improper installations of the system on this site and agree to hold the RIDEM harmless from any and all claims relating whatsoever to the system. In the case of a transfer application, I acknowledge that the permit application and plans previously approved and accompanying this application are the operative documents subject to certification.

OWNER INFORMATION

LAST NAME HOSLEY FIRST NAME WENDY M.I. _____
 NO. STREET 69 KILKAPPOO RUN CHARLESTOWN, RI CITY/TOWN CHARLESTOWN ZIP CODE 02813

Owner's Phone Number 401.932-0176

Owner's Email whosley69@gmail.com

Owner(s) Signature [Signature]

PERMIT APPROVAL SECTION: DO NOT WRITE BELOW THIS LINE

Based upon the representations of the owner and the owner's agents, including the representations of the owner's OWTS designer, and the truth and accuracy of all information submitted, this application for an OWTS is hereby approved. The RIDEM assumes no responsibility or liability for the future safe operation or maintenance of the aforesaid system, of the fitness or suitability of this system to this site, nor does it assume any responsibility for the accuracy and truth of the owner's, or the owner's agent's representations. This approval is subject to future suspension or revocation in the event that subsequent examination reveals any data indicated on any application, form, submittal, plan or sketch to be incorrect, or not in compliance with the RULES or any conditions at the site are such that the approved design is not in accordance with the RULES, or in the event that the system discharges inadequately treated wastewater to waters of the State or fails to operate satisfactorily in any other manner.

RIDEM APPLICATION HISTORY

PREVIOUS SITE TESTING YES NO APPLICATION # 2132-1439
 DEPTH TO APPROVED WATER TABLE 72" HOW DETERMINED SOIL LEVEL
 TEST HOLE # 21-1 DATE EXCAVATED 10/13/21 WETLANDS within 200' OF OWTS YES NO
 WETLAND DETERMINATION YES NO RIDEM FILE # _____ DATE ____/____/____
 LARGE SYSTEM YES NO OCI FILE # IF APPLICABLE _____

IMPORTANT: Additional terms of approval as circled.

- A. Bottom of leaching area excavation must be inspected by the RIDEM prior to placement of any gravel or stone.
- B. System installation must be inspected by RIDEM prior to covering any component of the system with backfill.
- C. Applicant shall comply with all requirements, conditions and stipulations of variance(s) approved on _____.
- D. Joint Permit: Designer of record must contact RIDEM prior to start of any site construction.
- E. A/E Technology: additional installation, operation or maintenance requirements may apply (see A/E Technology Certification.)
- F. Copy of this form and Operation/Maintenance contract must be filed in land evidence records prior to conformance.
- G. Proposed construction falls within "Coastal Zone". Contact Rhode Island Coastal Resources Management Council.
- H. Proper erosion and sedimentation controls must be installed prior to start of construction.
- I. Transfer: See original permit for all applicable conditions.
- J. Other _____

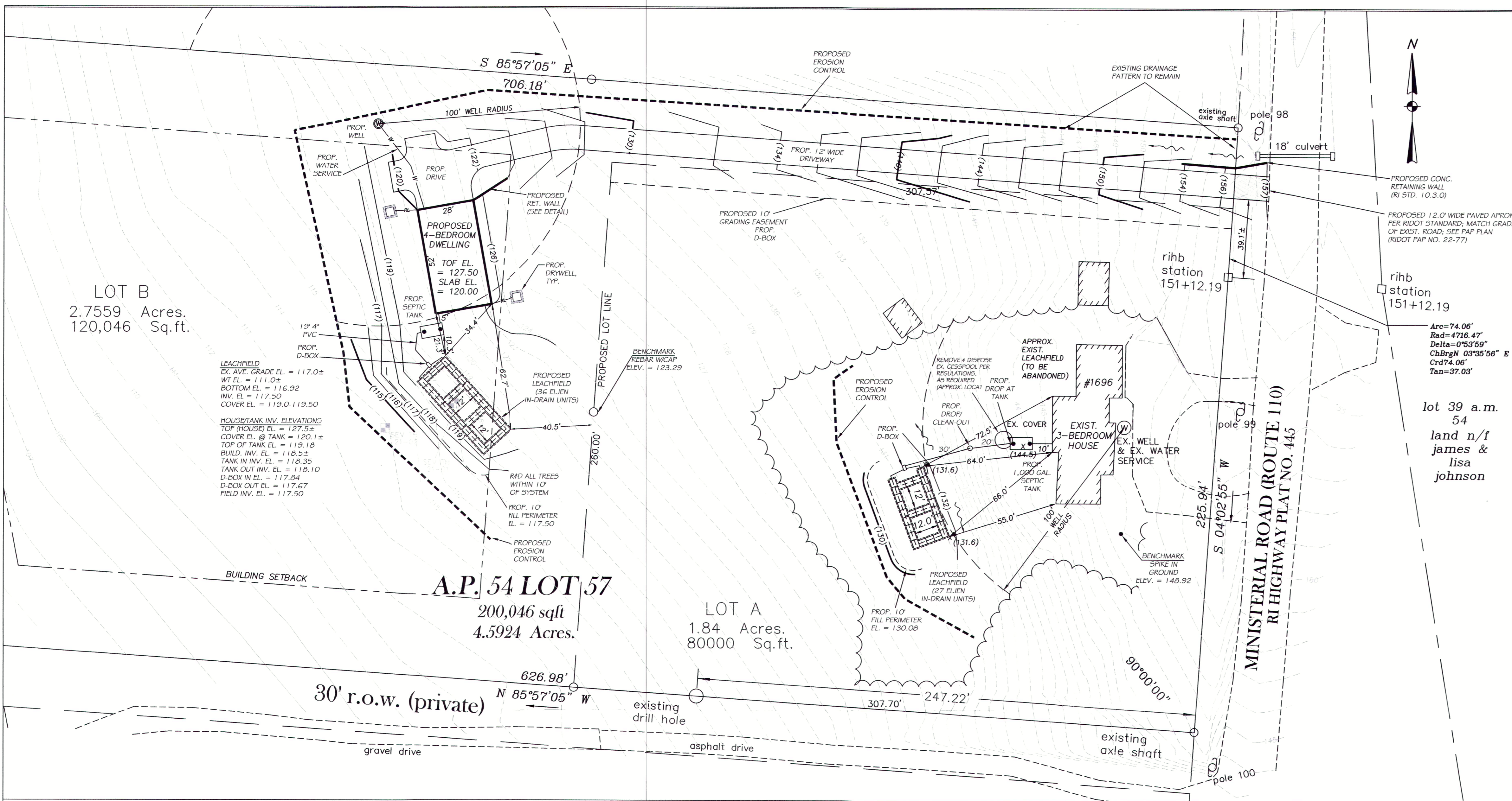
DESIGN INFORMATION

BUILDING USE: Residential Commercial Other _____ JUN 17 2022
 WATER SUPPLY: public water public well private well
 # OF DESIGN UNITS 4 Office of Water Resources
 UNIT DESIGN FLOW 115 gallons per BE (unit) TOTAL DAILY FLOW 460 gallons
 TANK SIZE 1500 gallons DESIGN LOADING RATE 0.48 gpd/sf
 MINIMUM REQUIRED LEACHFIELD AREA 958.3 square feet
 LEACHFIELD TYPE 360 ELJEN W-DRAIN UNITS
 TOTAL AREA OF LEACHFIELD PROVIDED 1,008.0 square feet

No foundation drains
10' fill perimeter
Max 18" cover without venting

Signature of RIDEM Official <u>[Signature]</u>	Date of Approval <u>7/27/22</u>	Date of Expiration <u>7/27/27</u>
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OWNER



LEGEND

—	STONE WALL	N/F	NOW OR FORMERLY
—	RETAINING WALL	—	EXISTING CONTOUR
—	PROPERTY LINE	(88x0)	PROPOSED CONTOUR
●	FOUND DRILL HOLE	88x0	SPOT GRADE
○	FOUND IRON ROD	x(148.5)	PROPOSED SPOT GRADE
○	FOUND IRON PIPE		EXISTING TREE
○	UTILITY POLE		EXISTING TREES TO BE REMOVED
○	EXISTING WELL		GRADE TO DRAIN
—	WATER LINE		PROPOSED EROSION CONTROL (FILTER SOCK, STRAW WATTLE AND/OR SILT FENCE)
—	GAS LINE		PROPOSED DRYWELL
—	OVERHEAD WIRE		PROPOSED ROOF LEADER
—	SOIL EVALUATION TEST HOLE		
□	SQUARE FEET		
AC	ACRES		
TOP	TOP OF FOUNDATION		
AP	TAX ASSESSOR'S PLAT		

GENERAL OWTS CONSTRUCTION NOTES

1. ALL OTHER DESIGN, CONSTRUCTION AND MAINTENANCE REQUIREMENTS WHETHER NOTED/RECORDED OR NOT, SHALL BE IN CONFORMANCE WITH THE RIDEM OFFICE OF WATER RESOURCES, RULES ESTABLISHING MINIMUM STANDARDS RELATING TO LOCATION, DESIGN, CONSTRUCTION AND MAINTENANCE OF ONSITE WASTEWATER TREATMENT SYSTEMS AS AMENDED.
2. THE CONTRACTOR SHALL MAINTAIN A COPY OF THE APPROVED PLAN ON-SITE AT ALL TIMES.
3. THE CONTRACTOR MUST FOLLOW ALL ITEMS CIRCLED IN THE LOWER RIGHT HAND AREA OF THE OWTS APPLICATION LABEL—IMPORTANT AND NOTIFY ENGINEER DURING THE DIFFERENT STAGES OF CONSTRUCTION TO ALLOW THE ENGINEER TO OBSERVE COMPLIANCE WITH THE APPROVED PLANS, AS REQUIRED BY RIDEM.
4. THE CONTRACTOR SHALL COMPLY WITH ALL ADDITIONAL TERMS OF APPROVAL AS MAY BE REQUIRED BY RIDEM.
5. THE CONTRACTOR MUST NOTIFY LICENSED DESIGNER 48 HOURS PRIOR TO START OF CONSTRUCTION WITH VALID INSTALLER'S LICENSE NUMBER. DESIGNER MUST NOTIFY RIDEM 24 HOURS PRIOR TO START OF CONSTRUCTION IN ACCORDANCE WITH RIDEM RULE 6.47.
6. THE LICENSED DESIGNER SHALL WITNESS AND INSPECT ALL ASPECTS OF THE INSTALLATION, KEEP RECORDS, PREPARE THE CERTIFICATE OF COMPLETION AND PROVIDE O & M INFORMATION AND RECOMMENDATIONS TO THE OWNER, IN ACCORDANCE WITH RIDEM RULE 6.47.
7. THE CONTRACTOR SHALL VERIFY PROPERTY LINE LOCATION, BENCHMARK ELEVATIONS AT ALL FIELD CONDITIONS PRIOR TO ANY CONSTRUCTION.
8. THE CONTRACTOR SHALL VERIFY ALL EXISTING SEWER INVERTS PRIOR TO CONSTRUCTION/BUILDING, SEPTIC TANK, GREASE TANK, D-BOX & FIELD.
9. IF FIELD CONDITIONS VARY FROM PLANS OR IF CONTRACTOR ENCOUNTERS UNANTICIPATED CONDITIONS DURING CONSTRUCTION WHICH INDICATE THAT THE SYSTEM CANNOT BE INSTALLED IN ACCORDANCE WITH THE APPROVED DESIGN, INSTALLER SHALL STOP CONSTRUCTION AND NOTIFY THE LICENSED DESIGNER RESPONSIBLE FOR WITNESSING AND INSPECTING THE INSTALLATION IN ACCORDANCE WITH RIDEM RULE 6.47.
10. THERE ARE NO EXISTING OR PROPOSED PRIVATE DRINKING WATER WELLS WITHIN 200' OF THE PROPOSED OWTS EXCEPT AS SHOWN.
11. THERE ARE NO EXISTING OR PROPOSED PUBLIC WATER SUPPLY WELLS WITHIN 500' OF E PROPOSED OWTS AREA EXCEPT AS SHOWN.
12. ALL KNOWN OWTS'S WITHIN 100' OF EXISTING OR PROPOSED WELLS ARE SHOWN.
13. ALL KNOWN OWTS'S AND WATER SUPPLIES WITHIN 100' OF ADJACENT PROPERTY LINES ARE SHOWN.
14. THERE ARE NO KNOWN EXISTING OR PROPOSED SUBSURFACE DRAINS WITHIN 50 FEET OF THE PROPOSED OWTS.
15. THE CONTRACTOR SHALL CALL "DIG-SAFE" AND VERIFY THE LOCATION OF ALL THE UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
16. THE CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES PRIOR TO START OF ALL LD DISTURBING ACTIVITIES.
17. CLEAR ALL TREES, BRUSH AND STUMPS WITHIN 10' OF SYSTEM.
18. STRIP LEACHING AREA PERIMETER 5' IF INVERT OF LEACHFIELD IS AT OR ABOVE EXIST GRADE OR IF FILL OR OTHER HTM IS FOUND. EXCAVATE DOWN TO ELEVATION AS SHOWN ON PLAN, REMOVING TREES, BRUSH, TOPSOIL, UNSUITABLE MATERIAL AND SOIL CONTAINING FINES. REPLACE WITH SEPTIC GVEL AS REQUIRED AND SPECIFIED IN RIDEM REGULATIONS.
19. INSTALLER MUST ASSURE THAT BOTTOM AND SIDES OF EXCAVATION FOR THE LEACHFIELD ARE NOT COMPACTED OR SMEARED.
20. NO VEHICULAR TRAFFIC IS ALLOWED OVER THE LEACHFIELD.
21. ALL PVC PIPE SHALL BE 4" DIA. SDR 35 OR EQUIVALENT, UNLESS OTHERWISE NOTED.
22. DISTRIBUTION LINES MUST BE INTERCONNECTED AT ALL ENDS AND AT INTERVALS NOT EXCEEDING 25'.
23. MAINTAIN INVERT ELEVATION (FILL PERIMETER) FOR 10 FEET AROUND SYSTEM AS SHOWN.
24. EXISTING SEPTIC TANK(S) TO REMAIN IN SERVICE SHALL BE PUMPED AND INSPECTED. EXISTING TANK(S) SHALL BE REPLACED IF CONDITION IS FOUND TO BE INADEQUATE. PROPOSED SEPTIC TANKS ALL CONFORM TO ALL STANDARDS SET FORTH IN THE RIDEM OWTS REGULATIONS AS STATED IN NOTE NO. 1.
25. ALL MANHOLES SHALL BE SET TO GRADE; GRADE TO DIVERT SURFACE RUNOFF.
26. THE DESIGNER IS NOT RESPONSIBLE FOR ANY NEGLIGENT ACT OF OMISSION OF A USER AN OWTS, INCLUDING BUT NOT LIMITED TO, FAILURE TO PROPERLY USE AND MAINTAIN THE SYSTEM, WHICH USES DAMAGE TO THE OWTS.
27. THIS SYSTEM IS NOT DESIGNED TO HANDLE A GARBAGE DISPOSAL, OTHER HIGH WATER USES AND/OR ANY DISCHARGE FROM ANY WATER TREATMENT SYSTEMS (WATER SOFTENERS).
28. THE CONTRACTOR SHALL PROVIDER WITH MATERIAL RECEIPTS FOR ALL CONSTRUCTION MATERIALS PRIOR TO DESIGNER ISSUING CERTIFICATE OF CONSTRUCTION.
29. ALL CURBING, PAVEMENT, LANDSCAPING AND OTHER EXISTING SITE CONDITIONS DISTURBED DURING THE CONSTRUCTION WORK SHALL BE RESTORED PER THE OWNER'S SPECIFICATION BY CONTRACTOR.
30. CONTRACTOR TO COORDINATE CONSTRUCTION SCHEDULE WITH THE OWNER.
31. GROUNDWATER TABLE FLUCTUATES ANNUALLY. NO GUARANTEE OF A DRY BASEMENT IS EXPRESSED OR IMPLIED.
32. GROUNDWATER TABLE BASED ON SOIL EVALUATION TEST HOLES.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
OWTS PROGRAM
PLAN # 2232-0824 DATE 7/27/22
APPROVED *Susan B. Capasso*
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE KEPT AT CONSTRUCTION SITE

PLAN REFERENCE
THIS PLAN IS BASED ON THE HOSLEY PLAT MAJOR SUBDIVISION PLAN COMPREHENSIVE BOUNDARY SURVEY 1696 MINISTERIAL ROAD, SOUTH KINGSTOWN, RHODE ISLAND, ASSESSOR'S PLAT 54 LOT 57, PREPARED BY CHRISTOPHER G. PALMER, PLS. ON MARCH 24, 2022.

SUBJECT PROPERTY
ASSESSOR'S PLAT 54 LOT 57
MINISTERIAL ROAD (RI ROUTE 110)
LOCATED AT POLE NO. 98
(RI HIGHWAY PLAT 445)

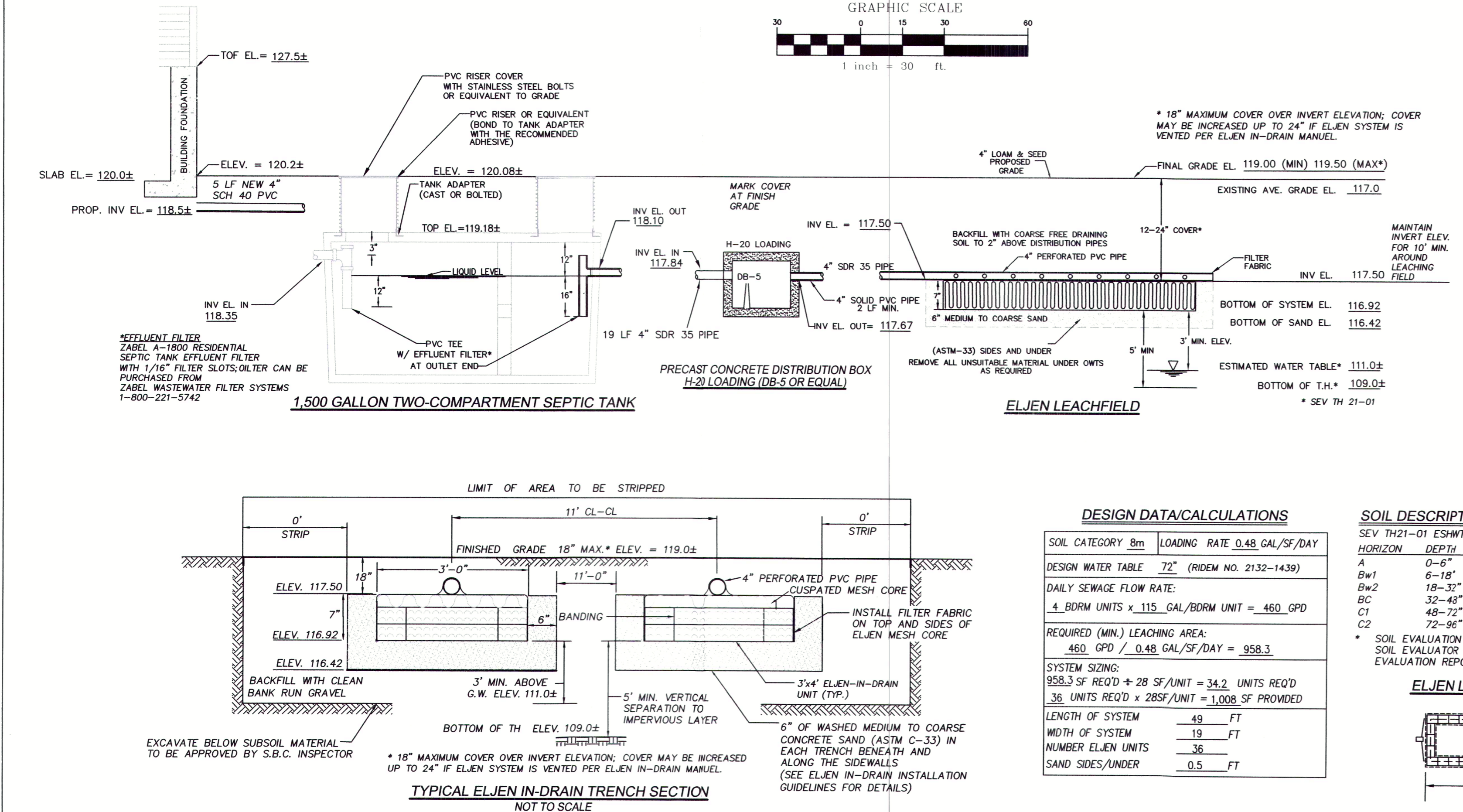
SUSAN B. CAPASSO
No. 7443
REGISTERED PROFESSIONAL ENGINEER (CIVIL)

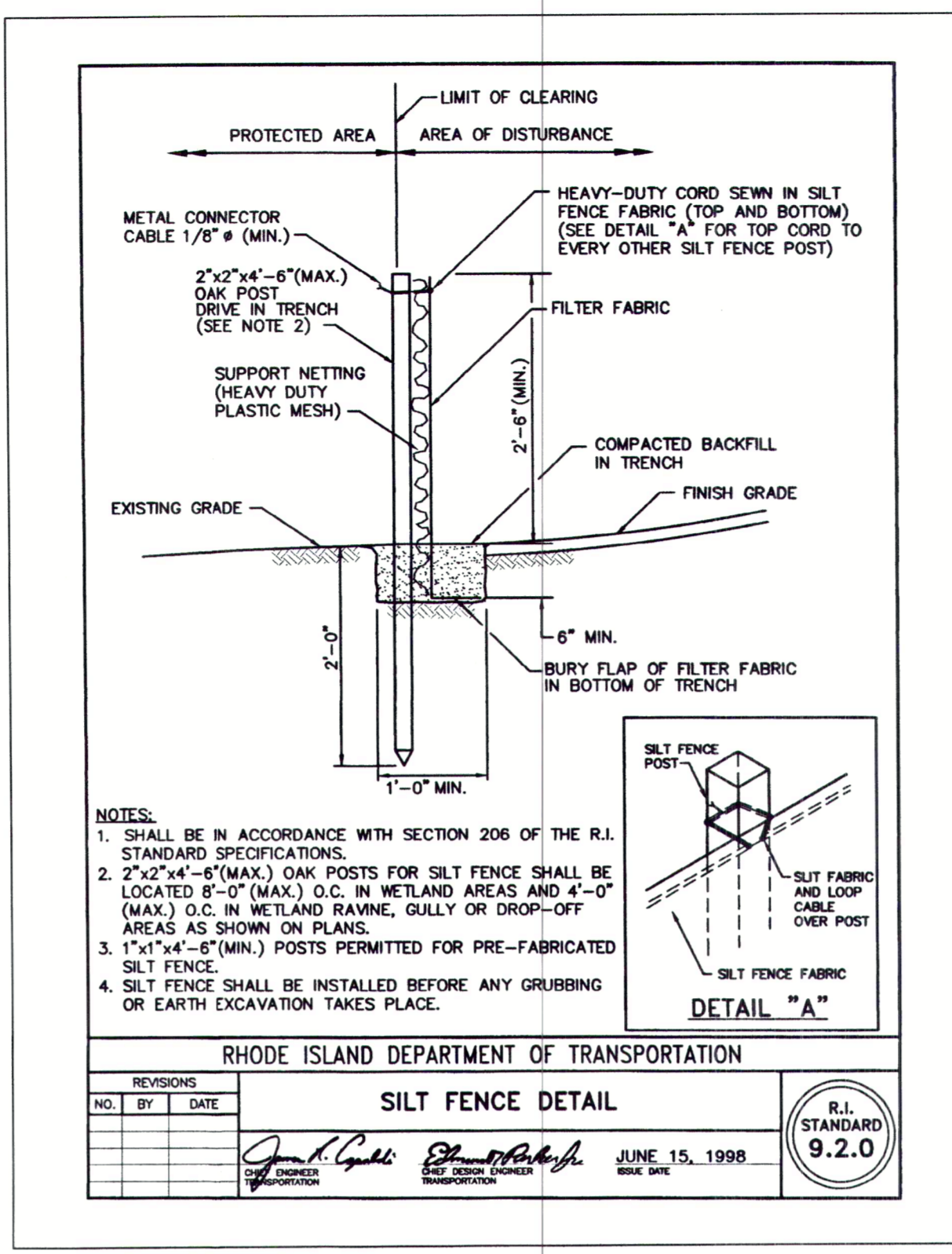
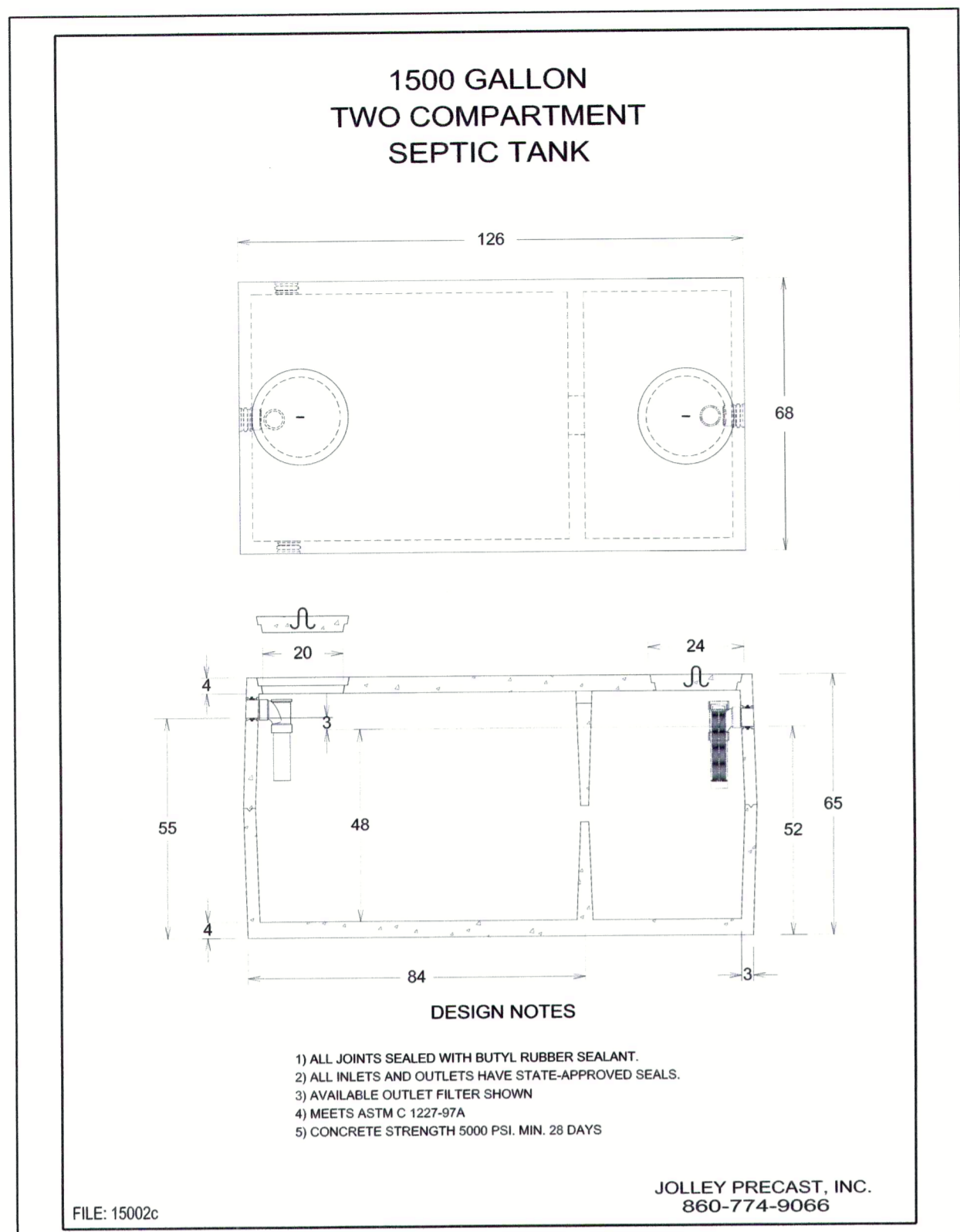
RIDEM APPLICATION NO. 2232-0824

PROPOSED OWTS PLAN

Project:
THE HOSLEY PLAT
AP 54 LOT 57 (SUB-LOT B)
1696 MINISTERIAL ROAD
SOUTH KINGSTOWN, RHODE ISLAND

Prepared for:
OWNER/APPLICANT: WENDY HOSLEY
69 KICKAPOO RUN, CHARLESTOWN, RI





PAP PLAN NOTES (RIDOT PAP NO. 22-77):

1. THE CONTRACTOR SHALL VERIFY PROPERTY LINE LOCATION, BENCHMARK ELEVATIONS AND ALL FIELD CONDITIONS PRIOR TO ANY CONSTRUCTION.
2. THE CONTRACTOR SHALL CALL "DIG-SAFE" AND VERIFY THE LOCATION OF ALL THE UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
3. THE CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES PRIOR TO START OF LAND DISTURBING ACTIVITIES.
4. THERE ARE NO PROPOSED GRADE CHANGES AT PROPOSED DRIVEWAY ACCESS; EXISTING DRAINAGE PATTERNS TO REMAIN UNIMPEDED.
5. ALL UTILITY WORK WILL BE APPLIED FOR UNDER A SEPARATE UTILITY PERMIT APPLICATION.
6. BITUMINOUS PAVEMENT DRIVEWAY APRON TO BE INSTALLED TO EDGE OF STATE HIGHWAY LINE. GRADE OF DRIVEWAY ACCESS WITHIN STATE ROW WILL CONTINUE SLOPE TOWARD PROPERTY; EXISTING DRAINAGE PATTERN WILL NOT BE ALTERED AND WILL NOT IMPACT THE STATE ROAD.

GENERAL CONSTRUCTION NOTES:

1. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO OBTAIN ANY AND ALL PERMITS REQUIRED BY THE STATE AND THE MUNICIPALITY IN WHICH WORK IS BEING PERFORMED PRIOR TO START OF ANY WORK.
2. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DOCUMENT EXISTING CONDITIONS OF SURROUNDING PROPERTIES AND TO MAINTAIN THE INTEGRITY OF THE SAME. ANY DAMAGE TO AND THE COST OF REPAIR OF UTILITIES, ROADWAYS, STRUCTURES AND SURROUNDING PROPERTY SHALL BE FULLY BORNE BY THE CONTRACTOR.
3. ALL WORKMANSHIP AND MATERIALS SHALL MEET OR EXCEED THE LATEST STANDARDS OF THE MUNICIPALITY, AND THE LATEST STATE STANDARDS AND SPECIFICATIONS PUBLISHED FOR ROAD AND BRIDGE CONSTRUCTION.
4. CONTACT DIG-SAFE AND UTILITY COMPANIES FOR EXACT ON-SITE LOCATION OF EXISTING UNDERGROUND UTILITIES AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO START OF CONSTRUCTION.
5. CONTRACTOR SHALL OBTAIN REQUIRED INSPECTION SCHEDULE OF THE MUNICIPALITY, UTILITY COMPANIES AND ALL OTHER REQUIRED PARTIES AND SHALL STRICTLY ADHERE TO THOSE REQUIREMENTS.
6. ALL CONTRACTORS SHALL ADHERE TO ALL CONDITIONS OF CONSTRUCTION APPROVALS AND SHALL KEEP A COPY OF ALL APPROVALS ON-SITE DURING CONSTRUCTION. CONTRACTOR SHALL READ ALL APPROVALS PRIOR TO START OF CONSTRUCTION AND SHALL CLARIFY ANY QUESTIONS BEFOREHAND.
7. OIL ABSORBING PILLOWS OR OTHER MEANS SHALL BE USED TO REMOVE ACCUMULATIONS OF HYDROCARBONS (OIL, GREASE) THAT ARE REGULARLY OBSERVED TO CONTAIN HYDROCARBONS, THAT DO NOT EVAPORATE BETWEEN INSPECTIONS.
8. ANY REFUELING, GREASING OR ADJUSTMENTS OF CONSTRUCTION VEHICLES OR EQUIPMENT SHALL TAKE PLACE AT LEAST 100 FEET FROM WETLAND AREAS.
9. ANY ON-SITE DISPOSAL OF SOLID WASTE, INCLUDING EARTH MATERIALS, SHALL OCCUR OUTSIDE RIDEM/RIDOT JURISDICTIONAL WETLANDS AND OUTSIDE OF THE CONSTRUCTION AREAS (UNLESS OTHERWISE DESIGNATED). ANY MATERIAL NOT RE-USED ON-SITE SHALL BE HAULED OFF-SITE TO AN AUTHORIZED, LEGAL LOCATION.
10. ALL CONTRACTORS AND SUBCONTRACTORS SHALL BE INFORMED THAT THE CLEANING OF EQUIPMENT IS PROHIBITED IN AREAS WHERE THE WASH-WATER WILL DRAIN DIRECTLY TO WETLANDS.
11. THE LOCATION AND DEPTH OF EXISTING UTILITIES HAVE BEEN PLOTTED FROM THE LATEST AVAILABLE INFORMATION. THE UTILITY LOCATIONS ARE APPROXIMATE AND MAY NOT BE ALL INCLUSIVE. THE CONTRACTOR SHALL CHECK AND VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, BOTH OVERHEAD AND UNDERGROUND, AND "DIG-SAFE" MUST BE NOTIFIED PRIOR TO COMMENCING ANY CONSTRUCTION OPERATIONS.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING (R&D) ALL MATERIALS TO INCLUDE, BUT NOT BE LIMITED TO, TREES, STUMPS, UNSUITABLE MATERIAL, BITUMINOUS PAVEMENT, ETC.
13. MATTING AS SPECIFIED BY ENGINEER OR ENVIRONMENTAL CONSULTANT IS TO BE PLACED ALONG ACCESS ROUTE FROM PAVED DRIVEWAY TO STAGING AREA FOR ANY EQUIPMENT MOVEMENT.

EROSION AND SEDIMENTATION CONTROL CONSTRUCTION NOTES:

1. EROSION AND SEDIMENTATION (E&S) CONTROLS WILL BE INSTALLED PRIOR TO THE COMMENCEMENT OF WORK ALONG THE LIMITS OF DISTURBANCE (LOD) AS SHOWN ON THE SITE PLAN AND DETAILS.
- CRITICAL AREAS SUCH AS WETLAND AREAS, SLOPED AREAS, AND STREAMS SHALL BE PROTECTED AS PER PLAN AND IN THE PRESENCE OF WETLANDS, PER THE CONDITIONS OF THE CRMC ASSENT ORDER AND/OR RIDEM PERMIT.
- ALL E&S CONTROLS SHALL BE FULLY MAINTAINED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION AND SHALL REMAIN IN PLACE UNTIL VEGETATIVE STABILIZATION HAS BEEN ACHIEVED. E&S CONTROLS ARE TO BE INSPECTED WEEKLY AND IMMEDIATELY FOLLOWING ALL PRECIPITATION EVENTS THAT INCLUDE RAINFALL OF 1.0" OR MORE OR WHICH PRODUCES STORMWATER RUNOFF. UNDER NO CIRCUMSTANCE SHALL THE E&S CONTROLS BE COVERED WITH FILL MATERIAL. ANY FILL MATERIAL THAT IS PLACED ON OR AGAINST E&S CONTROLS SHALL BE IMMEDIATELY REMOVED.
- ALL FILTER SOX (OR SILT FENCE AND/OR STRAW WATTLES) SHALL BE INSTALLED IN ACCORDANCE WITH THE RIDOT STANDARD DETAILS. ALL REFERENCED SOIL EROSION AND SEDIMENTATION CONTROLS, INCLUDING MATERIALS USED, APPLICATION RATES AND THE INSTALLATION PROCEDURES SHALL BE PERFORMED PER THE MOST CURRENT VERSION OF THE RHODE ISLAND SOIL EROSION AND SEDIMENTATION CONTROL HANDBOOK, AS APPROPRIATE.
2. ALL EXPOSED SLOPES, INCLUDING STOCKPILES OF MATERIAL, SHALL RECEIVE TEMPORARY SEDIMENTATION AND EROSION CONTROLS. THIS WILL INCLUDE LOAMING AND SEEDING, MULCHING, HAYMATS, ETC., TO STABILIZE THE AREA.
3. ALL DRAINAGE STRUCTURES SHALL BE SURROUNDED BY HAYBALES TO PREVENT INFILTRATION OF SEDIMENTS.
4. SHOULD SEDIMENTS ENTER A CRITICAL AREA (WETLAND, BUFFER AREA OR BUTTING PROPERTY), THE CONTRACTOR SHALL IMMEDIATELY CLEAN AND RESTORE THE AFFECTED AREA.
5. ALL DISTURBED SOILS, EITHER NEWLY CREATED, OR EXPOSED PRIOR TO OCTOBER 15 OF ANY CALENDAR YEAR SHALL BE SEEDED OR PROTECTED BY THAT DATE. ANY AREAS THAT DO NOT HAVE ADEQUATE VEGETATIVE STABILIZATION BY NOVEMBER 15 OF THE SAME YEAR MUST BE STABILIZED BY INSTALLING EROSION CONTROL MATTING, HAY MULCH OR EQUIVALENT.
6. THE CONTRACTOR IS RESPONSIBLE FOR PROPER EROSION CONTROL BOTH ON AND OFF-SITE AND SHALL UTILIZE EROSION CONTROL MEASURES WHERE NEEDED, REGARDLESS OF WHETHER THE CONTROLS ARE SPECIFIED ON THE SITE PLAN.
7. TEMPORARY CONSTRUCTION ACCESS, CHECK DAMS AND STAGING AREAS WILL BE INSTALLED, THEN DEWATERING BASIN WILL BE EXCAVATED.
8. PONDS SHALL BE EXCAVATED AND BANK STABILIZATION INSTALLED ONCE EXCAVATED MATERIALS HAVE BEEN REMOVED.
9. TEMPORARY CONSTRUCTION ACCESS, CHECK DAMS AND STAGING AREAS WILL BE REMOVED. THE AREAS OF DISTURBANCE WILL BE RESTORED IF NECESSARY. ONCE VEGETATION IS ESTABLISHED, EROSION CONTROL MATERIALS SHALL BE REMOVED FOR OFF-SITE DISPOSAL.

SOIL STABILIZATION & PLANTING PROGRAM

ACCEPTABLE PLANTING MATERIALS: LOAM - THE MATERIAL TO BE FURNISHED SHALL CONSIST OF LOOSE, FRIABLE, SANDY LOAM OR LOAM TOPSOIL FREE OF A MIXTURE OF SUBSOIL, REFUSE, STUMPS, ROOTS, ROCKS, BRUSH, WEEDS AND OTHER MATERIAL WHICH WILL PREVENT THE FORMATION OF A SUITABLE SEED BED.

SEED MIXTURES - ALL LEGUME SEED SHALL BE INOCULATED WITHIN 24 HOURS BEFORE MIXING AND PLANTING WITH THE APPROPRIATE INOCULUM FOR EACH VARIETY. ALL INOCULA SHALL BE FRESH AND SHALL BE USED WITHIN THE DATE LIMIT PRESCRIBED BY THE MANUFACTURER.

FOR RELATIVELY FLAT SLOPES:

MIX	% BY WEIGHT
RED FESCUE - CHEWING'S PENNLAWN	70
OR CREEPING	
KENTUCKY BLUEGRASS	15
COLONIAL BENTGRASS - ASTORIA OR EXETER	5
PERENNIAL RYEGRASS	10
- SEEDING RATE = 100 LBS. PER ACRE	

FOR STEEP SLOPES 3:1 OR GREATER:

MIX	% BY WEIGHT
RED FESCUE - PENNLAWN OR CREEPING	75
PERENNIAL RYEGRASS	5
COLONIAL BENTGRASS - ASTORIA OR EXETER	5
BIRDSFOOT TREFLOIL - EMPIRE	15
- SEEDING RATE: 100 LBS. PER ACRE	

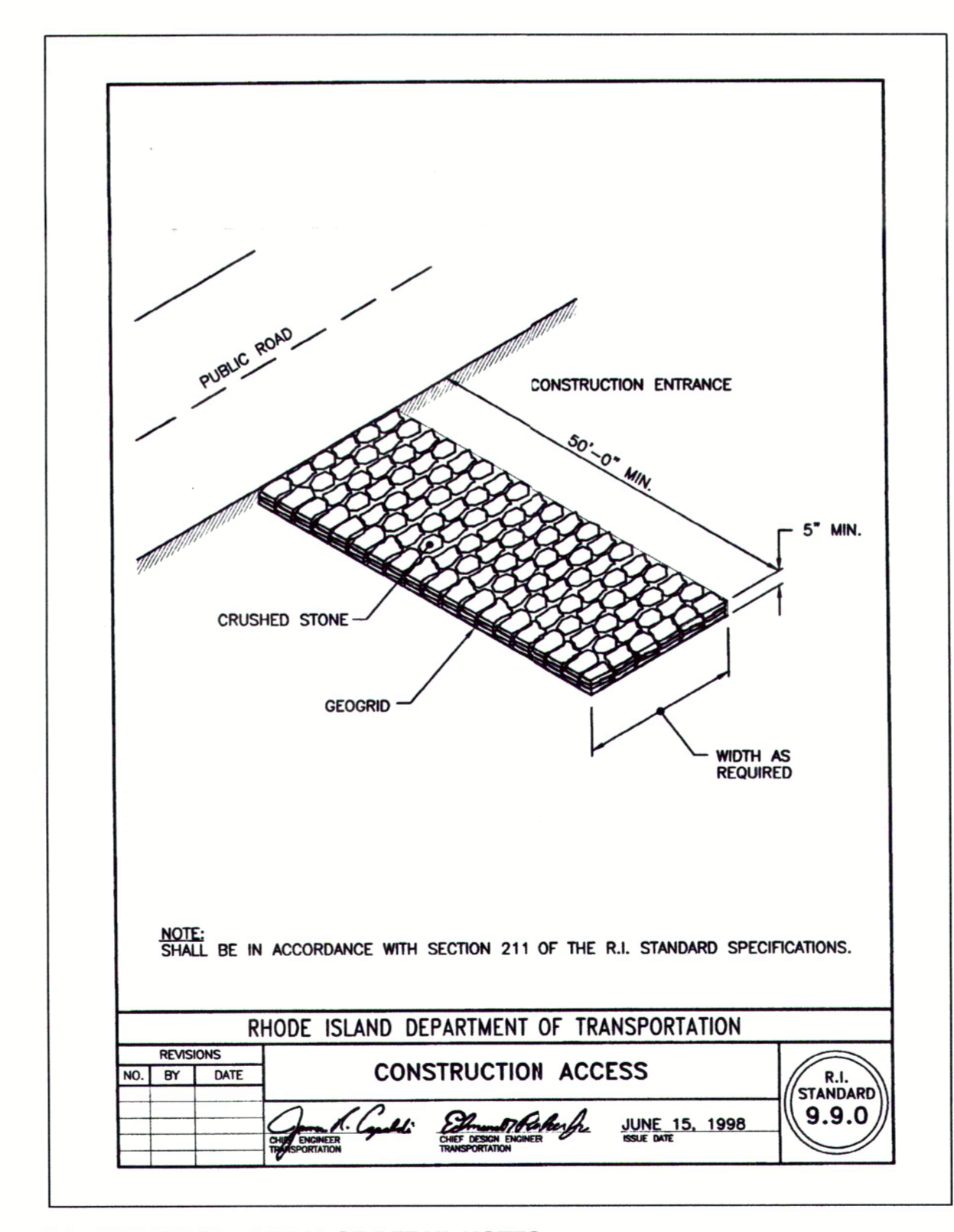
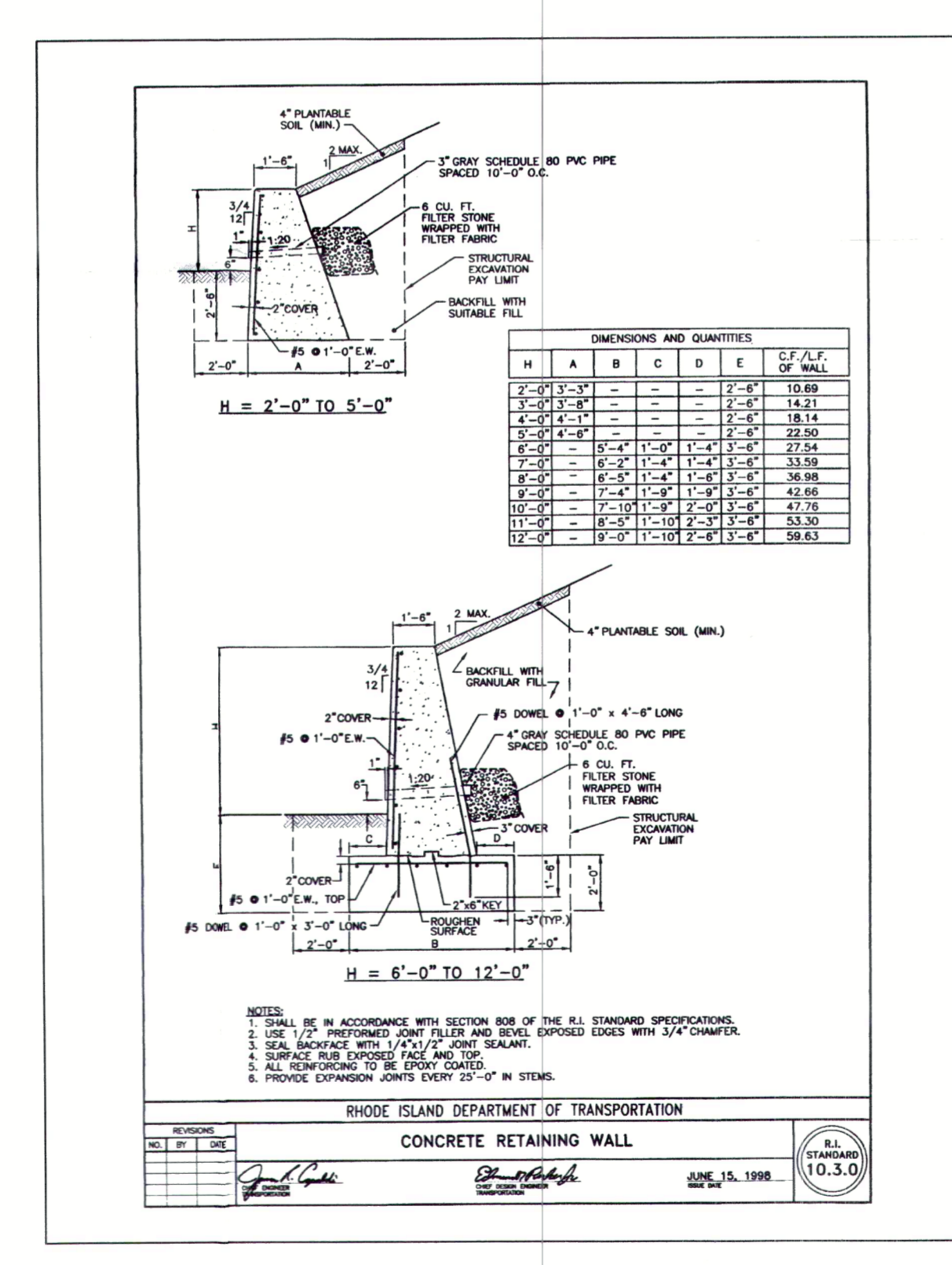
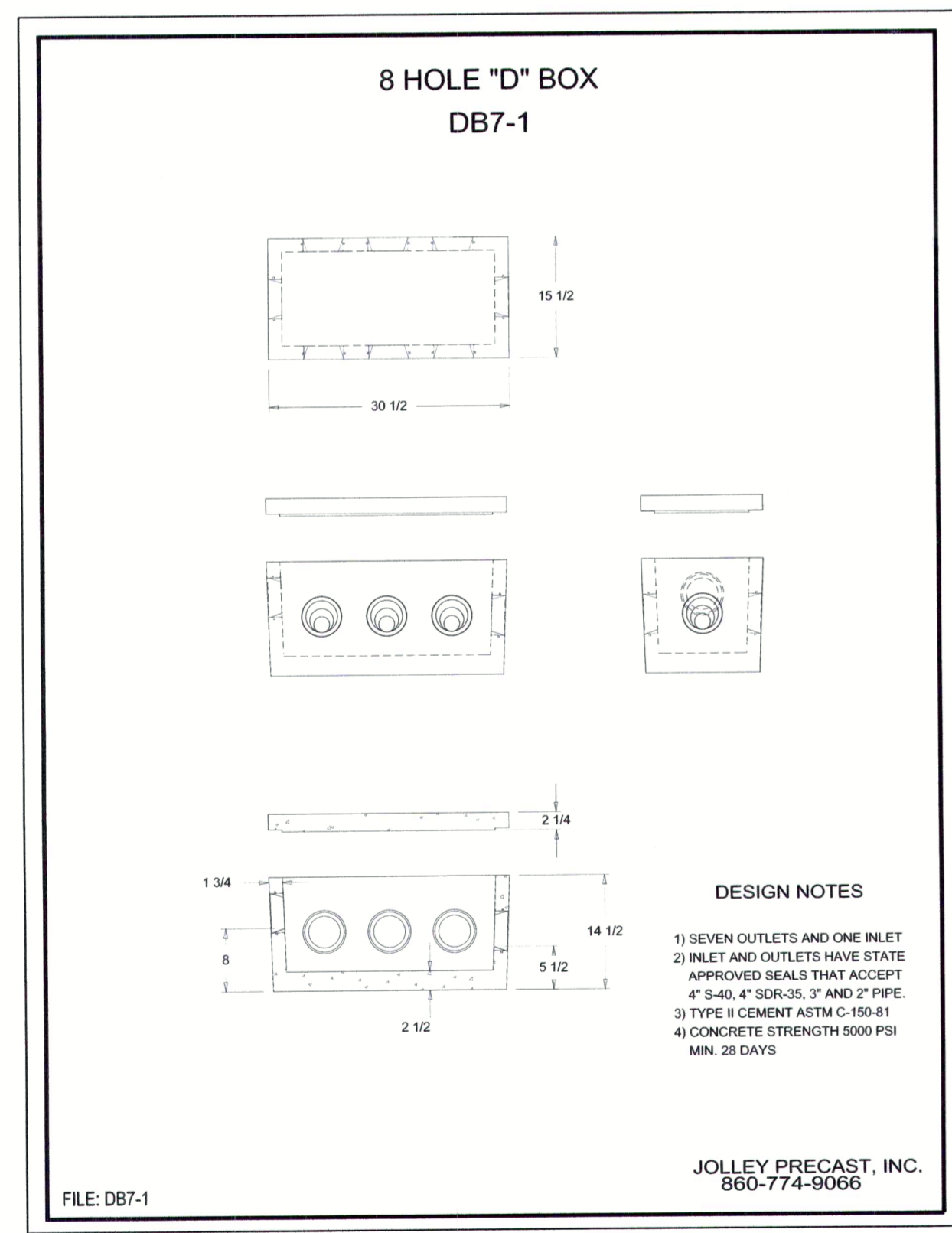
FOR SOD WATERWAYS, DRAINAGE DITCHES, DRAINAGE BASINS:

MIX	% BY WEIGHT
CREEPING RED FESCUE	50
TALL FESCUE OR REED CANARY GRASS*	50

* USE REED CANARY GRASS WHERE MOWING IS NOT REQUIRED.

THE ACCEPTED PLANTING SEASON SHALL BE BETWEEN APRIL 1ST AND OCTOBER 15TH. CONTRACTOR SHOULD COORDINATE, ON ALL DISTURBED AREAS, THE CONTRACTOR SHALL PROVIDE A MINIMUM OF FOUR (4) INCHES OF LOAM ON AREAS UP TO 10% IN GRADE. ALL AREAS OVER 10% SHALL RECEIVE A MINIMUM OF SIX (6) INCHES.

REFERENCE IS HEREBY MADE TO THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK, REVISED AUGUST 2014, PUBLISHED BY THE SOIL CONSERVATION SERVICE. THE GUIDELINES SHOWN THEREIN SHOULD BE INCORPORATED INTO THE CONSTRUCTION PRACTICES ON SITE.



STORMWATER MANAGEMENT DESIGN CALCULATIONS

AREAS REQUIRED FOR WATER QUALITY VOLUME (WV):
HOUSE ROOF AREA = 1,456 SF

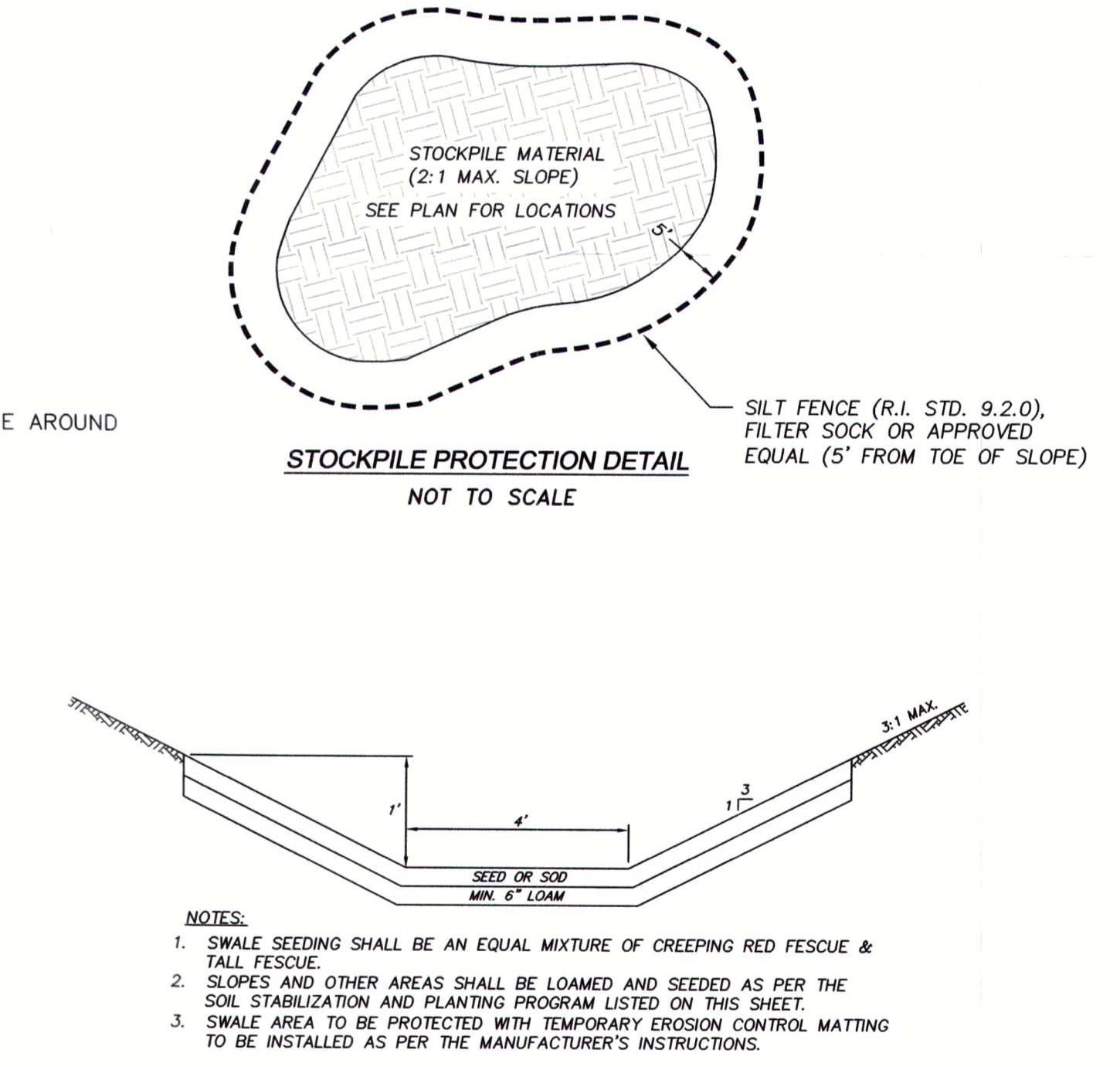
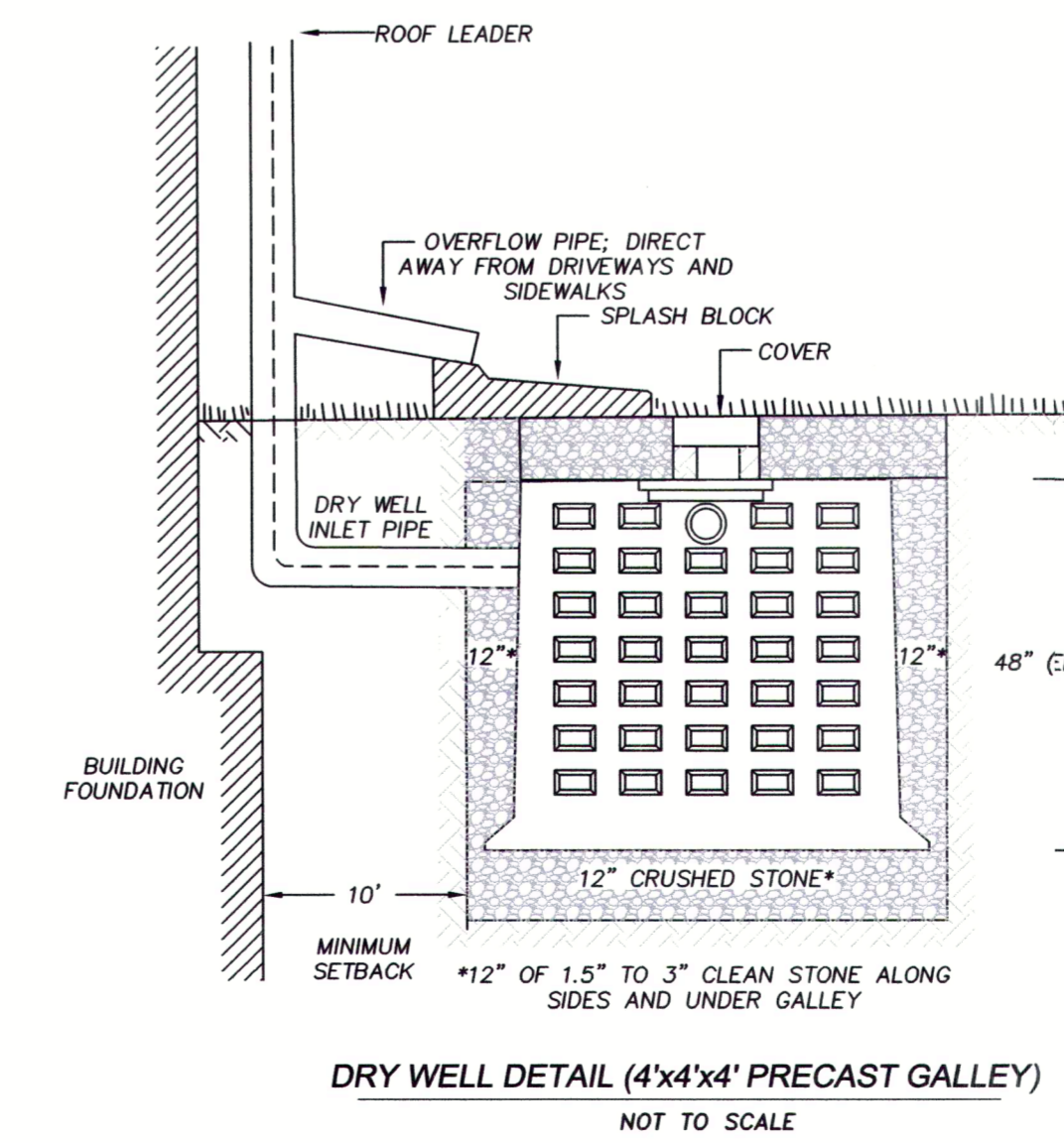
DRY WELL DESIGN CALCULATIONS (ROOF AREAS)*
PROPOSED ROOF AREAS TO BE PIPED TO NEW DRY WELLS:
HOUSE = 1,456 SF
WATER QUALITY VOLUME (WQV) = 1,456 SF X 1" = 121.3 CF

USING 4' X 4' X 4' DEEP PRECAST CONCRETE DRY WELL WITH 2" STONE AROUND
OVERALL VOLUME = 6' X 6' X 5' DEEP = 180 CF
DRY WELL VOLUME = 4' X 4' X 4' = 64 CF
VOLUME STONE = 180 CF - 64 CF = 116 CF
VOID SPACE IN STONE = 116 CF X 0.35 = 40.6 CF
CAPACITY OF DRY WELL = 64 CF + 40.6 CF = 105 CF

INSTALL TWO (2) DRYWELLS TO PROVIDE REQUIRED WQV (SEE SITE PLAN FOR LOCATIONS)

*THE WATER QUALITY DESIGN IS BASED ON RECOMMENDATIONS AND PROCEDURES AS DEFINED AND AS REQUIRED IN MINIMUM STANDARD 11, IN THE LATEST RHODE ISLAND STORMWATER DESIGN AND INSTALLATION MANUAL (RISDIM).

THE RECOMMENDATIONS AND GUIDELINES OF THE RISDIM AND THE LATEST RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK SHOULD BE INCORPORATED INTO THE CONSTRUCTION PRACTICES ON SITE.



CONSTRUCTION ENTRANCE DETAIL NOTES:

1. CONSTRUCTION ENTRANCE DEPTH SHALL BE A MINIMUM OF 5" THICK.
2. CONSTRUCTION ENTRANCE WIDTH SHALL BE THE AT LEAST THE FULL WIDTH OF THE INGRESS/EGRESS ACCESS POINT.
3. CONSTRUCTION ENTRANCE LENGTH SHALL BE A MINIMUM OF 50'.
4. AGGREGATE SIZE SHALL BE RIDOT 2" CRUSHED STONE OR GRAVEL.
5. DETAIL BASED ON RHODE DEPARTMENT OF TRANSPORTATION DETAIL, R.I. STANDARD 9.9.0 CONSTRUCTION ACCESS AND RIDOT STANDARD STANDARD SPECIFICATIONS, SECTION 211, CONSTRUCTION ACCESS.

SUSAN B. CAPASSO
No. 7443
REGISTERED PROFESSIONAL ENGINEER (CIVIL)

RIDEM APPLICATION NO. 2132-1439
PROPOSED NOTES & DETAILS
Project:
THE HOSLEY PLAT
AP 54 LOT 57 (SUB-LOT B)
1696 MINISTERIAL ROAD
SOUTH KINGSTOWN, RHODE ISLAND

Prepared for:
OWNER/APPLICANT: WENDY HOSLEY
69 KICKAPOO RUN, CHARLESTOWN, RI