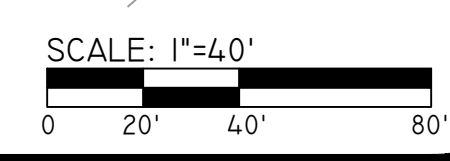
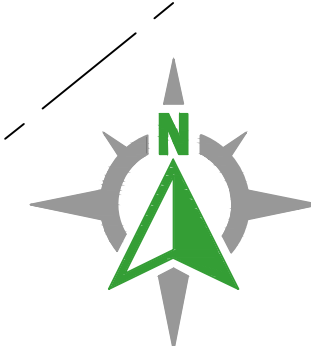
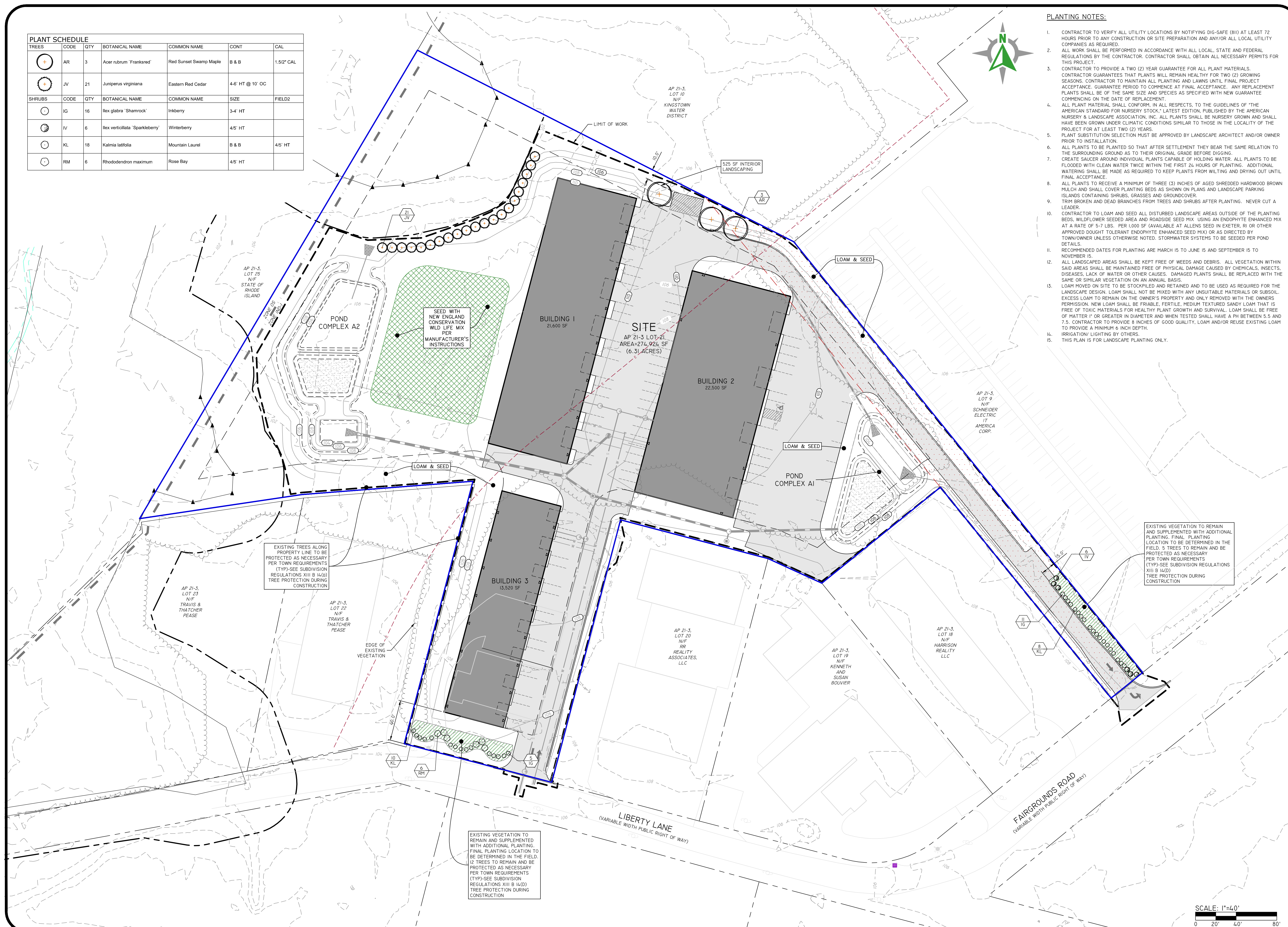


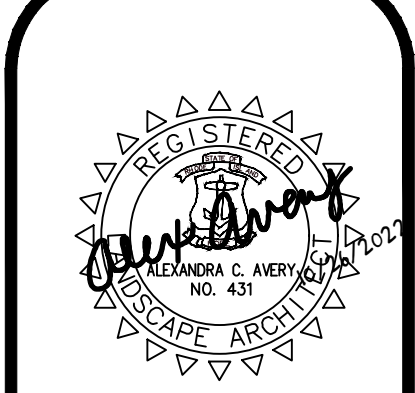
PLANT SCHEDULE						
TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL
	AR	3	Acer rubrum 'Franksred'	Red Sunset Swamp Maple	B & B	1.5'2" CAL
	JV	21	Juniperus virginiana	Eastern Red Cedar	4-6' HT @ 10' OC	
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	FIELD2
	IG	16	Ilex glabra 'Shamrock'	Inkberry	3-4' HT	
	IV	6	Ilex verticillata 'Sparkleberry'	Winterberry	4/5' HT	
	KL	18	Kalmia latifolia	Mountain Laurel	B & B	4/5' HT
	RM	6	Rhododendron maximum	Rose Bay	4/5' HT	

- PLANTING NOTES:**
- CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS BY NOTIFYING DIG-SAFE (811) AT LEAST 72 HOURS PRIOR TO ANY CONSTRUCTION OR SITE PREPARATION AND ANY/OR ALL LOCAL UTILITY COMPANIES AS REQUIRED.
  - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS BY THE CONTRACTOR. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR THIS PROJECT.
  - CONTRACTOR TO PROVIDE A TWO (2) YEAR GUARANTEE FOR ALL PLANT MATERIALS. CONTRACTOR GUARANTEES THAT PLANTS WILL REMAIN HEALTHY FOR TWO (2) GROWING SEASONS. CONTRACTOR TO MAINTAIN ALL PLANTING AND LAWNS UNTIL FINAL PROJECT ACCEPTANCE. GUARANTEE PERIOD TO COMMENCE AT FINAL ACCEPTANCE. ANY REPLACEMENT PLANTS SHALL BE OF THE SAME SIZE AND SPECIES AS SPECIFIED WITH NEW GUARANTEE COMMENCING ON THE DATE OF REPLACEMENT.
  - ALL PLANT MATERIAL SHALL CONFORM, IN ALL RESPECTS, TO THE GUIDELINES OF "THE AMERICAN STANDARD FOR NURSERY STOCK," LATEST EDITION, PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION, INC. ALL PLANTS SHALL BE NURSERY GROWN AND SHALL HAVE BEEN GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST TWO (2) YEARS.
  - PLANT SUBSTITUTION SELECTION MUST BE APPROVED BY LANDSCAPE ARCHITECT AND/OR OWNER PRIOR TO INSTALLATION.
  - ALL PLANTS TO BE PLANTED SO THAT AFTER SETTLEMENT THEY BEAR THE SAME RELATION TO THE SURROUNDING GROUND AS TO THEIR ORIGINAL GRADE BEFORE DIGGING.
  - CREATE SAUCER AROUND INDIVIDUAL PLANTS CAPABLE OF HOLDING WATER. ALL PLANTS TO BE FLOODED WITH CLEAN WATER TWICE WITHIN THE FIRST 24 HOURS OF PLANTING. ADDITIONAL WATERING SHALL BE MADE AS REQUIRED TO KEEP PLANTS FROM WILTING AND DRYING OUT UNTIL FINAL ACCEPTANCE.
  - ALL PLANTS TO RECEIVE A MINIMUM OF THREE (3) INCHES OF AGED SHREDDED HARDWOOD BROWN MULCH AND SHALL COVER PLANTING BEDS AS SHOWN ON PLANS AND LANDSCAPE PARKING ISLANDS CONTAINING SHRUBS, GRASSES AND GROUND COVER.
  - TRIM BROKEN AND DEAD BRANCHES FROM TREES AND SHRUBS AFTER PLANTING. NEVER CUT A LEADER.
  - CONTRACTOR TO LOAM AND SEED ALL DISTURBED LANDSCAPE AREAS OUTSIDE OF THE PLANTING BEDS, WILDFLOWER SEEDED AREA AND ROADSIDE SEED MIX USING AN ENDOPHYTE ENHANCED MIX AT A RATE OF 5-7 LBS. PER 1,000 SF (AVAILABLE AT ALLENS SEED IN EXETER, RI OR OTHER APPROVED DOUGHT TOLERANT ENDOPHYTE ENHANCED SEED MIX) OR AS DIRECTED BY TOWN/OWNER UNLESS OTHERWISE NOTED. STORMWATER SYSTEMS TO BE SEEDED PER POND DETAILS.
  - RECOMMENDED DATES FOR PLANTING ARE MARCH 15 TO JUNE 15 AND SEPTEMBER 15 TO NOVEMBER 15.
  - ALL LANDSCAPED AREAS SHALL BE KEPT FREE OF WEEDS AND DEBRIS. ALL VEGETATION WITHIN SAID AREAS SHALL BE MAINTAINED FREE OF PHYSICAL DAMAGE CAUSED BY CHEMICALS, INSECTS, DISEASES, LACK OF WATER OR OTHER CAUSES. DAMAGED PLANTS SHALL BE REPLACED WITH THE SAME OR SIMILAR VEGETATION ON AN ANNUAL BASIS.
  - LOAM MOVED ON SITE TO BE STOCKPILED AND RETAINED AND TO BE USED AS REQUIRED FOR THE LANDSCAPE DESIGN. LOAM SHALL NOT BE MIXED WITH ANY UNSUITABLE MATERIALS OR SUBSOIL. EXCESS LOAM TO REMAIN ON THE OWNER'S PROPERTY AND ONLY REMOVED WITH THE OWNERS PERMISSION. NEW LOAM SHALL BE FRIABLE, FERTILE, MEDIUM TEXTURED SANDY LOAM THAT IS FREE OF TOXIC MATERIALS FOR HEALTHY PLANT GROWTH AND SURVIVAL. LOAM SHALL BE FREE OF MATTER 1" OR GREATER IN DIAMETER AND WHEN TESTED SHALL HAVE A PH BETWEEN 5.5 AND 7.5. CONTRACTOR TO PROVIDE 8 INCHES OF GOOD QUALITY LOAM AND/OR REUSE EXISTING LOAM TO PROVIDE A MINIMUM 6 INCH DEPTH.
  - IRRIGATION/ LIGHTING BY OTHERS.
  - THIS PLAN IS FOR LANDSCAPE PLANTING ONLY.



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**Boston • Providence • Newport**



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DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING, DIPRETE ENGINEERING, INC. SHALL BE RESPONSIBLE FOR ALL OF THE MEASUREMENTS, METHODS, SAFETY PRECAUTIONS AND REQUIREMENTS, AND DATA PROVIDED TO THE CONTRACTOR IN THE IMPLEMENTATION OF THIS PLAN AND DESIGN.

EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE AND SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. SEE UTILITY NOTE ON SHEET 5.

NO.	DATE	DESCRIPTION	DESIGN BY: N.M.P.
1	10-26-2022	TOWN PERMITS SUBMISSION	K.M.R.
2	11-16-2022	TOWN PERMITS SUBMISSION	K.M.R.
3	02-24-2023	TOWN PERMITS SUBMISSION	N.P.P.
4	02-24-2023	TOWN PERMITS SUBMISSION	K.M.R.
5	02-24-2023	TOWN PERMITS SUBMISSION	N.P.P.
6	02-24-2023	TOWN PERMITS SUBMISSION	N.P.P.

**LANDSCAPE PLAN**  
**551 LIBERTY LANE**  
 ASSESSOR'S PLAT 21-3 LOT 21  
 SOUTH KINGSTOWN, RHODE ISLAND

PREPARED FOR:  
**SOUTH COUNTY POST & BEAM, INC.**  
 521 LIBERTY LANE, WEST KINGSTON, RHODE ISLAND  
 TEL: 401-773-4445 FAX: 401-773-4494

DE: JOB NO. 224-006 COPYRIGHT 2022 BY DIPRETE ENGINEERING ASSOCIATES, INC.

Z:\DEPARTMENT\PROJECTS\224-006 LIBERTY LANE STORAGE\AUTOCAD DRAWINGS\224-006-LARC.DWG PLOTTED: 10/26/2022

**TOWN OF SOUTH KINGSTOWN  
SUBDIVISION & LAND DEVELOPMENT REGULATIONS**

**SECTION IV. SPECIAL REQUIREMENTS  
G. LANDSCAPING - GENERAL STANDARDS & SPECIFICATIONS**

1. **PLANT MATERIALS - STANDARDS**  
PLANT MATERIALS SHALL CONFORM TO THE REQUIREMENTS DESCRIBED IN THE LATEST EDITION OF AMERICAN STANDARD FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERMEN. PLANT MATERIALS SHALL BE SELECTED FROM THE PUBLICATION ENTITLED SUSTAINABLE TREES AND SHRUBS FOR SOUTHERN NEW ENGLAND, UNIVERSITY OF RHODE ISLAND AND UNIVERSITY OF MASSACHUSETTS COOPERATIVE EXTENSION SYSTEMS, 2ND EDITION, 1995, OR LATEST AMENDMENT. ALL TIME OF PLANTING, PLANTS SHALL CONFORM TO THE MEASUREMENTS SPECIFIED BELOW:  
A) STREET TREES AND SHADE TREES SHALL MEET THE REQUIREMENTS OF ARTICLE XIII, SECTION 13 OF THESE REGULATIONS.  
B) MINIMUM SIZE FOR SMALL EVERGREEN TREES OR LARGE SHRUBS SHALL BE SIX TO EIGHT (6-8) FEET IN HEIGHT.  
C) MINIMUM SIZE FOR LOW SHRUBS SHALL BE FOUR (4) FT. IN HEIGHT.  
D) SPACING OF SHRUBS AND OTHER PLANT MATERIALS WHICH ARE INTENDED TO PROVIDE A VISUAL AND/OR AUDIO SCREEN SHALL BE DETERMINED BY THE ANTICIPATED HEIGHT AND SPREAD OF THE PLANT AT MATURITY, BUT SHALL BE PLANTED IN STAGGERED ROWS SO AS TO ACHIEVE A DENSE APPEARANCE WITHIN ONE YEAR OF PLANTING. IN ADDITION TO PLANT MATERIALS, THE PLANNING BOARD MAY REQUIRE THE PLACING OF A SIX-FOOT-HIGH OPAQUE FENCE OR OTHER BARRIER IF THE BOARD DETERMINES THAT THE INITIAL PLANTING WILL NOT ACHIEVE THE INTENDED SCREENING EFFECT WITHIN ONE YEAR OF PLANTING. ALL PLANTINGS SHALL BE MAINTAINED AND GUARANTEED A PERIOD OF ONE YEAR.
2. **STREET LANDSCAPING**  
WHENEVER A PARKING OR LOADING AREA ADJOINS A PUBLIC STREET RIGHT-OF-WAY, OR THE RIGHT-OF-WAY OF A PRIVATE STREET WHICH IS OR MAY BE CUSTOMARILY USED BY THE PUBLIC AS ACCESS TO THE PARKING OR LOADING FACILITY, A LANDSCAPED STRIP OF LAND SHALL BE CONSTRUCTED OR MAINTAINED ALONG THE ENTIRE STREET FRONTAGE, EXCEPT FOR ANY NECESSARY DRIVEWAYS, AS PROVIDED HEREIN. THERE ARE FIVE (5) BASIC OPTIONS FOR A LANDSCAPED STRIP ALONG A STREET AS SHOWN IN THE ILLUSTRATIONS ON THE FOLLOWING PAGES. FOR THE PURPOSE OF THESE REGULATIONS, THE DESIGN AND LAYOUT OF SITE FEATURES SHOWN ARE INTENDED TO BE ILLUSTRATIVE DESIGN GUIDELINES. THE PLANNING BOARD MAY MODIFY THE SPECIFIC DESIGN DURING DEVELOPMENT PLAN REVIEW WHERE NECESSARY TO ACHIEVE THE PURPOSES AND GOALS OF THIS SECTION.  
A) A STRIP OF LAND OF MINIMUM 10 FOOT WIDTH BETWEEN THE RIGHT-OF-WAY AND THE PARKING/LOADING FACILITY PLANTED AS A PARTIAL LANDSCAPE SCREEN. (SEE FIGURE 1).  
B) AN EARTH BERRY OF MINIMUM 8 FOOT WIDTH THAT IS AT LEAST 2.5 FEET HIGHER THAN THE FINISHED ELEVATION OF THE PARKING LOT AND PLANTED AS A PARTIAL LANDSCAPE SCREEN. (SEE FIGURE 2).  
C) A STRIP OF LAND OF MINIMUM 6 FOOT WIDTH WITH A MINIMUM 3-FOOT GRADE DROP FROM THE RIGHT-OF-WAY TO THE PARKING LOT AND PLANTED AS A PARTIAL LANDSCAPE SCREEN. (SEE FIGURE 3).  
D) A STRIP OF LAND OF MINIMUM 4 FOOT WIDTH TO PROVIDE A STONE WALL, BRICK OR OTHER MASONRY WALL HAVING A MINIMUM HEIGHT OF 3 FEET AND PLANTED AS A PARTIAL LANDSCAPE SCREEN. (SEE FIGURE 4).  
E) A WOODED BUFFER STRIP OF LAND OF MINIMUM 25 FOOT WIDTH OF EXISTING WOOLANDS OR OTHER NATURAL FEATURES SUCH AS WETLANDS, HILLSIDES, OR ROCK OUTCROPS SUFFICIENT TO SCREEN ADJACENT RIGHTS-OF-WAY. (SEE FIGURE 5).

PLANTING IS PROPOSED AT THE SITE ENTRANCES ALONG LIBERTY LANE AND FAIRGROUNDS ROAD.

3. **PERIMETER LANDSCAPING - PARKING LOTS AND LOADING FACILITIES**  
THE PERIMETER OF THE PARKING LOT AND LOADING FACILITY SHALL BE SURROUNDED BY A LANDSCAPED STRIP AS ILLUSTRATED IN FIGURE 7. THE WIDTH OF THE PERIMETER LANDSCAPING STRIP SHALL BE AS FOLLOWS:  
NO LESS THAN TEN (10) FEET IN WIDTH WHERE THE PARKING AREA CONTAINS FIVE (5) SPACES OR MORE OR WHICH EXCEEDS 2500 SQ. FT. OF PAVED AREA, AND,  
NO LESS THAN FIVE (5) FEET IN WIDTH WHERE THE PARKING AREA CONTAINS LESS THAN FIVE (5) SPACES OR WHICH HAS LESS THAN 2,500 SQ. FT. OF PAVED PARKING AREA.  
LANDSCAPING OF THE PERIMETER OF A PARKING LOT SHALL INCLUDE AT LEAST ONE TREE PLUS THREE (3) LOW SHRUBS OR GROUND COVER PLANTS FOR EVERY THIRTY-FIVE (35) LINEAR FEET OF PERIMETER.

NEW PLANTING IS PROPOSED AROUND THE PERIMETER OF THE SITE WHERE FEASIBLE. EXISTING PERIMETER PLANTING TO REMAIN - APPROXIMATELY 17 TREES.

4. **INTERIOR LANDSCAPING**  
THE INTERIOR AREAS OF PARKING LOTS (EXCLUSIVE OF LOADING AREAS) SHALL ALSO BE LANDSCAPED. THE MINIMUM AMOUNT OF INTERIOR PARKING LOT LANDSCAPING SHALL BE PROVIDED IN ACCORDANCE WITH THE FOLLOWING TABLE:  
TOTAL AREA OF PARKING LOT      MINIMUM PERCENT OF THE TOTAL PARKING LOT AREA THAT MUST BE AN INTERIOR LANDSCAPING AREA
- |                          |                |
|--------------------------|----------------|
| < 2,500 SQ. FT.          | NO REQUIREMENT |
| 2,500 TO 20,000 SQ. FT.  | 5%             |
| 20,001 TO 50,000 SQ. FT. | 8%             |
| > 50,000 SQ. FT.         | 10%            |
- SUCH INTERIOR LANDSCAPING SHALL BE PROVIDED AS A COMBINATION OF ANY OF THE WAYS PROVIDED BELOW. REFER TO FIGURE 8.

- A) 9-FOOT WIDE X 18' INTERMEDIATE ISLANDS: AT LEAST 1 TREE, PLUS AT LEAST 3 LOW SHRUBS OR GROUND COVER PLANTS AND/OR TURF GRASS;
- B) 18' X 18' CORNER ISLANDS: AT LEAST 1 TREE, PLUS AT LEAST 6 LOW SHRUBS OR GROUND COVER PLANTS AND/OR TURF GRASS;
- C) 9-FOOT WIDE CENTER AND DRIVE ISLANDS: AT LEAST 3 TREES PER 100 LINEAR FEET, PLUS AT LEAST 6 LOW SHRUBS OR GROUND COVER PLANTS PER 100 LINEAR FEET AND/OR TURF GRASS;
- D) 9-FOOT WIDE X 18' HALF END ISLANDS: AT LEAST 1 TREE, PLUS AT LEAST 3 LOW SHRUBS OR GROUND COVER PLANTS AND/OR TURF GRASS;

- E) 9-FOOT WIDE X 36' FULL END ISLANDS: AT LEAST 2 TREES, PLUS AT LEAST 6 LOW SHRUBS OR GROUND COVER PLANTS AND/OR TURF GRASS;
- F) COMMON LANDSCAPED AREAS USED TO DIRECT VEHICULAR OR PEDESTRIAN TRAFFIC, TO DELINEATE PARKING OR TO PRESERVE EXISTING NATURAL FEATURES: AT LEAST 1 TREE PER 300 SQ. FT. AREA PLUS AT LEAST 6 LOW SHRUBS OR GROUND COVER PLANTS AND/OR TURF GRASS.  
LOW SHRUBS OR TURF MAY BE SUBSTITUTED FOR TREES WITHIN THE INTERIOR OF PARKING AREAS WHERE EXISTING TREE COVER IS PRESENT OR IS BEING PROVIDED AS PART OF REQUIRED PERIMETER OR STREET RIGHT-OF-WAY LANDSCAPING OR IS ADJACENT TO THE PARKING AREA AND IS OF SUFFICIENT HEIGHT AND DENSITY TO ACHIEVE THE GOALS AND PURPOSES OF THIS SECTION. INTERIOR LANDSCAPED AREAS SHALL BE DISTRIBUTED THROUGHOUT THE PARKING LOT AS MUCH AS POSSIBLE IN ORDER TO AVOID LARGE EXPANSES OF PAVEMENT, OR AS DETERMINED BY THE PLANNING BOARD AT THE TIME OF DEVELOPMENT PLAN REVIEW. LANDSCAPED STRIPS ALONG THE STREET OR PERIMETER LANDSCAPING SHALL NOT BE COATED TO MEET THESE INTERIOR LANDSCAPING REQUIREMENTS.

PARKING AREA IS 10,368 SF THEREFORE 5% INTERIOR LANDSCAPING IS REQUIRED.  
INTERIOR LANDSCAPING REQUIRED = 10,368 x 0.05 = 518.4 SF  
INTERIOR LANDSCAPING PROVIDED = 525 SF  
525 SF / 10,368 SF = 5.06% (0.0506) > 5% INTERIOR PARKING REQUIRED

INTERIOR LANDSCAPING CONSIST OF TREES AND LAWN

5. **BUILDING LANDSCAPING**  
PAVEMENT FOR PARKING AREAS, EXCLUSIVE OF LOADING AREAS AND DRIVEWAYS, SHALL NOT DIRECTLY ADJUT THE WALL OF ANY PRINCIPAL BUILDING FACING ANY PUBLIC STREET WHICH PROVIDES LOT FRONTAGE. THERE SHALL BE A LANDSCAPED AREA BETWEEN THE PARKING SURFACE AND BUILDING WALL OF AT LEAST THREE (3) FEET IN WIDTH. LANDSCAPING SHALL BE PROVIDED IN SAID AREA TO INCLUDE SHRUBS, ORNAMENTAL TREES, GROUND COVER PLANTS OR TURF GRASS. THIS REQUIREMENT SHALL NOT BE CONSTRUED SO AS TO PROHIBIT THE CONSTRUCTION OF PERMITTED DECKS, PORCHES, SIGNS, LIGHTING, WALKS OR RAISED PLANTERS ALONG SAID BUILDING WALL, PROVIDED THAT LANDSCAPING AND PLANT MATERIALS ARE INCORPORATED INTO THE DESIGN. IN THE CASE OF CORNER LOTS, EACH BUILDING WALL FACING ADJACENT STREETS SHALL BE SO LANDSCAPED. THE REQUIREMENTS FOR BUILDING LANDSCAPING IN THIS SUBSECTION SHALL NOT APPLY TO CD ZONING DISTRICTS.

BUILDING LANDSCAPING BY OWNER.

6. **LOCATION OF LOADING SPACES**  
OFF-STREET LOADING SPACES SHALL BE LOCATED UPON THE LOT IN SUCH A MANNER SO AS TO BE HIDDEN FROM DIRECT VIEW FROM ADJACENT PUBLIC OR PRIVATE STREETS. IN COMMERCIAL AND MANUFACTURING ZONING DISTRICTS, AND IN ANY SPECIAL MANAGEMENT DISTRICT, LOADING FACILITIES SHALL NOT BE LOCATED IN THE AREA BETWEEN THE PRINCIPAL BUILDING AND THE STREET LINE. LOADING FACILITIES SHALL BE LOCATED TOWARD THE REAR OF THE BUILDING IN SUCH A MANNER AS TO BE EFFECTIVELY SCREENED FROM ADJACENT STREETS. IF CONDITIONS DO NOT PERMIT SUCH A LOCATION, LOADING SPACES MAY BE LOCATED ON THE SIDE OF THE BUILDING PROVIDED THAT, TO THE MAXIMUM EXTENT POSSIBLE, THEY ARE SCREENED FROM ADJACENT STREETS OR ABUTTING RESIDENTIAL USES OR ZONING DISTRICTS. MINIMUM SCREENING FOR LOADING SPACES IN SIDE YARDS SHALL BE AS PROVIDED IN FIGURE 6 FOR ANY OF THE OPTIONS FOR A FULL LANDSCAPE SCREEN.  
SITE DOES NOT ADJUT ANY RESIDENTIAL USES OR ZONING DISTRICTS.

7. **TRANSITION YARD LANDSCAPING STANDARDS**  
TRANSITION YARD LANDSCAPING IS REQUIRED WHENEVER A BUFFER BETWEEN ADJACENT INCOMPATIBLE LAND USES IS NECESSARY IN ORDER TO PHYSICALLY SEPARATE AND VISUALLY SCREEN SUCH ADJACENT LAND USES. TRANSITION YARDS ARE REQUIRED IN THE FOLLOWING SITUATIONS AND ARE REQUIRED TO PROVIDE THE FOLLOWING LANDSCAPING AND BUFFERING:  
INDUSTRIAL USES OR ZONING DISTRICTS ADJUTING RESIDENTIAL ZONING DISTRICTS - IN ANY ZONING DISTRICT, A LOT WHICH CONTAINS ANY INDUSTRIAL USE, AND A LOT IN ANY INDUSTRIAL ZONING DISTRICT WHICH ADJUTS ANY RESIDENTIAL ZONING DISTRICT SHALL PROVIDE A SIDE YARD AND A REAR YARD AT LEAST EQUAL TO TWICE THE SIDE OR REAR YARD REQUIREMENT OF THE ADJUTING RESIDENTIAL DISTRICT. WHERE MORE THAN ONE RESIDENTIAL DISTRICT ADJUTS, THE DISTRICT IMPOSING THE HIGHER STANDARD SHALL APPLY. SIDE AND REAR YARDS IN THE INDUSTRIAL DISTRICT SHALL BE BUFFERED IN ANY OF THE FOLLOWING WAYS:

- 50-FOOT WOODED BUFFER, OR,
  - 20-FOOT PARTIAL LANDSCAPE SCREEN, OR,
  - 10-FOOT FULL LANDSCAPE SCREEN.
- B) COMMERCIAL ZONING DISTRICTS ADJUTING RESIDENTIAL ZONING DISTRICTS - LOTS IN ANY COMMERCIAL ZONING DISTRICT WHICH ADJUT ANY RESIDENTIAL ZONING DISTRICT SHALL PROVIDE A SIDE YARD AND A REAR YARD AT LEAST EQUAL TO THE SIDE OR REAR YARD REQUIREMENT OF THE ADJUTING RESIDENTIAL DISTRICT, EXCEPT THAT CORNER SIDE YARD REQUIREMENTS FOR SUCH LOTS MAY BE PROVIDED AS REQUIRED IN THE COMMERCIAL DISTRICT. WHERE MORE THAN ONE RESIDENTIAL DISTRICT ADJUTS, THE DISTRICT IMPOSING THE HIGHER STANDARD SHALL APPLY. SIDE AND REAR YARDS IN THE COMMERCIAL DISTRICT SHALL BE BUFFERED IN ANY OF THE FOLLOWING WAYS:
- 50-FOOT WOODED BUFFER, OR,
  - 20-FOOT PARTIAL LANDSCAPE SCREEN, OR,
  - 10-FOOT FULL LANDSCAPE SCREEN.

8. **LANDSCAPED STREET YARDS**  
WITHIN ANY ZONING DISTRICT WITHIN THE KINGSTOWN ROAD SPECIAL MANAGEMENT DISTRICT, ANY LOT HAVING DIRECT FRONTAGE ON KINGSTOWN ROAD, SAUGTUCKETT ROAD OR CURTIS CORNER ROAD SHALL PROVIDE LANDSCAPED STREET YARDS AS PROVIDED IN SECTION 604 OF THE ZONING ORDINANCE. THE DELINEATION OF THE LANDSCAPED STREET YARD IS ILLUSTRATED BY FIGURE 9.

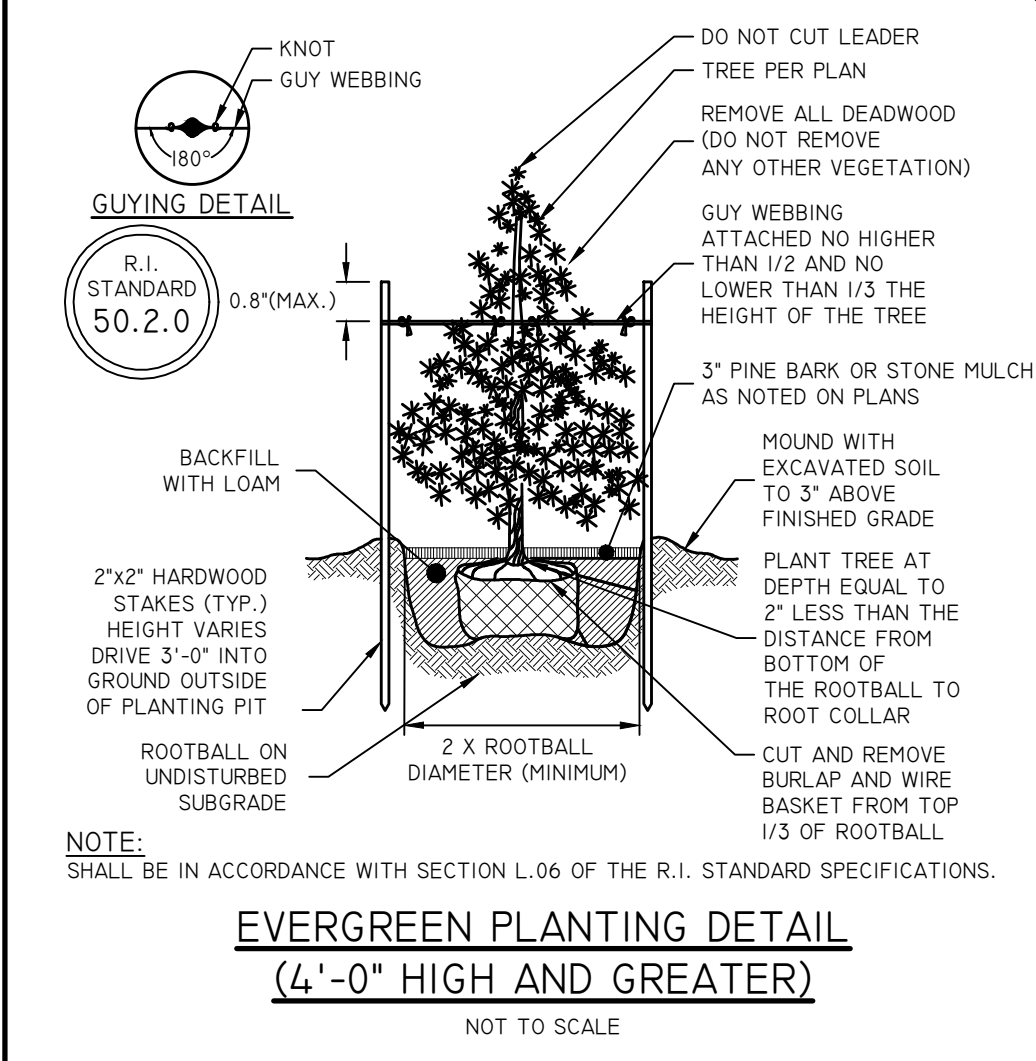
NOT APPLICABLE.

9. **ALTERNATIVE METHODS OF COMPLIANCE**  
WHERE LANDSCAPING REQUIRED BY THIS SECTION IS NOT PRACTICAL FOR REASONS OF AVAILABLE LAND AREA, CONFLICT WITH OVERHEAD WIRES OR OTHER PHYSICAL CONDITIONS, THE PLANNING BOARD MAY PERMIT ALTERNATIVE LANDSCAPING OR MAY WAIVE, REDUCE OR OTHERWISE MODIFY THE REQUIREMENTS FOR SUCH LANDSCAPING. IN APPLYING FOR SUCH WAIVER THE APPLICANT SHALL PROPOSE ALTERNATIVE METHODS OF PROVIDING LANDSCAPING, SCREENING OR BUFFERING IN ORDER TO MEET THE GOALS AND PURPOSES OF THIS SECTION.  
NEW PLANTING IS PROPOSED TO FULFILL LANDSCAPE REQUIREMENTS WHERE FEASIBLE.

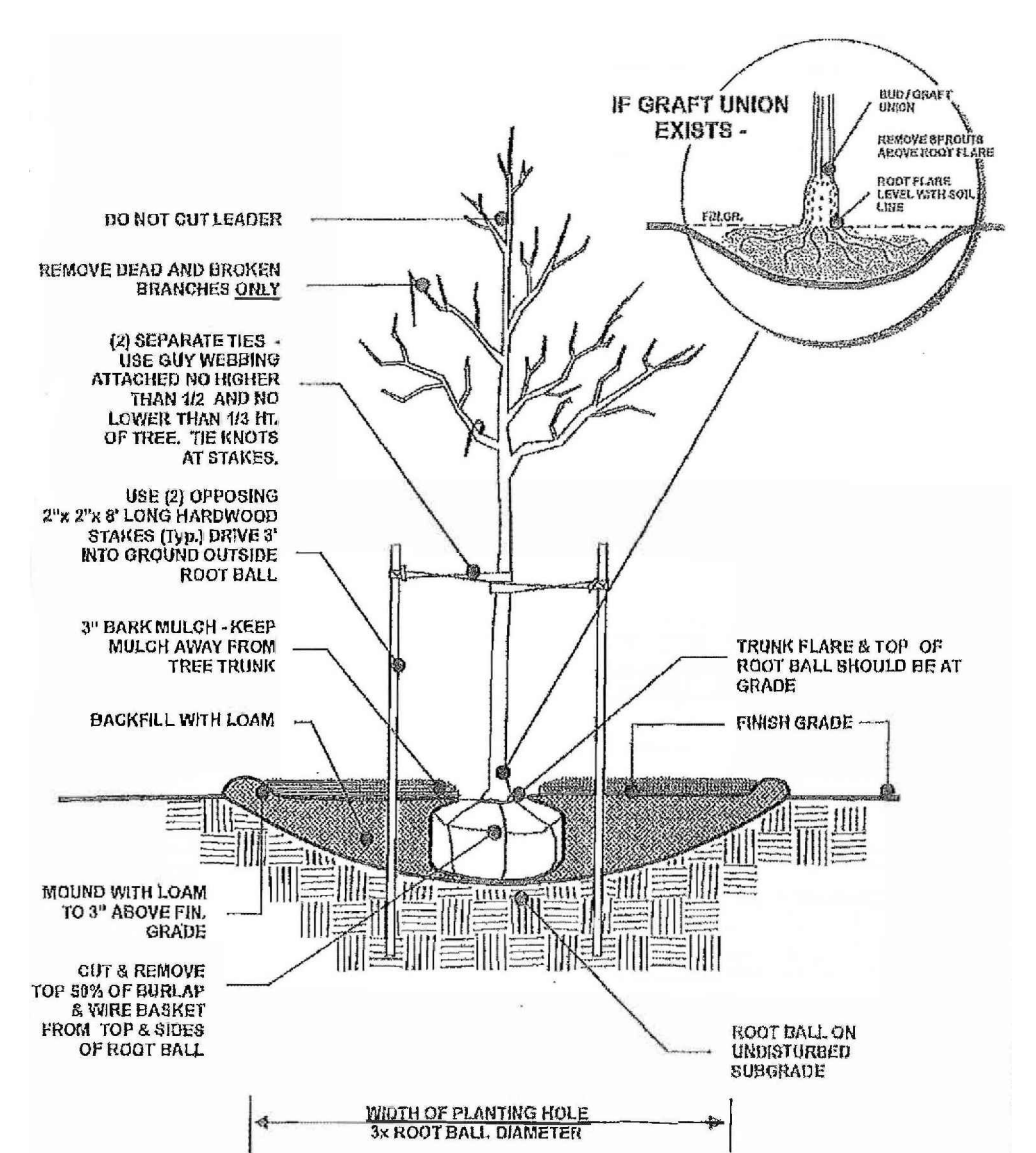
**SECTION XIII. DESIGN & PUBLIC IMPROVEMENT STANDARDS  
B. STREET DESIGN STANDARDS**

13. **STREET TREES**  
WHERE NATURAL TREE GROWTH IS DETERMINED BY THE PLANNING BOARD TO BE INSUFFICIENT, THE PLANNING BOARD SHALL REQUIRE THE SUBDIVIDER TO PLANT STREET TREES APPROPRIATE FOR THE TERRAIN, SOIL AND CLIMATIC CONDITIONS ENCOUNTERED IN THE SUBDIVISION, AND IN ACCORDANCE WITH THE FOLLOWING STANDARDS:  
A. **LOCATION** - STREET TREES SHALL BE LOCATED AS SHOWN IN FIGURE 3 OR ON THE PORTION OF BUILDING LOTS WITHIN 10 FEET OF THE STREET RIGHT-OF-WAY LINE, IF ASSURANCE CAN BE GIVEN BY THE SUBDIVIDER THAT THE TREES WILL NOT BE DISTURBED BY BUILDING ACTIVITIES. IN EITHER CASE, NO STREET TREES SHALL BE LOCATED SO AS TO INTERFERE WITH OVERHEAD OR UNDERGROUND UTILITY LINES.  
TREES SHALL BE SPACED APPROXIMATELY 30 FEET TO 50 FEET ON CENTER, DEPENDING ON ANTICIPATED ULTIMATE SIZE.  
B. **TYPE** - THE SPECIES SELECTED ARE TO BE SUITABLE FOR ZONE 6 HARDINESS AND SHALL BE SELECTED FROM THE PUBLICATION ENTITLED 'SUSTAINABLE TREES AND SHRUBS FOR SOUTHERN NEW ENGLAND,' UNIVERSITY OF RHODE ISLAND AND UNIVERSITY OF MASSACHUSETTS COOPERATIVE EXTENSION SYSTEMS, 1995) AND SHALL BE SELECTED FOR SUITABILITY FOR THE LOCATION.  
WHERE MULTIPLE TREES ARE TO BE PLANTED, MONOCULTURE PLANTING SHOULD BE AVOIDED.  
C. **SIZE** - SPECIES SHALL BE 1 1/2 TO 2 INCHES CALIPER, MEASURED ONE-FOOT FROM GROUND LEVEL IN PLACE, AND 6 FEEL LO 8 FEET OF HEIGHT IN PLACE.  
D. **QUALITY** - STREET TREES SHALL BE BALLED AND BURLAPPED WITH GOOD ROOT DEVELOPMENT AND BRANCHING CHARACTERISTICS. TREES SHALL HAVE A WELL-DEFINED CENTRAL LEADER. ALL TREES SHALL BE OF LICENSED NURSERY STOCK. NATIVE SPECIES SHOULD BE USED WHENEVER POSSIBLE. DEAD AND BROKEN BRANCHES SHALL BE REMOVED. NO MORE THAN 25% OF BRANCHES SHALL BE REMOVED AT TIME OF PLANTING.  
E. **PLANTING** - THE SUBDIVIDER SHALL ENGAGE A RHODE ISLAND LICENSED ARBORIST TO BE ON SITE DURING PLANTING TO ENSURE THAT THE FOLLOWING STANDARDS AND PROCEDURES ARE OBSERVED DURING PLANTING:  
• THE TOP 50% OF BURLAP AND WIRE BASKET SHALL BE REMOVED.  
• ENOUGH SOIL FROM THE TOP OF THE ROOT BALL SHALL BE REMOVED TO EXPOSE TRUNK/ROOT FLARE.  
• TORN OR RAGGED ROOTS SHALL BE PRUNED TO MAKE A CLEAN TERMINATION.  
• TREES SHALL BE PLANTED IN BOWL-SHAPED HOLE THREE (3) LINES THE WIDTH OF THE ROOT BALL.  
• THE SOIL AT THE BOTTOM OF THE HOLE SHALL BE COMPACTED TO RESIST SETTLING OF THE TREE.  
• SOIL THAT IS NUTRIENT DEFICIENT SHALL BE AMENDED BY THE ADDITION OF COMPOST PRIOR TO BACKFILLING THE HOLE.  
• TREES SHALL BE PLANTED AT A DEPTH THAT ALLOWS FULL EXPOSURE OF TRUNK/ROOT FLARE.  
• TREES SHALL BE STAKED AND GUYED, USING ARBOR TAFE THAT IS NOT PULLED TAUT.  
• SOIL FROM THE PLANTING HOLE SHALL BE BUILT UP ALONG THE PERIMETER, TO ACT AS A DAM TO RETAIN WATER.  
• TREES SHALL BE MULCHED WITH 2 (TWO) TO 3 (THREE) INCHES OF MULCH, KEEPING MULCH 3 (THREE) INCHES AWAY FROM TRUNK.

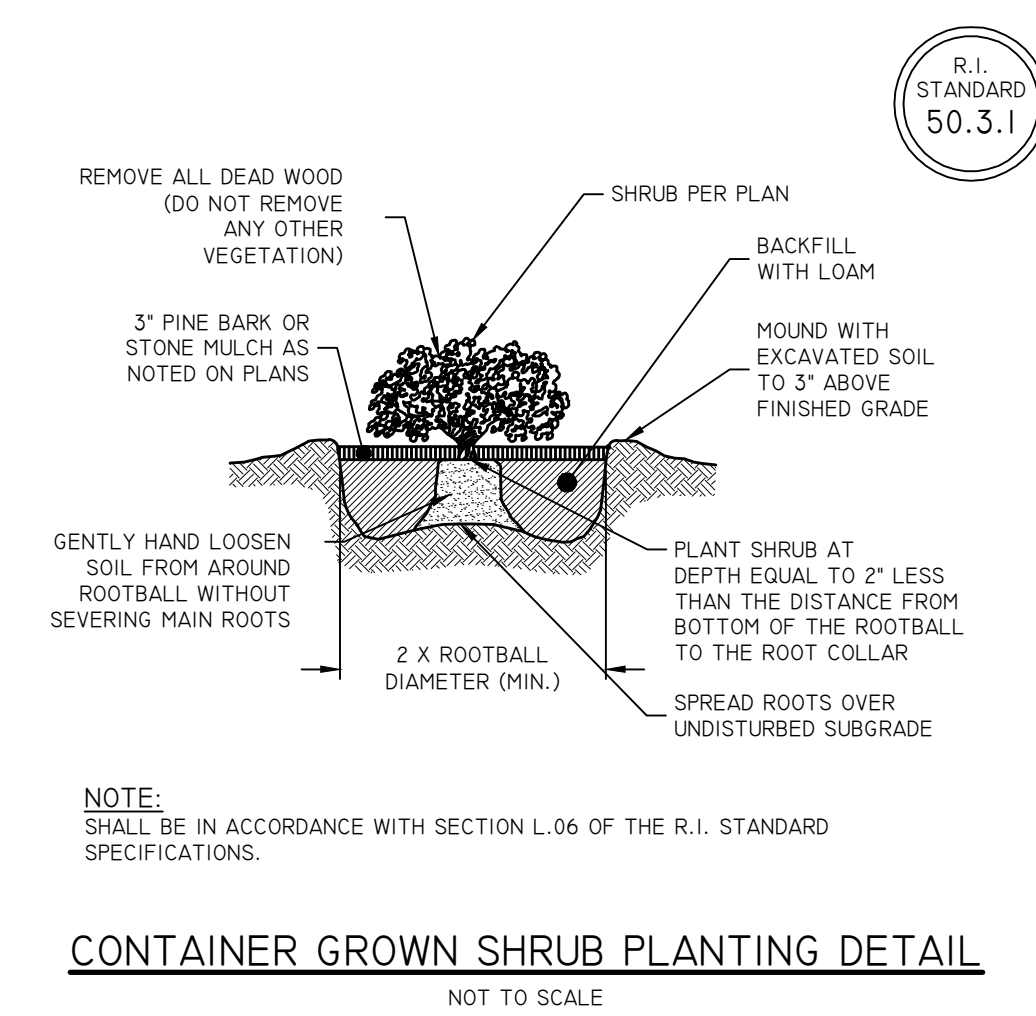
STREET TREES, SHRUBS AND LOAM AND SEED IS PROPOSED ALONG STREET RIGHT-OF-WAYS/ENTANCES DRIVEWAYS. THE SPECIES SELECTED ARE SUITABLE FOR ZONE 6 HARDINESS AND ARE SELECTED FROM THE PUBLICATION ENTITLED 'SUSTAINABLE TREES AND SHRUBS FOR SOUTHERN NEW ENGLAND,' (UNIVERSITY OF RHODE ISLAND AND UNIVERSITY OF MASSACHUSETTS COOPERATIVE EXTENSION SYSTEMS, 1995). TREE SPECIES PROPOSED ARE 1 1/2 TO 2 INCHES CALIPER.



**EVERGREEN PLANTING DETAIL  
(4'-0" HIGH AND GREATER)**  
NOT TO SCALE



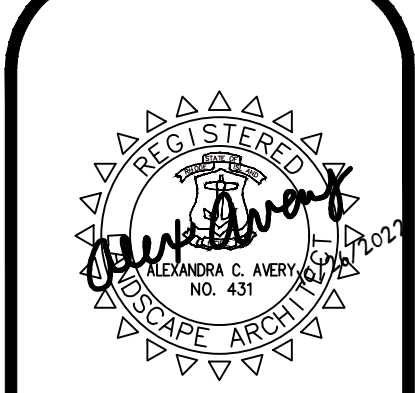
**TREE PLANTING DETAIL - TYPICAL**  
TOWN OF SOUTH KINGSTOWN, R.I.



**CONTAINER GROWN SHRUB PLANTING DETAIL**  
NOT TO SCALE

**DiPrete Engineering**  
Two Stafford Court Cranston, RI 02920  
tel 401-943-1000 fax 401-464-6006 www.diprete-eng.com

**Boston • Providence • Newport**



THIS PLAN SET IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS IT IS APPROVED AND STAMPED BY A REGISTERED PROFESSIONAL ENGINEER OF RHODE ISLAND.

DIPRETE ENGINEERING ON 1/19/2022 PLANS ON A DIPRETE PROFESSIONAL ENGINEER OF RHODE ISLAND, DIPRETE ENGINEERING, 200 WEST MAIN STREET, SUITE 200, CRANSTON, RI 02920. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEASUREMENTS, METHODS, SAFETY PRECAUTIONS AND REQUIREMENTS, AND OSHA COMPLIANCE IN THE IMPLEMENTATION OF THIS PLAN AND DESIGN.

EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR OMAKING UTILITIES CORRECT OR FOR ANY DAMAGE TO UTILITIES. SEE UTILITY NOTE ON SHEET 3.

DESIGN BY: N.M.P.

NO.	DATE	DESCRIPTION	BY
1	10-26-2022	TOWN TREE INVENTORY SUBMISSION	K.R.R.
2	09-27-2022	TOWN TREE INVENTORY SUBMISSION	K.R.R.
3	08-24-2022	TOWN TREE INVENTORY SUBMISSION	K.R.R.
4	08-24-2022	TOWN TREE INVENTORY SUBMISSION	K.R.R.
5	08-24-2022	TOWN TREE INVENTORY SUBMISSION	K.R.R.
6	08-24-2022	TOWN TREE INVENTORY SUBMISSION	K.R.R.
7	08-24-2022	TOWN TREE INVENTORY SUBMISSION	K.R.R.
8	08-24-2022	TOWN TREE INVENTORY SUBMISSION	K.R.R.
9	08-24-2022	TOWN TREE INVENTORY SUBMISSION	K.R.R.
10	08-24-2022	TOWN TREE INVENTORY SUBMISSION	K.R.R.
11	08-24-2022	TOWN TREE INVENTORY SUBMISSION	K.R.R.
12	08-24-2022	TOWN TREE INVENTORY SUBMISSION	K.R.R.
13	08-24-2022	TOWN TREE INVENTORY SUBMISSION	K.R.R.
14	08-24-2022	TOWN TREE INVENTORY SUBMISSION	K.R.R.
15	08-24-2022	TOWN TREE INVENTORY SUBMISSION	K.R.R.
16	08-24-2022	TOWN TREE INVENTORY SUBMISSION	K.R.R.
17	08-24-2022	TOWN TREE INVENTORY SUBMISSION	K.R.R.
18	08-24-2022	TOWN TREE INVENTORY SUBMISSION	K.R.R.
19	08-24-2022	TOWN TREE INVENTORY SUBMISSION	K.R.R.
20	08-24-2022	TOWN TREE INVENTORY SUBMISSION	K.R.R.
21	08-24-2022	TOWN TREE INVENTORY SUBMISSION	K.R.R.
22	08-24-2022	TOWN TREE INVENTORY SUBMISSION	K.R.R.
23	08-24-2022	TOWN TREE INVENTORY SUBMISSION	K.R.R.
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89	08-24-2022	TOWN TREE INVENTORY SUBMISSION	K.R.R.
90	08-24-2022	TOWN TREE INVENTORY SUBMISSION	K.R.R.
91	08-24-2022	TOWN TREE INVENTORY SUBMISSION	K.R.R.
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98	08-24-2022	TOWN TREE INVENTORY SUBMISSION	K.R.R.
99	08-24-2022	TOWN TREE INVENTORY SUBMISSION	K.R.R.
100	08-24-2022	TOWN TREE INVENTORY SUBMISSION	K.R.R.

**LANDSCAPE NOTES & DETAILS**

**551 LIBERTY LANE**  
ASSESSOR'S PLAT 21-3 LOT 21  
SOUTH KINGSTOWN, RHODE ISLAND

PREPARED FOR:  
**SOUTH COUNTY POST & BEAM, INC.**  
521 LIBERTY LANE, WEST KINGSTON, RHODE ISLAND  
TEL 401-773-4444 FAX 401-763-4494

DESIGN BY: N.M.P.

Z:\DEPMAN\PROJECTS\22L-008 LIBERTY LANE STORAGE\AUTOCAD DRAWINGS\22L-008-LARC-DWG PLOT.DWG PLOTTED: 10/26/2022