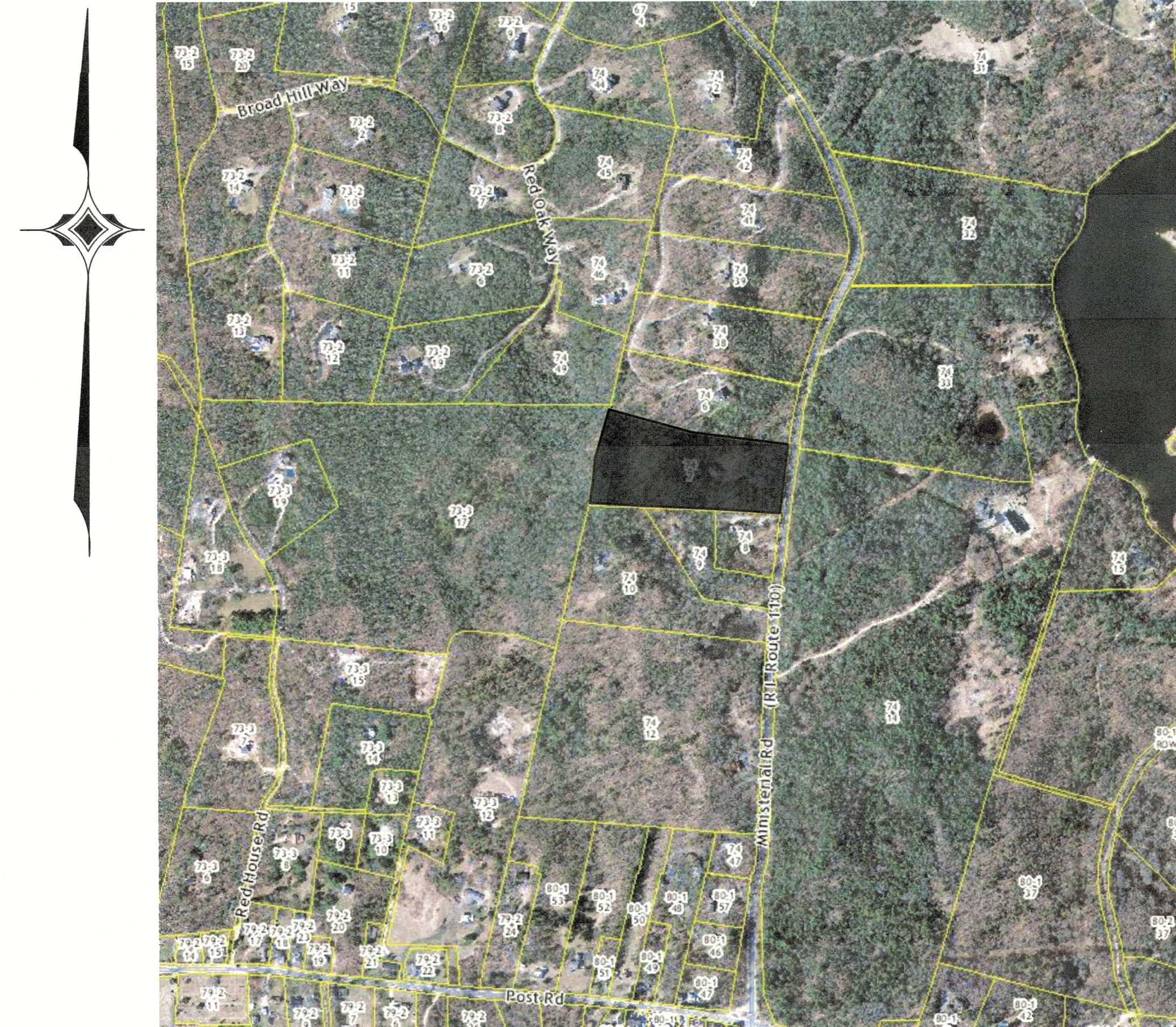


# Proposed Two-Lot Major Subdivision Prepared For Lee G. Hemmerle Trust

**Project Permits:**

RIDEM OWTS #2032-1944  
RIDOT PAPA #21-56



**Content:**

Cover Sheet	Sheet 1
Existing Conditions	Sheet 2
Final Lot Geometry Sheet	Sheet 3
Grading and Utility (Proposed Conditions)	Sheet 4
Driveway and Profile	Sheet 5
Detail Sheet	Sheet 6
Yield Plan	Sheet 7
Erosion Control Plan	Sheet 8

## 350 Ministerial Road Assessor's Plat 74 Parcel 7 South Kingstown, Rhode Island

April 26, 2022

Revision Schedule	
Revision Date	Revision Description

RIGL 34-13-1 INDEX
ABUTTING STREETS
Ministerial Road

RECEIVED FOR RECORD  
SOUTH KINGSTOWN, RHODE ISLAND \_\_\_\_ 20 \_\_\_\_  
AT \_\_\_\_ O'CLOCK \_\_\_\_ M, AND  
RECORDED IN BOOK NO \_\_\_\_  
PAGE \_\_\_\_ OF THE LAND EVIDENCE RECORDS

\_\_\_\_\_  
Susan Flynn  
WITNESS TOWN CLERK

**PROPERTY OWNER(S):**  
Lee H. Hemmerle Trust  
c/o Kim Jones  
1650 Bennington Hollow Ln  
Reston, VA 20194

**APPLICANT(S):**  
Lee H. Hemmerle Trust  
c/o Kim Jones  
1650 Bennington Hollow Ln  
Reston, VA 20194

South Kingstown Planning Board  
Approved

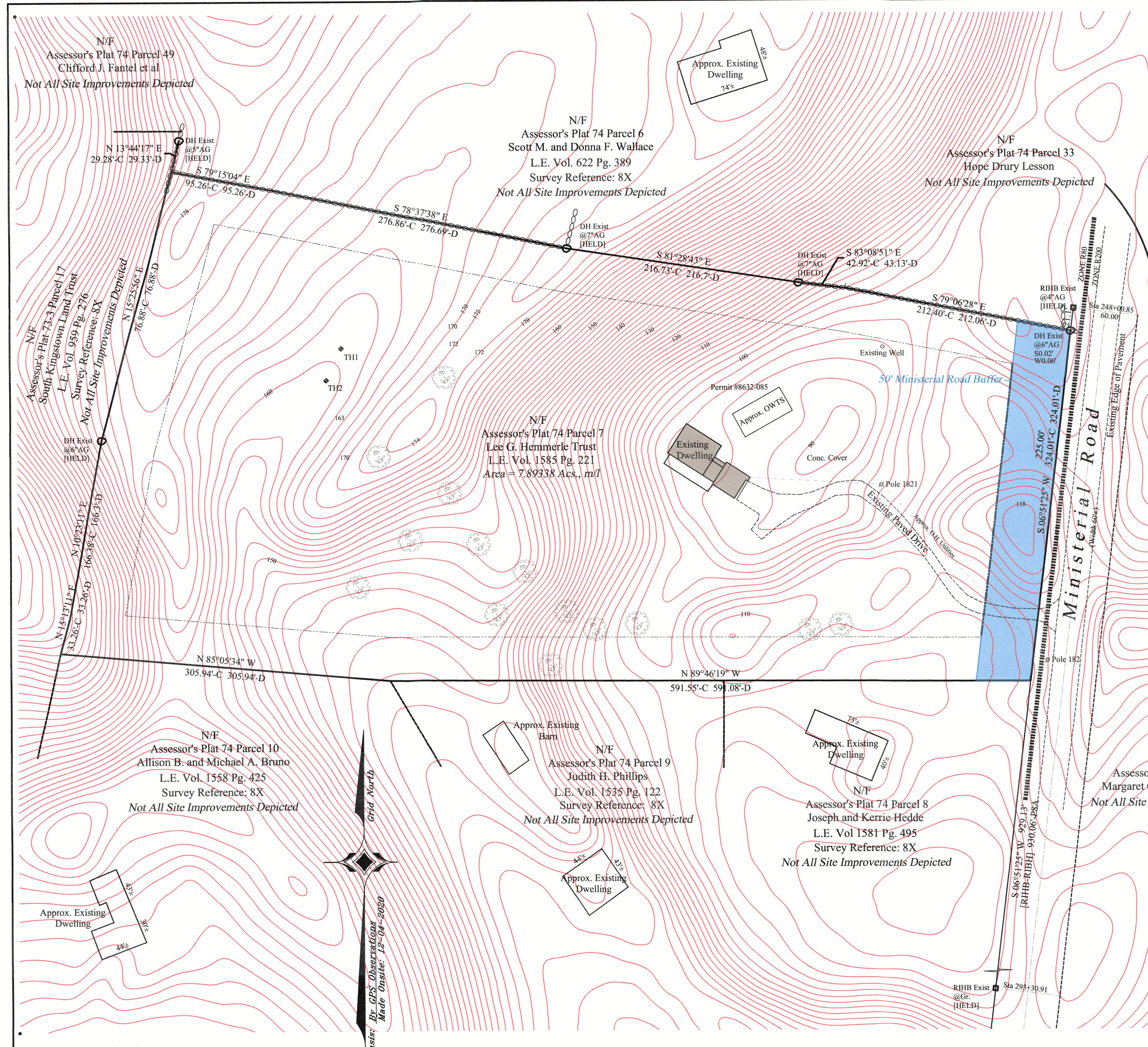
Planning Board Chair: \_\_\_\_\_  
Date: \_\_\_\_\_

**Alfred W. DiOrio, RLS, Inc.**

Professional Land Surveyors • Land Use Consultants  
Certified Professional Erosion Control Specialists  
Licensed OWTS Designers • Installers • Inspectors • Soil Evaluators  
Hopkinton, Rhode Island

Alfred W. DiOrio, RLS, Inc.  
PO Box 999, Ashaway, Rhode Island 02804  
401/377-8124  
Cellular 401/742-1850  
www.awdrfs.com Email: al@awdrfs.com

- COPYRIGHTED MATERIALS -  
Copyright 2022 Alfred W. DiOrio, RLS, Inc.  
Quotations Not Permitted. Material May Not Be  
Reproduced in Whole Or in Part In Any Form whatsoever.



**PLAN NOTES:**

- The subject site is substantially depicted on Town of South Kingstown, Rhode Island Tax Assessor's Map 74 as Parcel 7.
- The subject site is zoned "R80" per Town of South Kingstown, Rhode Island Geographic Information System (GIS), dated 08-03-2020. Use of and/or reliance upon this zoning designation shall be at the user's sole risk and is subject to verification of current zoning status by the Town of South Kingstown, Rhode Island.
- Stone Walls. The line of any stone wall(s) depicted hereon may vary slightly from the geometric centerline represented hereon. While reasonable efforts have been made to monument and/or delineate the centerline of said wall(s), these minor variations are typical of wall construction in the locale.
- Associated Locations. The geometric points and/or monumentation associated with the boundary(s) of the subject site represented hereon are consistent with the CLASS of Survey specified in the surveyor's statement. The location of all other associated site features as may be depicted hereon, are consistent with either a CLASS III or CLASS IV Standard of Survey, unless expressly stated to the contrary.
- Water Boundaries. As may be applicable, the subject site may contain natural or man-made water boundaries which are subject to change due to natural or artificial causes and may or may not represent the actual location of the limits of title.
- Building Locations. As may be applicable, building depicted hereon have been located at the foundation corners or structure face, unless expressly stated to the contrary. Building overhangs and/or protrusions at elevation above the foundation are NOT necessarily depicted.
- Utility Locations. Utility lines and locations that are visible and apparent have been depicted hereon. The existence of any underground utilities, and the location of those utilities, have been estimated from associated surface features and/or recollections of knowledgeable parties, unless expressly stated hereon. The use of and reliance upon these utility locations shall be at the user's sole risk and shall be subject to verification of the actual location by the appropriate regulatory agency. Said verification to be at the direction and expense of the end user of this data.
- Reference Documentation:
  - Warranty Deed from Lee G. Hemmerle to the Lee G. Hemmerle Trust Dated August 4, 2015, dated August 4, 2015, recorded at Vol. 1585 Page 221 in the Land Evidence records of the Town of South Kingstown, Rhode Island;
  - Rhode Island Geographic Information System (RIGIS) Imagery, 2014 USGS;
  - Rhode Island Geographic Information System (RIGIS) 2011 Statewide LiDAR Contours.
  - "South Kingstown, Perryville Road, From Kingston Road to The Post Road, Scale 40 Feet Per Inch, Sheet 22 and 23 of 24, Plat No. 445" as provided to the Surveyor of Record from RIDOT.
- Regulated Coastal and/or Freshwater Wetland Features. Unless expressly stated to the contrary, there may be regulated coastal and/or freshwater wetland features on, or in proximity to, the subject site. The end user of this mapping product shall be responsible for the identification, location, and protection of these features, together with procuring any and all necessary permits and approvals that may be required.
- Professional Services Agreement. Reference is hereby made to the Professional Service Agreement for the services identified hereon, together with all specifications, limitations, and conditions contained therein, and dated 07-09-2020.
- Basis for Bearings and Elevations. Where depicted, these values are based upon the Rhode Island State Plane Coordinate System (currently NAD 83 and NAVD88 respectively) as determined by data transmitted from SmartNet reference stations using the SmartNet RTK Reference Network via Leica GS14 GPS receiver, together with site observations made on the date(s) cited hereon.
- Flood Zone Data. Based solely upon graphic analysis, the subject site's structures appear to fall in a ZONE X per FEMA Flood Insurance Rate Map (FIRM), Map Number 4400C01911, Map Effective: 04-03-2020, as obtained from online sources as of 08-03-2020.
- Note regarding use of LiDAR topographic data. Surveying efforts to obtain CLASS III field observations on the subject site were deemed not feasible due to dense vegetative understorey. Topographic data to be verified by the Surveyor of Record during construction when site clearing has been undertaken.



**Location Map - Schematic Representation Only**  
May Not Be To Scale

**LEGEND**

P	Referenced Plan Measurement	Set	Survey Monumentation Placed by Alfred W. DiOrto, RLS, Inc.	M/L	More or Less
C	Calculated Measurement			N/F	Now or Formerly
M	Measured Direct	Exist.	Survey Monumentation Recovered and Utilized by Alfred W. DiOrto, RLS, Inc.	100'	Existing Contour
D	Referenced Deed Measurement			100'	Proposed Contour
AG	Above Grade		Stone Wall		Existing Spot Location
BG	Below Grade		AWD	Alfred W. DiOrto, RLS, Inc.	
IP	Iron Pipe	AP Parcel	Assessor's Plat & Parcel Reference	Pole 55	Existing Utility Pole Location
IR	Iron Rod	LE Vol	Land Evidence Volume		Existing Overhead Utility Lines
DH	Drill Hole	Pg	Page		Proposed Location Erosion Control Measures
	Soil Evaluation/Ground Water Test Pipe				
acs.	Acres				
sf	Square Feet				
911/35	Emergency 911 Numbering				
					Approximate Anticipated Location of Specimen Vegetation Where Reasonable Care Shall Be Taken To Protect Same
					Proposed Boulder Retaining Wall

**SURVEYOR'S DECLARATION**

This plan, and underlying survey product, was prepared for the exclusive use of the person, persons, or entity named in this Declaration. Said Declaration does not extend to any unnamed person, persons, or entity without an express Re-Declaration by the Surveyor of Record naming said person, persons, or entity.

To Kim Jones, it is hereby declared that this survey has been conducted and this plan has been prepared pursuant to 435-RICR-00-00-1.9 of the Rules and Regulations adopted by the Rhode Island State Board of Registration for Professional Land Surveyors on November 25, 2015, as follows:

The TYPE of survey is a Limited Content Boundary Survey prepared in accordance with the horizontal measurement specification of CLASS I.

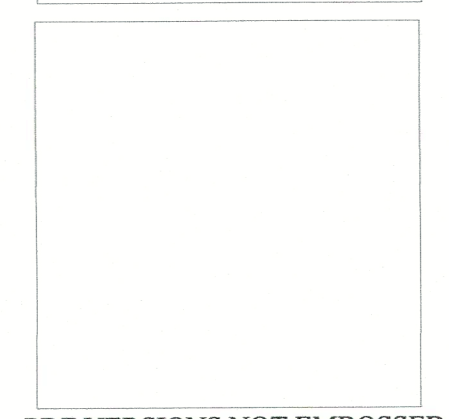
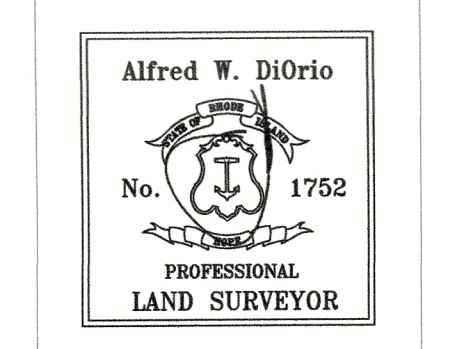
In addition, associated mapping elements are identified as a Data Accumulation Survey with field observations performed in accordance with the horizontal measurement specification of CLASS III.

In addition, any topographic elements depicted hereon have been performed in accordance with the vertical measurement specification of T-4.

Further, the information depicted hereon was obtained (a) from field observations made on the site between December 4 and January 19, 2021, (b) that these field observations were subsequently reduced and computations performed that resulted in the (typically) indirect geometric information depicted hereon, (c) that the client has not requested that any additional monumentation be placed as a result of this survey; (d) that the purpose of the conduct of the survey and for the preparation of the plan was (1) for the reconstruction of the parcel boundaries and (2) to support an application for a Major Subdivision to the Town of South Kingstown, and (e) that this information is correct to the best of my knowledge and belief and is subject to all limitation, notations, and qualification stated hereon.

Alfred W. DiOrto, PLS, JPESC, [RI PLS #1752]  
Principal Surveyor and President, Alfred W. DiOrto, RLS, Inc.  
RI Certificate of Authorization No. A37

If the Surveyor of Record's seal is not embossed and the Surveyor of Record's signature in blue ink, the plan shall be considered unauthorized and not properly issued by the Surveyor of Record.



PDF VERSIONS NOT EMBOSSED

Alfred W. DiOrto, RLS, Inc.  
PO Box 999, Ashaway, Rhode Island 02804  
401/377-8124  
Cellular 401/742-1850  
www.awdrils.com Email: aldi@awdrils.com

**Plan of Select Existing Conditions**  
Prepared For Lee G. Hemmerle Trust  
Assessor's Plat 74 Parcel 7  
350 Ministerial Road  
South Kingstown, Rhode Island  
Scale: 1"=60'  
April 26, 2022 Sheet 2 of 8

**Alfred W. DiOrto, RLS, Inc.**  
Professional Land Surveyors • Land Use Consultants  
Certified Professional Erosion Control Specialists  
Licensed OWTS Designers • Installers • Inspectors • Soil Evaluators  
Hopkinton, Rhode Island



© COPYRIGHTED MATERIALS -  
Copyright 2022 Alfred W. DiOrto, RLS, Inc.  
Reproduction in Whole or in Part in Any Form Whatsoever.

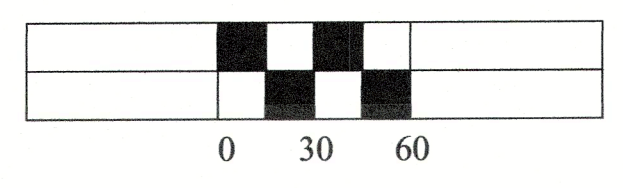
Plan No.  
File: LGH\_080320.dwg

**SUBDIVISION NOTES:**

- Total Parcel Area = 7.8 Acres, per deed geometry.
- There are no RIDEM or CRMC wetland features on the subject site per Town of South Kingstown GIS.
- There are no areas of existing, active agricultural use on the subject site.
- Ground cover is medium understorey with specimen vegetation. There is an existing dwelling on the subject site.
- There are no historic cemeteries on the subject site.
- The subject site is NOT located within Natural Heritage Areas (RIDEM), CRMC Special Area Management Plan, Town of South Kingstown Groundwater Protection Overlay District, a TMDL watershed, RIDEM Drinking Water Supply Watershed, and NOT listed on the National Register of Historic Places.
- The site is located within the RIDEM OWTS Critical Resource Area.
- There are no unique natural features on the site.

**Plan Scale:**

1 inch = 60 feet



This mapping was developed and intended to be viewed at a scale of 1"=60' on a 24"X36" sheet. Reduced versions may not be legible.

R-80 Zone Criteria	
Minimum Lot Size	80,000 sf
Minimum Lot Frontage	200 feet
Max. Percent Lot Coverage	20.0%
Max. Height Princ. Bldg.	35 feet
Max Height Acc. Bldg.	20 feet
Minimum Front Yard	50 feet
Minimum Side Yard	40 feet
Minimum Rear Yard	50 feet
Minimum Side Yard (Acc.)	20 feet
Minimum Rear Yard (Acc.)	20 feet

Revision Schedule	
Revision Date	Revision Description

RIGL 34-13-1 INDEX	
ABUTTING STREETS	
	Ministerial Road

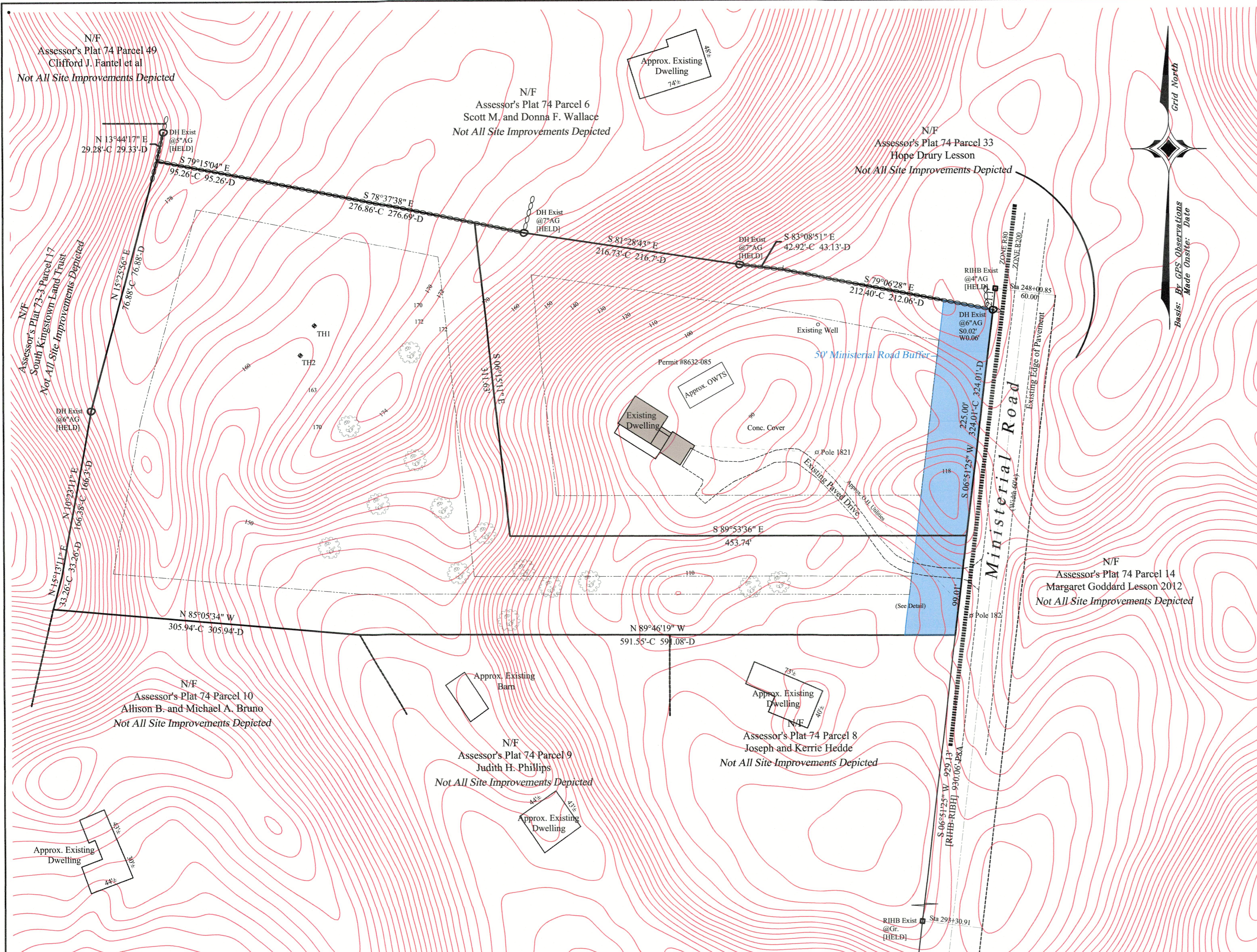
RECEIVED FOR RECORD  
SOUTH KINGSTOWN, RHODE ISLAND 20  
AT O'CLOCK M. AND  
RECORDED IN BOOK NO  
PAGE OF THE LAND EVIDENCE RECORDS

**PROPERTY OWNER(S):**  
Lee H. Hemmerle Trust  
c/o Kim Jones  
1650 Bennington Hollow Ln  
Reston, VA 20194

**APPLICANT(S):**  
Lee H. Hemmerle Trust  
c/o Kim Jones  
1650 Bennington Hollow Ln  
Reston, VA 20194

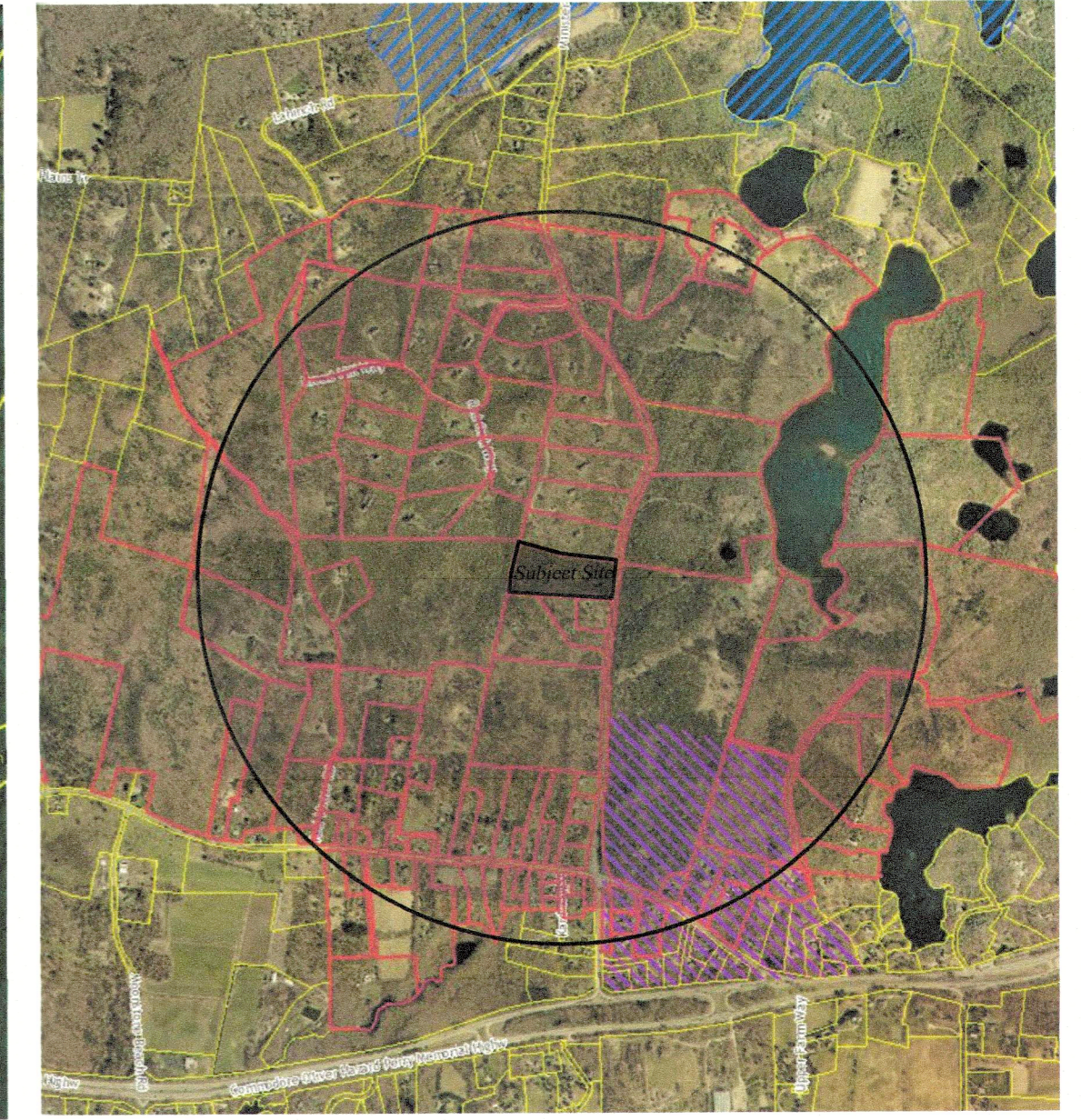
South Kingstown Planning Board  
Approved  
Planning Board Chair: \_\_\_\_\_  
Date: \_\_\_\_\_

Susan Flynn  
WITNESS TOWN CLERK



Soils Map

May Not Be To Scale

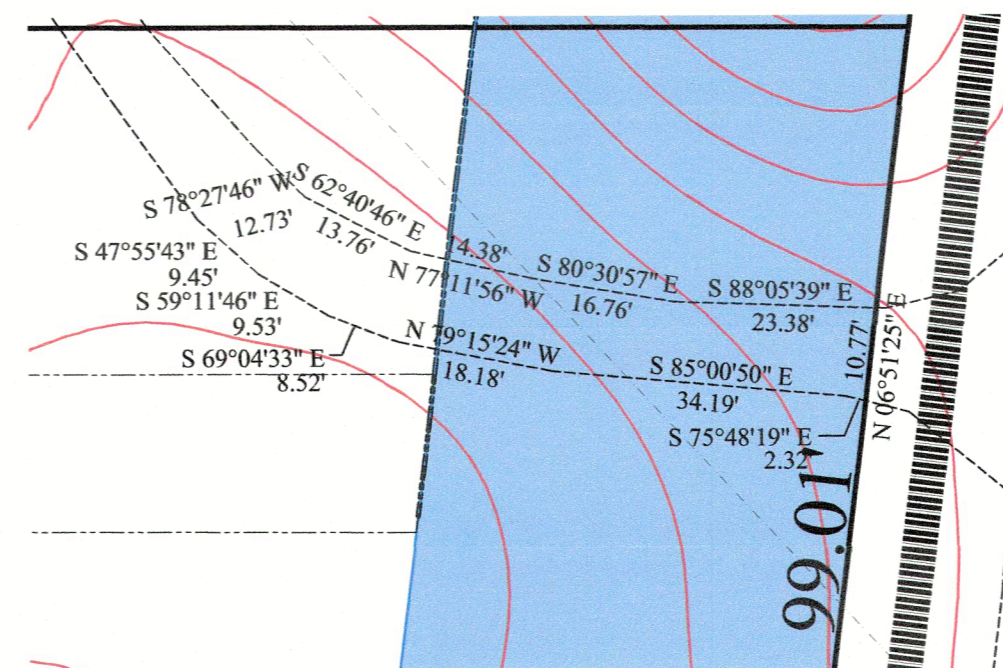


Features Within 1/2 Mile of Site

May Not Be To Scale

PROPOSED SUBDIVISION NOTES:

- New lot (2) to be serviced by Onsite Wastewater Treatment System (OWTS).
- New lot (2) to be serviced by private well and utilities available in this area (gas/electric/communications).
- New lot (2) to be serviced by stormwater management systems consistent with observed soil/groundwater conditions.
- Section 505.6 Ministerial Road Scenic Highway:
  - Where that portion of the lot adjacent to Ministerial Road Scenic Highway is already wooded or contains significant stands of natural vegetation or specimen plant materials, including but not limited to mountain laurel and rhododendron, a minimum 50-foot wide wooded buffer shall be maintained.
  - Where a new principal or accessory structure is proposed, existing vegetation along the street is minimal or absent and such new construction will be visible from the highway due to lack of vegetation, topography or other site characteristics, planting of a natural vegetative landscaped buffer, containing plant that are consistent with the existing Ministerial Road native plant species and that will provide a year-round screen, shall be required.
  - Development Plan review shall be required where alteration of the 50-foot buffer required by this section is proposed in order to construct, alter or relocate a driveway from the highway across the wooded buffer. In such cases, a single driveway not to exceed 20 feet in width for residential uses, may be constructed from the highway across the wooded buffer.
- There are boundary stone walls along the northerly and easterly portions of the parcel.
- The entire site is wooded, with the exception of the improved portion, and may include significant specimen trees.



Access Easement Detail

May Not Be To Scale

If the Surveyor of Record's seal is not embossed and the Surveyor of Record's signature in blue ink, the plan shall be considered unauthorized and not properly issued by the Surveyor of Record.

PROPERTY OWNER(S):  
Lee H. Hemmerle Trust  
c/o Kim Jones  
1650 Bennington Hollow Ln  
Reston, VA 20194

APPLICANT(S):  
Lee H. Hemmerle Trust  
c/o Kim Jones  
1650 Bennington Hollow Ln  
Reston, VA 20194

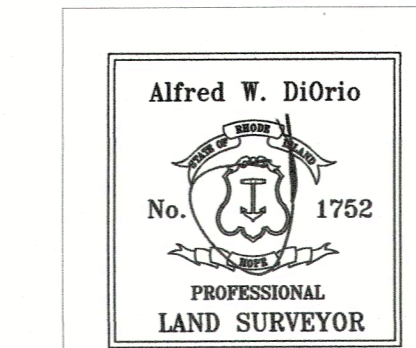
South Kingstown Planning Board
Approved
Planning Board Chair: _____
Date: _____

Plan of Final Lot Geometry  
Prepared For Lee G. Hemmerle Trust  
Assessor's Plat 74 Parcel 7

350 Ministerial Road  
South Kingstown, Rhode Island  
Scale: 1"=60'

April 26, 2022 Sheet 3 of 8

Alfred W. DiOrto, RLS, Inc.  
Professional Land Surveyors • Land Use Consultants  
Certified Professional Erosion Control Specialists  
Licensed OWTS Designers • Installers • Inspectors • Soil Evaluators  
Hopkinton, Rhode Island



PDF VERSIONS NOT EMBOSSED

A valid reproduction of this plan contains BOTH an inked stamp impression and a live embossed seal impression of RI Professional Land Surveyor #1752

Copyrighted Materials -  
Copyright 2022 Alfred W. DiOrto, RLS, Inc.  
Question Not Permitted. Material May Not Be  
Reproduced in Whole Or in Part in Any Form whatsoever.



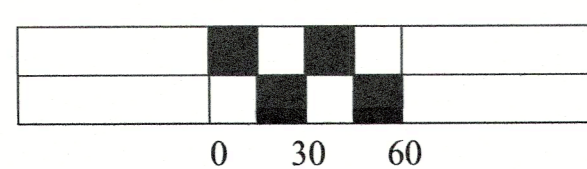
Plan No.  
File: LGH\_080320.dwg

SUBDIVISION NOTES:

- Total Parcel Area = 7.8 Acres, per deed geometry.
- There are no RIDEM or CRMC wetland features on the subject site per Town of South Kingstown GIS.
- There are no areas of existing, active agricultural use on the subject site.
- Ground cover is medium understory with specimen vegetation. There is an existing dwelling on the subject site.
- There are no historic cemeteries on the subject site.
- The subject site is NOT located within Natural Heritage Areas (RIDEM), CRMC Special Area Management Plan, Town of South Kingstown Groundwater Protection Overlay District, a TMDL watershed, RIDEM Drinking Water Supply Watershed, and NOT listed on the National Register of Historic Places.
- The site is located within the RIDEM OWTS Critical Resource Area.
- There are no unique natural features on the site.

Plan Scale:

1 inch = 60 feet



This mapping was developed and intended to be viewed at a scale of 1"=60' on a 24"x36" sheet. Reduced versions may not be legible.

R-80 Zone Criteria	
Minimum Lot Size	80,000 sf
Minimum Lot Frontage	200 feet
Max. Percent Lot Coverage	20.0%
Max. Height Princ. Bldg.	35 feet
Max Height Acc. Bldg.	20 feet
Minimum Front Yard	50 feet
Minimum Side Yard	40 feet
Minimum Rear Yard	50 feet
Minimum Side Yard (Acc.)	20 feet
Minimum Rear Yard (Acc.)	20 feet

Revision Schedule	
Revision Date	Revision Description

RIGL 34-13-1 INDEX	
ABUTTING STREETS	
	Ministerial Road

RECEIVED FOR RECORD  
SOUTH KINGSTOWN, RHODE ISLAND      20  
AT      O'CLOCK      M, AND  
RECORDED IN BOOK NO. \_\_\_\_\_  
PAGE \_\_\_\_\_ OF THE LAND EVIDENCE RECORDS

Susan Flynn  
WITNESS TOWN CLERK

SURVEYOR'S DECLARATION

This plan, and underlying survey product, was prepared for the exclusive use of the person, persons, or entity named in this Declaration. Said Declaration does not extend to any unnamed person, persons, or entity without an express Re-Declaration by the Surveyor of Record naming said person, persons, or entity.

To Kim Jones, it is hereby declared that this survey has been conducted and this plan has been prepared pursuant to 435-RICR-00-00-1.9 of the Rules and Regulations adopted by the Rhode Island State Board of Registration for Professional Land Surveyors on November 25, 2015, as follows:

The TYPE of survey is a Limited Content Boundary Survey prepared in accordance with the horizontal measurement specification of CLASS I. In addition, associated mapping elements are identified as a Data Accumulation Survey with field observations performed in accordance with the horizontal measurement specification of CLASS III.

In addition, any topographic elements depicted hereon have been performed in accordance with the vertical measurement specification of T-4.

Further, the information depicted hereon was obtained (a) from field observations made on the site between December 4 and January 19, 2021, 2020, (b) that these field observations were subsequently reduced and computations performed that resulted in the (typically) indirect geometric information depicted hereon, (c) that the client has not requested that any additional monumentation be placed as a result of this survey; (d) that the purpose of the conduct of the survey and for the preparation of the plan was (1) for the reconstruction of the parcel boundaries and (2) to support an application for a Major Subdivision to the Town of South Kingstown, and (e) that this information is correct to the best of my knowledge and belief and is subject to all limitation, notations, and qualification stated hereon.

Alfred W. DiOrto, PLS, CPESC, [RI PLS #1752]  
Principal Surveyor and President, Alfred W. DiOrto, RLS, Inc.  
RI Certificate of Authorization No. A37

Alfred W. DiOrto

A valid reproduction of this plan contains BOTH an inked stamp impression and a live embossed seal impression of RI Professional Land Surveyor #1752

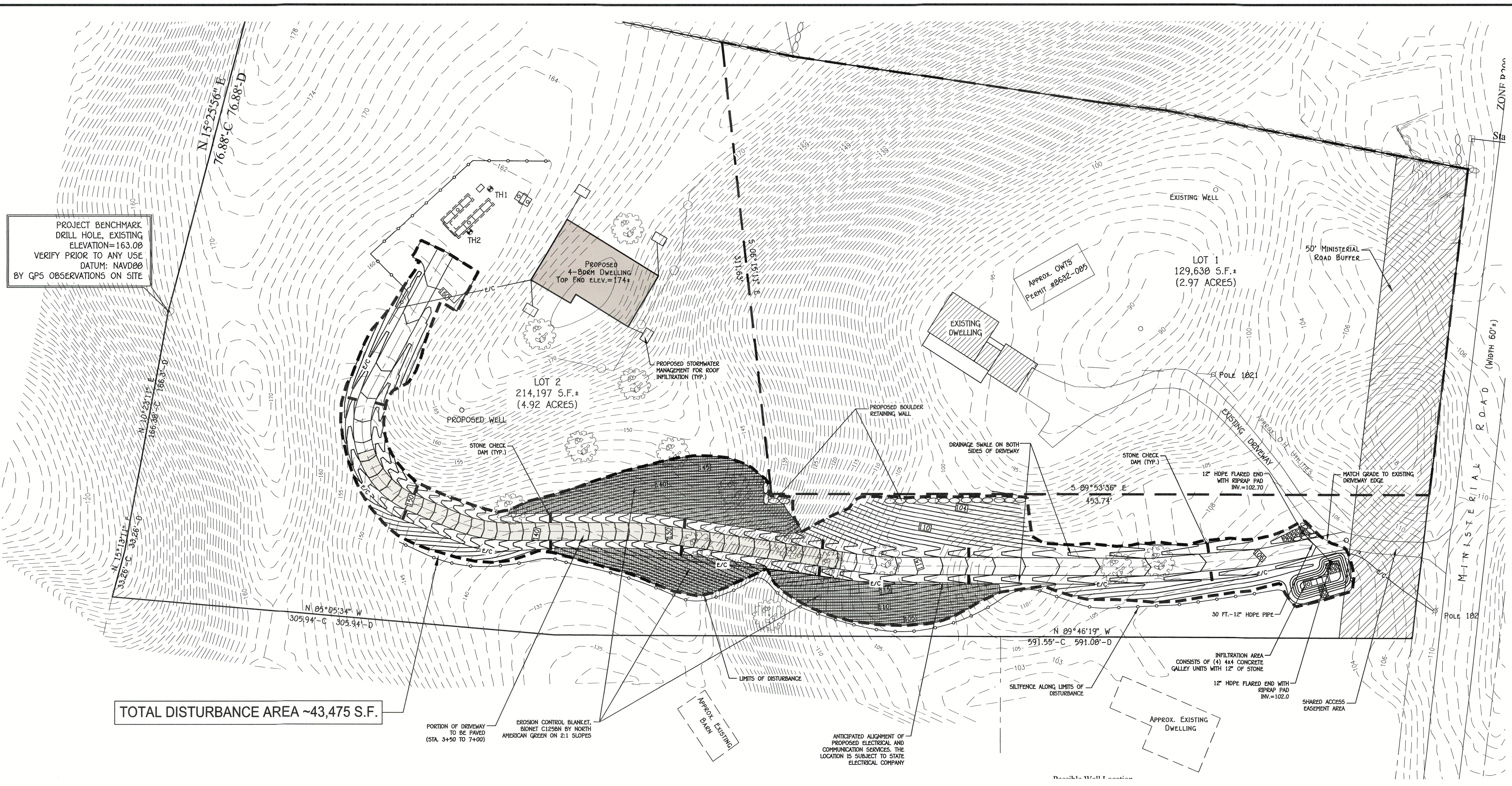
Alfred W. DiOrto, RLS, Inc.  
PO Box 999, Ashaway, Rhode Island 02804  
401/377-8124  
Cellular 401/742-1850  
www.awdris.com Email: al@awdris.com

Copyrighted Materials -  
Copyright 2022 Alfred W. DiOrto, RLS, Inc.  
Question Not Permitted. Material May Not Be  
Reproduced in Whole Or in Part in Any Form whatsoever.



Plan No.  
File: LGH\_080320.dwg

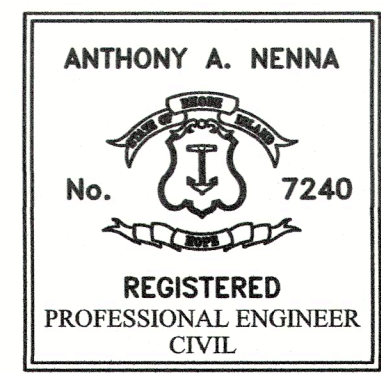
PROJECT BENCHMARK  
 DRILL HOLE, EXISTING  
 ELEVATION=163.08  
 VERIFY PRIOR TO ANY USE  
 DATUM: NAVD88  
 BY GPS OBSERVATIONS ON SITE



TOTAL DISTURBANCE AREA ~43,475 S.F.

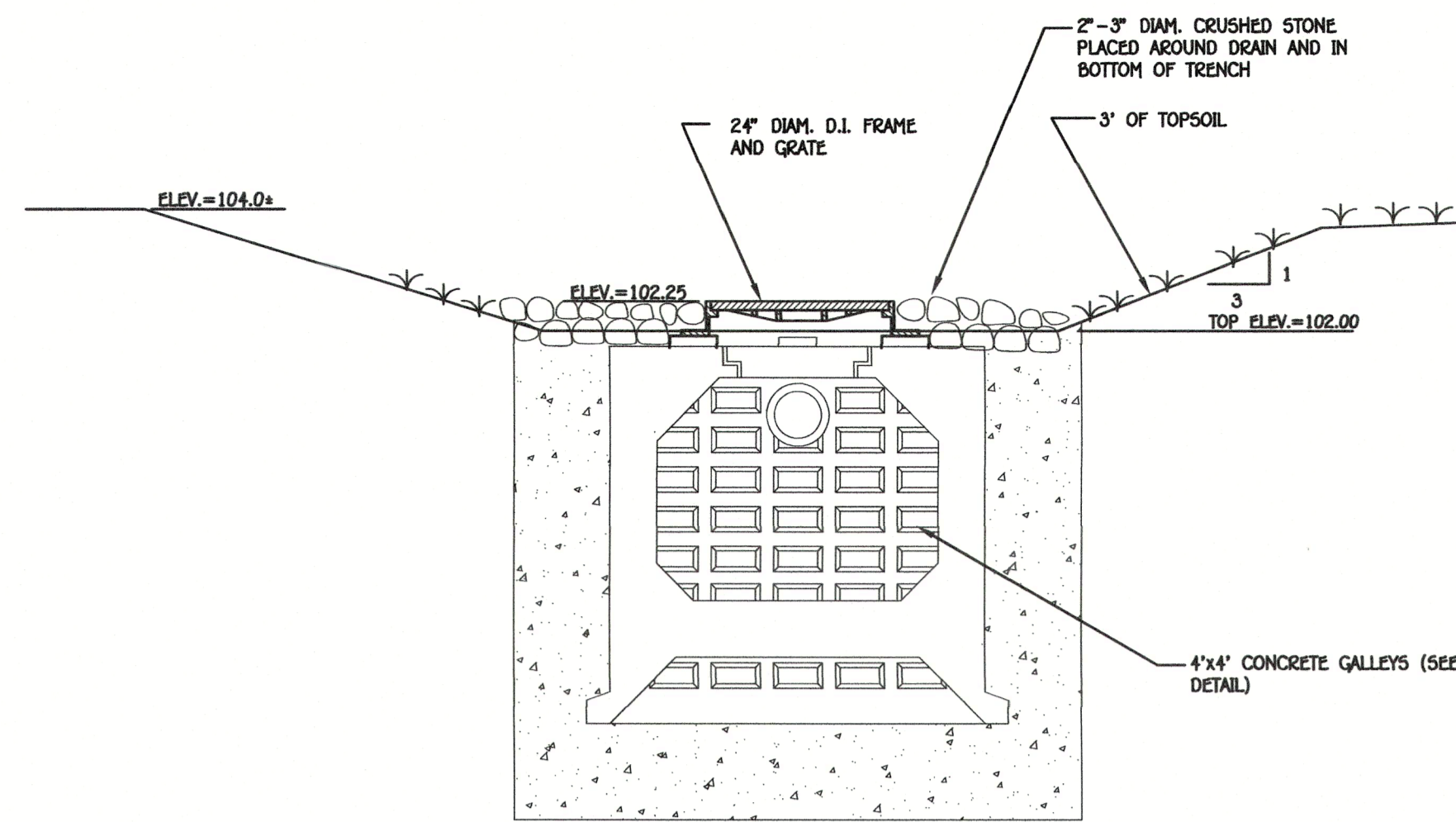
EROSION CONTROL BLANKET,  
 BIONET C1258N BY NORTH  
 AMERICAN GREEN ON 2:1 SLOPES

ANTICIPATED ALIGNMENT OF  
 PROPOSED ELECTRICAL AND  
 COMMUNICATION SERVICES. THE  
 LOCATION IS SUBJECT TO STATE  
 ELECTRICAL COMPANY

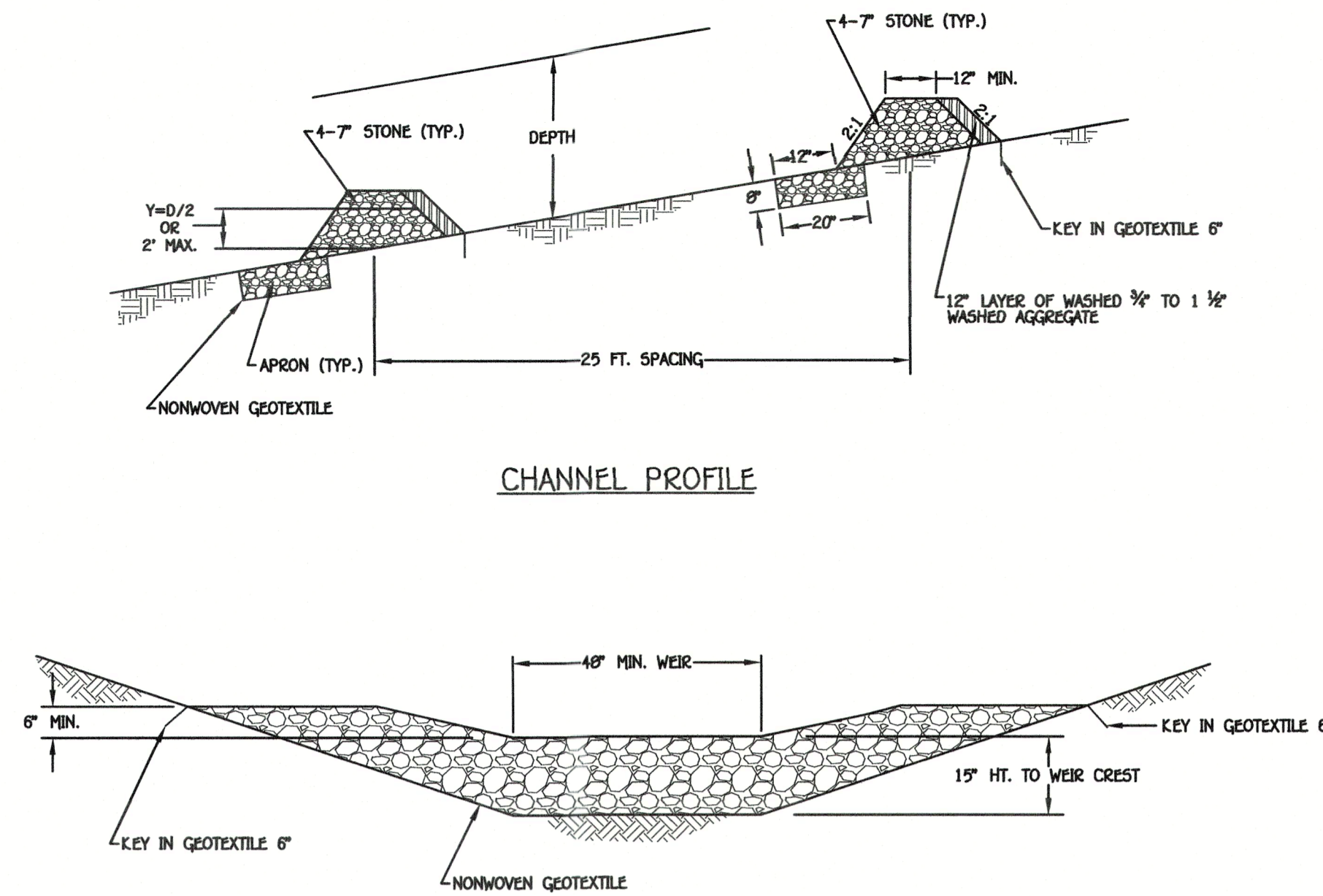


PLAN SHOWING PROPOSED  
 GRADING AND UTILITY PLAN  
 PREPARED FOR  
 LEE G. HEMMERLE, TRUST  
 350 MINISTERIAL ROAD - PLAT 74, LOT 7  
 SOUTH KINGSTOWN, RHODE ISLAND  
 SCALE: 1"=30' APRIL 20, 2022 JOB I.D. NO. 21-032  
 PREPARED BY  
 ON-SITE ENGINEERING, INC.  
 3 CRESTVIEW DRIVE  
 WESTERLY, RHODE ISLAND 02891  
 TELE.: 401-348-6831





SECTION OF INFILTRATION AREA  
AT BEGINNING OF DRIVEWAY  
SCALE: NONE

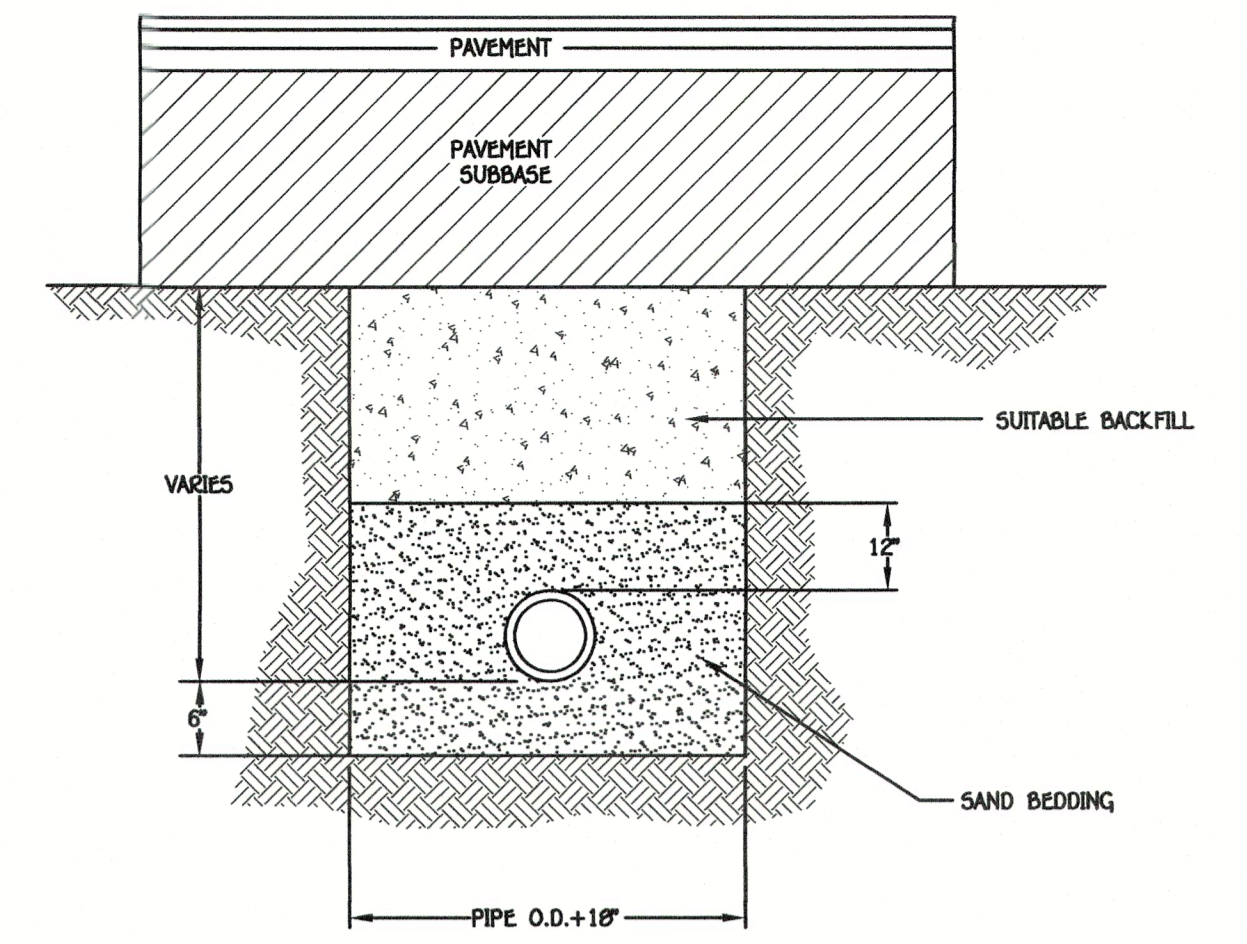


CHANNEL PROFILE

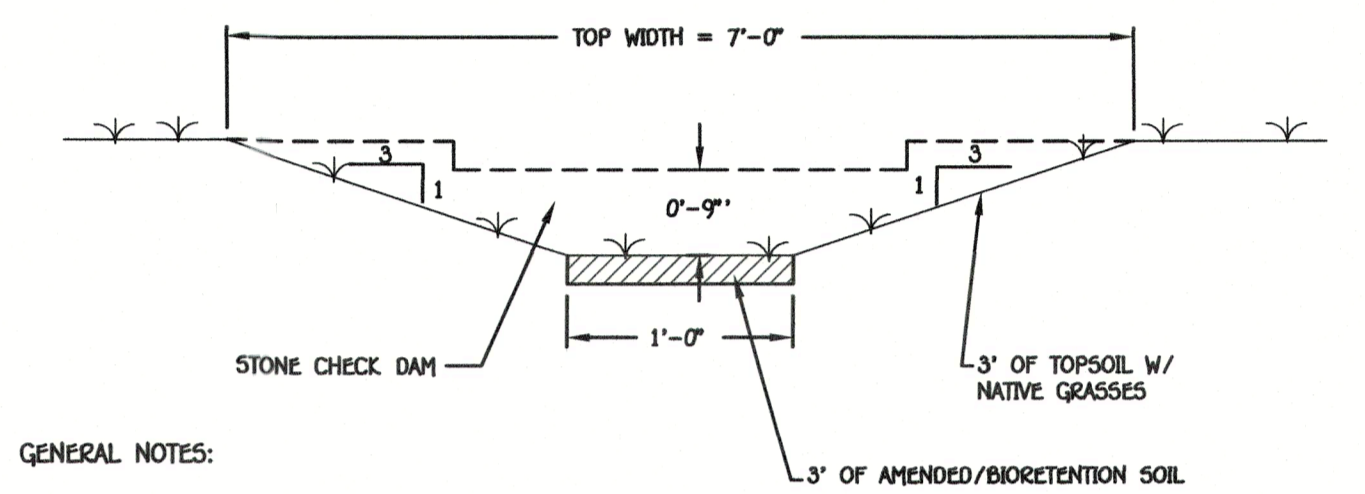
CROSS SECTION

- NOTES:
1. THE CHECK DAM SHALL BE CONSTRUCTED OF 4" TO 7" STONE. THE STONE SHALL BE PLACED SO THAT IT COMPLETELY COVERS THE WIDTH OF THE CHANNEL AND IS KEYPED INTO THE CHANNEL BANKS.
  2. THE TOP OF THE CHECK DAM SHALL BE CONSTRUCTED SO THAT THE CENTER IS APPROXIMATELY 6" LOWER THAN THE OUTER EDGES FORMING A WEIR THAT WATER CAN FLOW ACROSS.
  3. PLACE A NONWOVEN GEOTEXTILE UNDER THE BOTTOM AND SIDES OF THE DAM PRIOR TO PLACEMENT OF STONE.
  4. SET THE HEIGHT FOR THE WEIR CREST EQUAL TO ONE-HALF THE DEPTH OF THE CHANNEL OR DITCH. THE MAXIMUM HEIGHT OF THE CHECK DAM AT THE CENTER SHALL NOT EXCEED 2 FEET.
  5. THE UPSTREAM SIDE OF THE CHECK DAM SHALL BE LINED WITH APPROXIMATELY 12" OF 3/4 TO 1 1/2 AGGREGATE.
  6. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT HAS BUILT UP TO 1/4 OF THE ORIGINAL HEIGHT OF THE WEIR CREST.

STONE CHECK DAM  
SCALE: NONE

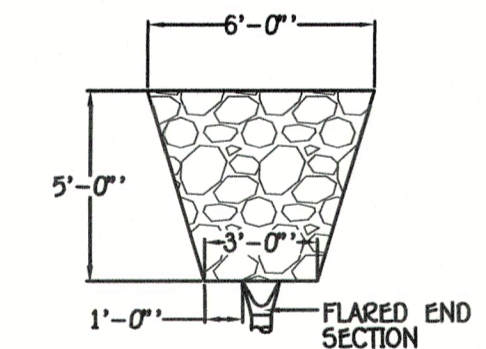


TYPICAL DRAINAGE PIPE TRENCH SECTION  
NOT TO SCALE



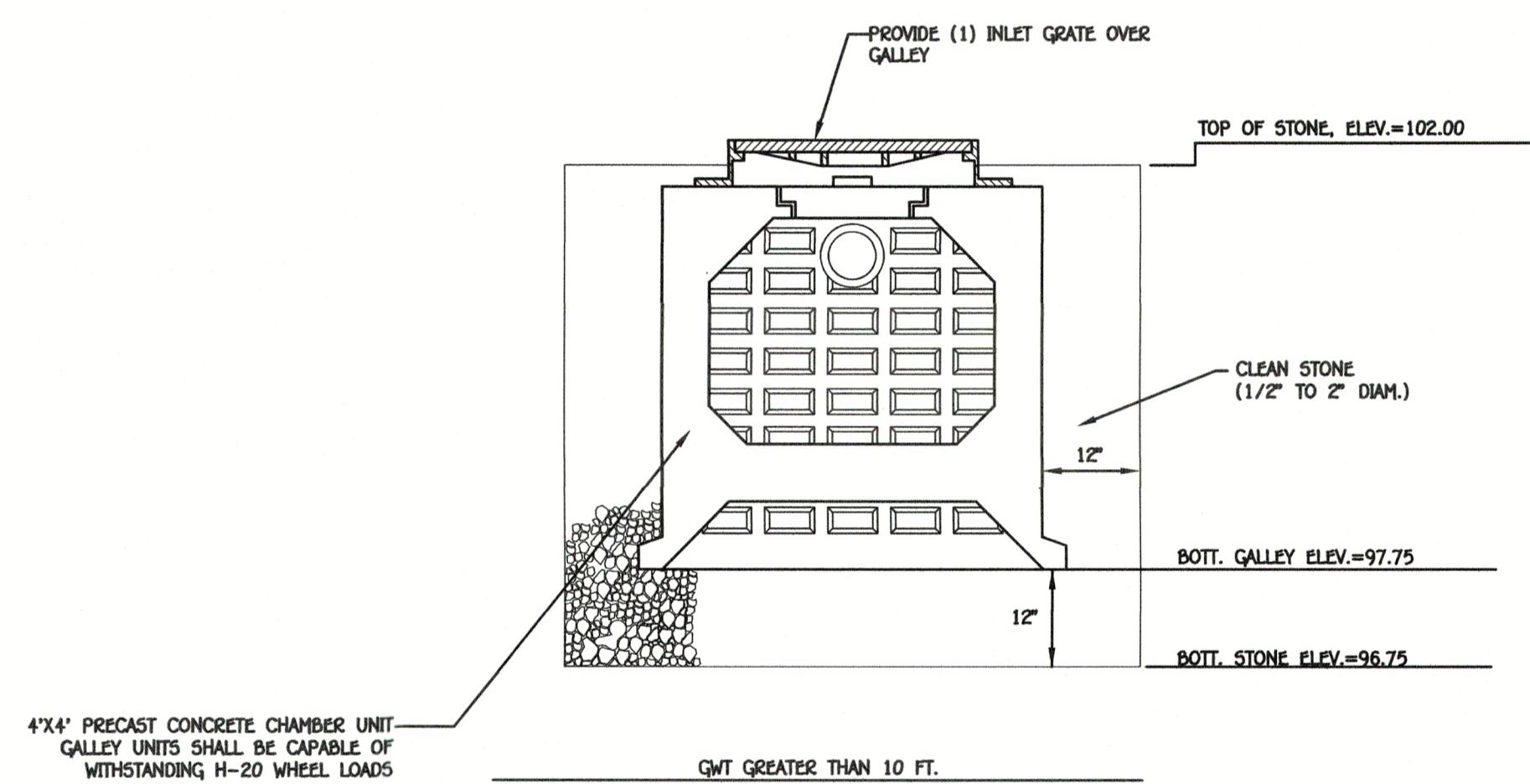
- GENERAL NOTES:
1. AMENDED SOIL SHALL CONSIST OF USDA LOAMY SAND TO SANDY LOAM CLASSIFICATION AND SHALL MEET THE FOLLOWING GRADUATION: 85-90% SAND, 0-12% SILT, 0-2% CLAY AND WELL AGED (6-12 MONTHS)/WELL AERATED LEAF COMPOST 20% BY VOLUME.
  2. PROTECT BIO-RETENTION AREAS DURING CONSTRUCTION BY UTILIZING ORANGE "CONSTRUCTION FENCING"

GRASS SWALE WITH CHECK DAM  
SCALE: NONE

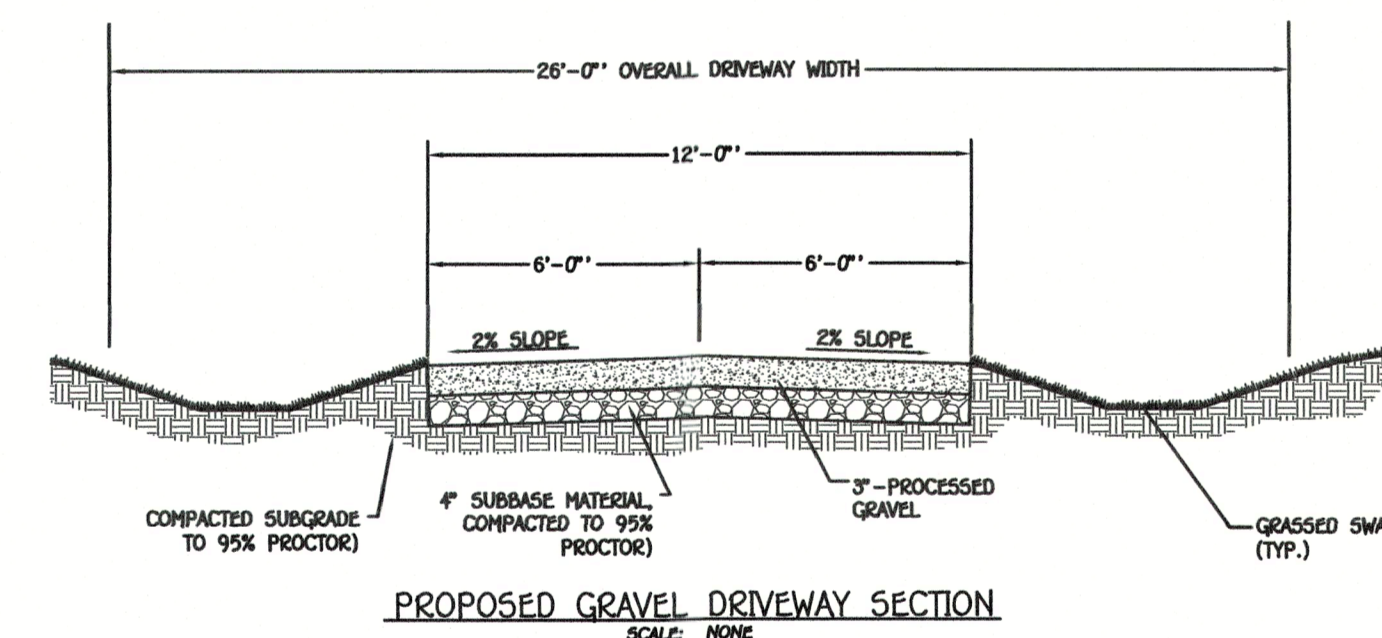


- NOTES
1. R-4 RIPRAP WITH A FILTER FABRIC SHALL BE USED. MATERIAL AND INSTALLATION SHALL MEET RIDOT STANDARDS.
  2. DIMENSIONS MAY BE MODIFIED BY ENGINEER TO MEET FIELD CONDITIONS.
  3. UNLESS OTHERWISE SPECIFIED, DUMPED RIP-RAP SHALL BE USED.

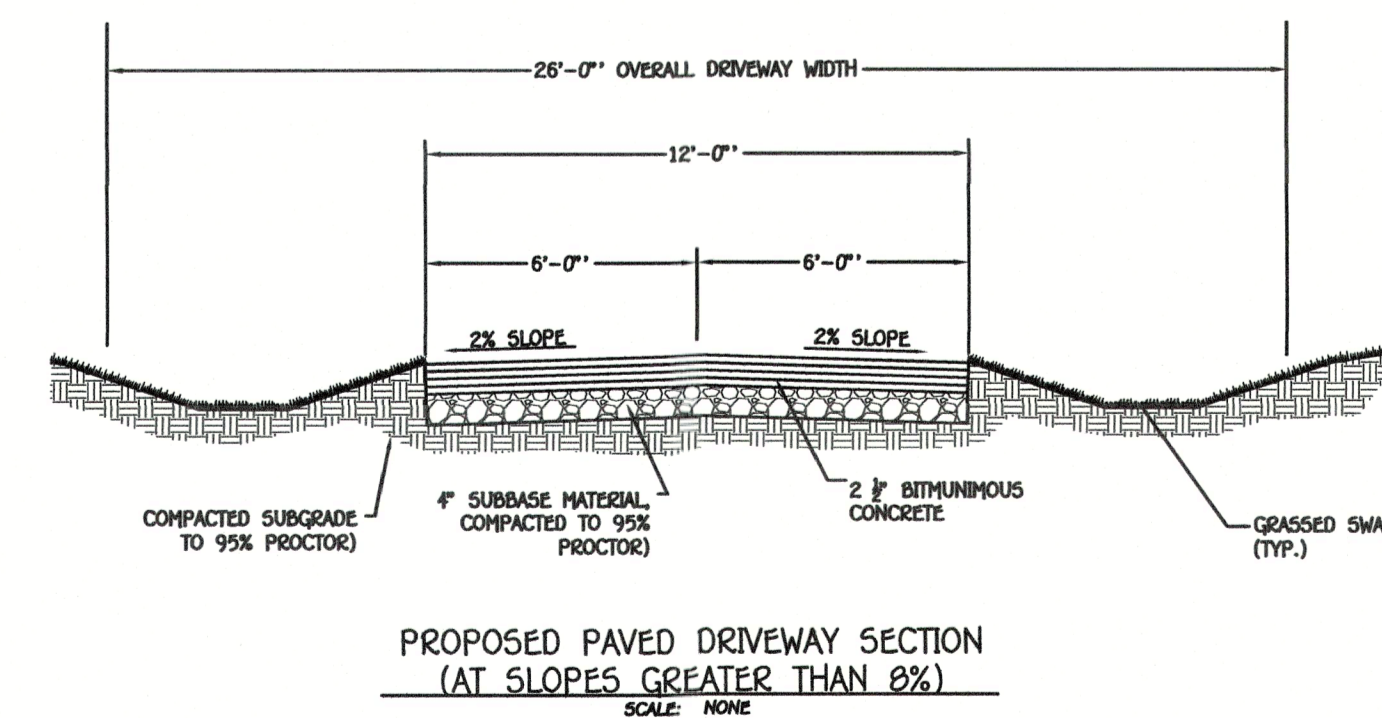
RIP-RAP AT FLARED END SECTIONS  
SCALE: NONE



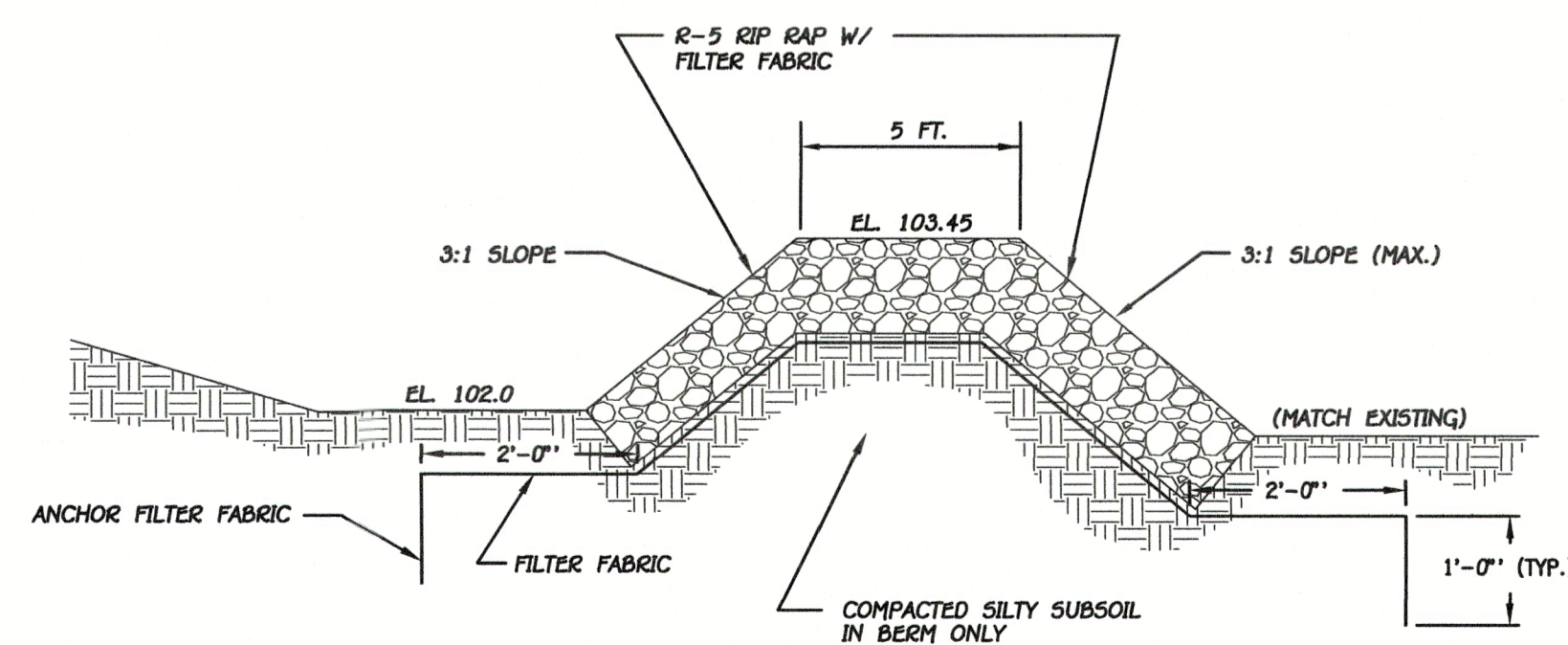
STORMWATER LEACHING CHAMBER SECTION  
TYPICAL GALLEY UNIT  
NOT TO SCALE



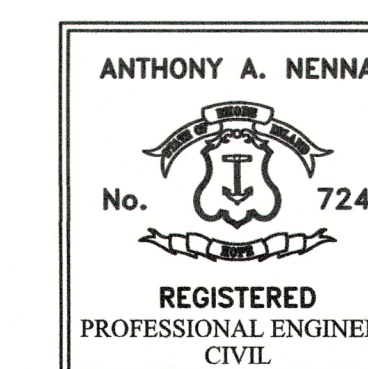
PROPOSED GRAVEL DRIVEWAY SECTION  
SCALE: NONE



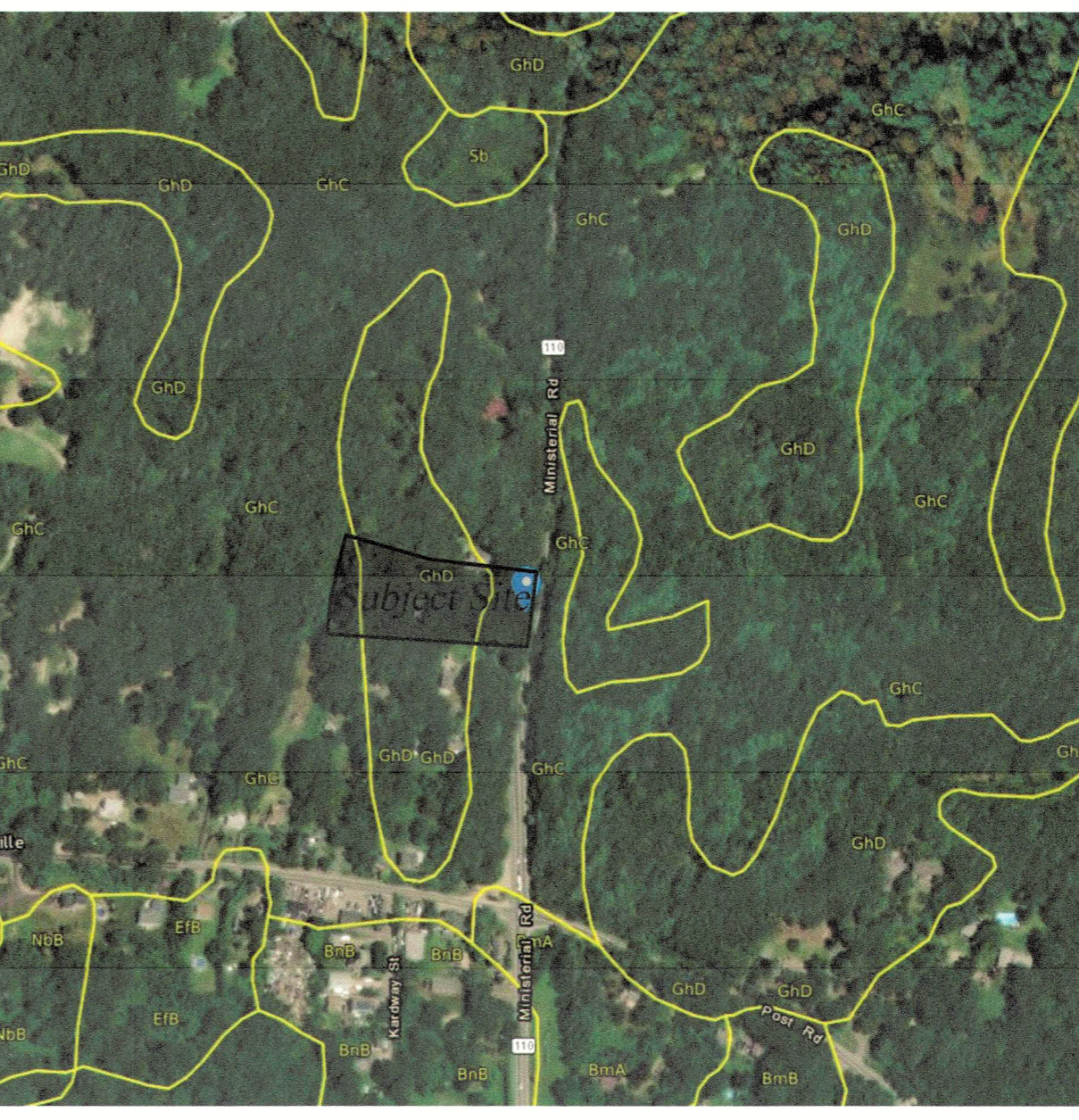
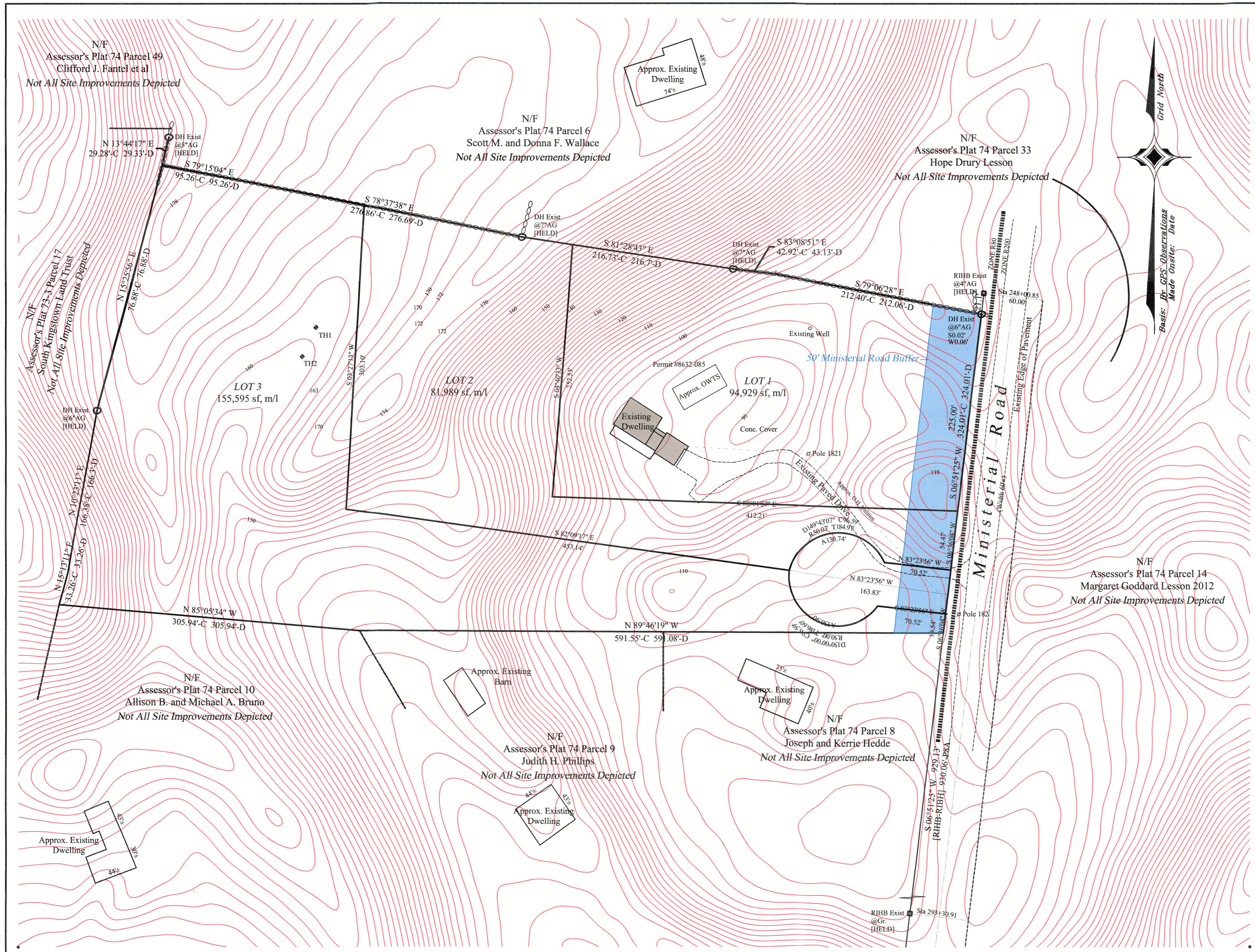
PROPOSED PAVED DRIVEWAY SECTION  
(AT SLOPES GREATER THAN 0%)  
SCALE: NONE



EMERGENCY SPILLWAY DETAIL  
NOT TO SCALE

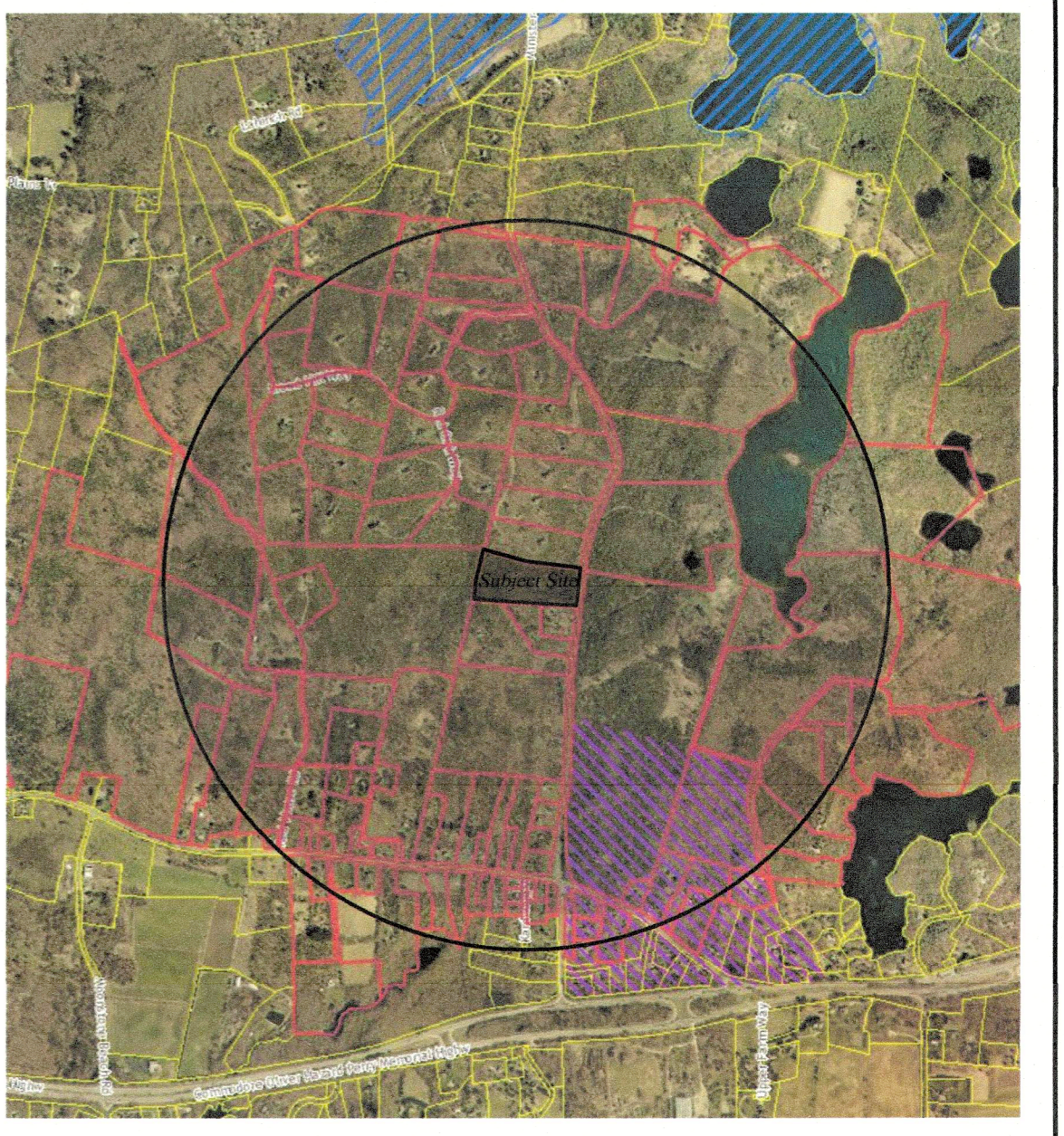


DETAILS  
PREPARED FOR  
LEE G. HEMMERLE, TRUST  
350 MINISTERIAL ROAD - PLAT 74, LOT 7  
SOUTH KINGSTOWN, RHODE ISLAND  
SCALE: AS SHOWN FEBRUARY 25, 2022 JOB I.D. NO. 21-032  
PREPARED BY  
ON-SITE ENGINEERING, INC.  
3 CRESTVIEW DRIVE  
WESTERLY, RHODE ISLAND 02891  
TELE.: 401-348-6831



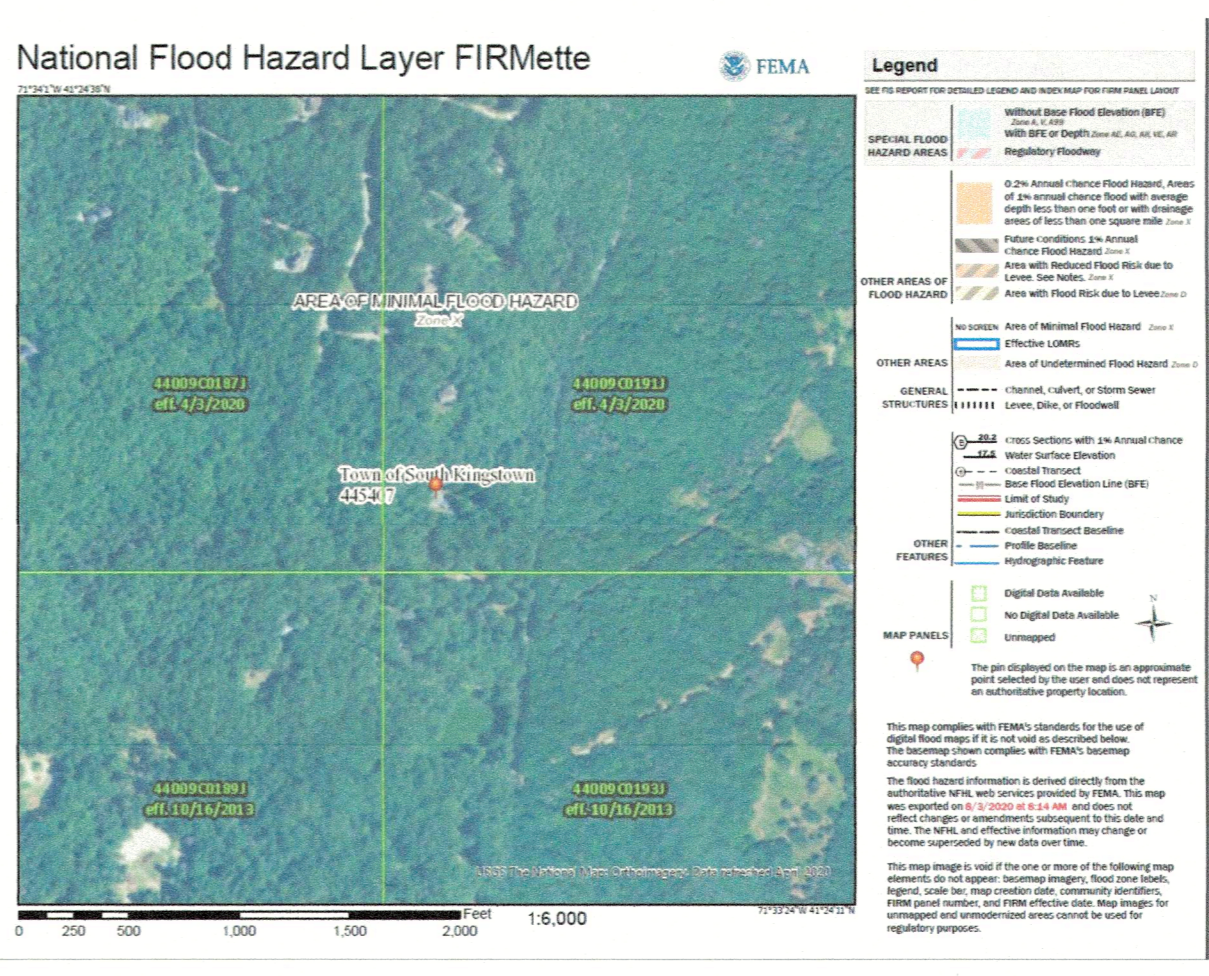
Soils Map

May Not Be To Scale



Features Within 1/2 Mile of Site

May Not Be To Scale



FIRM

May Not Be To Scale

ALL PHYSICAL FEATURES DEPICTED HEREON HAVE BEEN ACCURATELY LOCATED BY FIELD SURVEYS AND ARE SHOWN TO SCALE. PROPERTY LINE LOCATIONS ARE BASED UPON BOTH FIELD DATA AND COMPILATIONS FROM RECORD AND/OR PROVIDED SOURCES. ALTHOUGH DEPICTED TO SCALE, THEY ARE SUBJECT TO SUCH MODIFICATIONS AS AN ACCURATE BOUNDARY SURVEY MAY DISCLOSE.

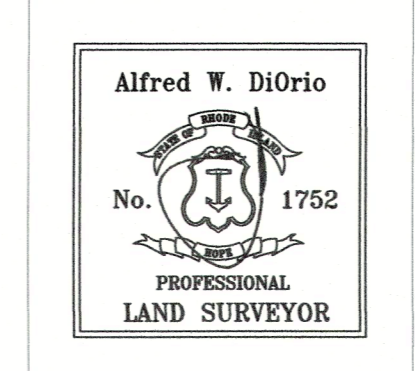
This compilation plan has been prepared from sources of information and data whose positional accuracy and reliability has not been verified. The property lines depicted hereon do not represent a boundary opinion, and other information depicted is subject to such changes as an authoritative field survey may disclose.

Plan of Potential Yield  
Prepared For Lee G. Hemmerle Trust  
Assessor's Plat 74 Parcel 7

350 Ministerial Road  
South Kingstown, Rhode Island  
Scale: 1"=60'  
April 1, 2021 Sheet 7 of 8

Alfred W. DiOrio, RLS, Inc.  
Professional Land Surveyors • Land Use Consultants  
Certified Professional Erosion Control Specialists  
Licensed OWTS Designers • Installers • Inspectors • Soil Evaluators  
Hopkinton, Rhode Island

If the Surveyor of Record's seal is not embossed and the Surveyor of Record's signature in blue ink, the plan shall be considered unauthorized and not properly issued by the Surveyor of Record.



A valid reproduction of this plan contains BOTH an inked stamp impression and a live embossed seal impression of RI Professional Land Surveyor #1752

PDF VERSIONS NOT EMBOSSED

Alfred W. DiOrio, RLS, Inc.  
PO Box 999, Ashaway, Rhode Island 02804  
401.577.4124  
Cellular 401.742.1850  
www.awdris.com Email: al@awdris.com

© COPYRIGHTED MATERIALS -  
Copyright 2022 Alfred W. DiOrio, RLS, Inc.  
Reproduction or Distribution of This Material is Prohibited. Material May Not Be  
Reproduced in Whole Or in Part in Any Form whatsoever.



Plan No.  
File: LGH\_080320.dwg

**SURVEYOR'S DECLARATION**

This plan, and underlying survey product, was prepared for the exclusive use of the person, persons, or entity named in this Declaration. Said Declaration does not extend to any unnamed person, persons, or entity without an express Re-Declaration by the Surveyor of Record naming said person, persons, or entity.

To Kim Jones, it is hereby declared that this survey has been conducted and this plan has been prepared pursuant to 435-RICR-00-00-1.9 of the Rules and Regulations adopted by the Rhode Island State Board of Registration for Professional Land Surveyors on November 25, 2015, as follows:

The TYPE of survey is Compilation Plan prepared in accordance with the horizontal measurement specification of CLASS IV.

In addition, any topographic elements depicted hereon have been performed in accordance with the vertical measurement specification of T-4.

Further, the information depicted hereon was obtained (a) from existing sources of information which have not been verified by the Surveyor of Record; (b) that the purpose of the conduct of the survey and for the preparation of the plan was solely to support a Pre-Application submission for the project to the Town of South Kingstown, Rhode Island, and (c) that this information is correct to the best of my knowledge and belief and is subject to all limitation, notations, and qualification stated hereon.

Alfred W. DiOrio, PLS, CPESC, [RI PLS #1752]  
Principal Surveyor and President, Alfred W. DiOrio, RLS, Inc.  
RI Certificate of Authorization No. A37

Revision Schedule	
Revision Date	Revision Description

RIGL 34-13-1 INDEX	
ABUTTING STREETS	
	Ministerial Road

PROPERTY OWNER(S):  
Lee H. Hemmerle Trust  
c/o Kim Jones  
1650 Bennington Hollow Ln  
Reston, VA 20194

APPLICANT(S):  
Lee H. Hemmerle Trust  
c/o Kim Jones  
1650 Bennington Hollow Ln  
Reston, VA 20194

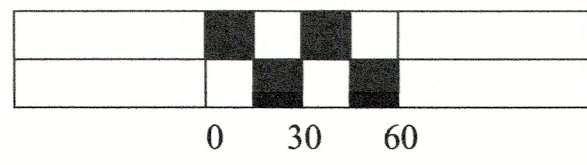
South Kingstown Planning Board  
Approved  
Planning Board Chair: \_\_\_\_\_  
Date: \_\_\_\_\_

RECEIVED FOR RECORD  
SOUTH KINGSTOWN, RHODE ISLAND 20  
AT O'CLOCK M. AND  
RECORDED IN BOOK NO  
PAGE OF THE LAND EVIDENCE RECORDS

Susan Flynn  
WITNESS TOWN CLERK

**Plan Scale:**

1 inch = 60 feet



This mapping was developed and intended to be viewed at a scale of 1"=60' on a 24"x36" sheet. Reduced versions may not be legible.

R-80 Zone Criteria	
Minimum Lot Size	80,000 sf
Minimum Lot Frontage	200 feet
Max. Percent Lot Coverage	20.0%
Max. Height Princ. Bldg.	35 feet
Max Height Acc. Bldg.	20 feet
Minimum Front Yard	50 feet
Minimum Side Yard	40 feet
Minimum Rear Yard	50 feet
Minimum Side Yard (Acc.)	20 feet
Minimum Rear Yard (Acc.)	20 feet

GENERAL CONSTRUCTION NOTES

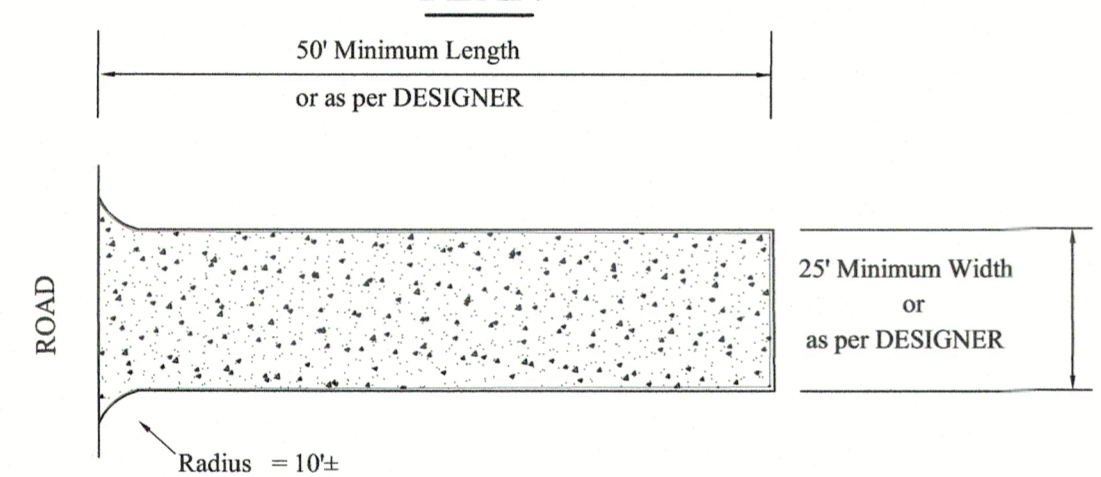
- It shall be the CONTRACTOR'S sole responsibility to obtain and review any and all permits required by the State and the Municipality prior to the commencement of any phase of work.
- It shall be the CONTRACTOR'S sole responsibility to determine the location of and maintain the integrity of all existing utilities, structures and/or abutting properties.
- The CONTRACTOR shall coordinate all work with the municipal engineering departments and/or highway departments and shall coordinate all utility installations and inspections with the appropriate municipalities and/or utility companies.
- The CONTRACTOR shall be solely responsible for any and all quantity estimates required by these plans.
- All disturbed areas not explicitly identified for parking or other purposes are to receive four (4) inches of topsoil and seeding as identified herein.
- The CONTRACTOR shall be responsible for all construction indicated herein. This shall include any construction to bring utilities to the site, any repairs and trenching required, and all construction to ensure acceptance of roads and easements.
- The CONTRACTOR shall be responsible for establishing and maintaining all temporary and/or permanent erosion and sedimentation control measures and devices represented herein and as may be directed by the DESIGNER.
- The location of existing utilities as shown herein may be approximate and these locations shall be verified by the CONTRACTOR prior to the initiation of any phase of the construction. CONTRACTOR shall advise the DESIGNER upon discovery of any and all discrepancies.
- CONTRACTOR to secure the outlets of all pipes to prevent entry into drainage structures. Method to be approved by municipality and DESIGNER.

10. Catch basin openings to be protected in accordance with local codes and/or ordinances.

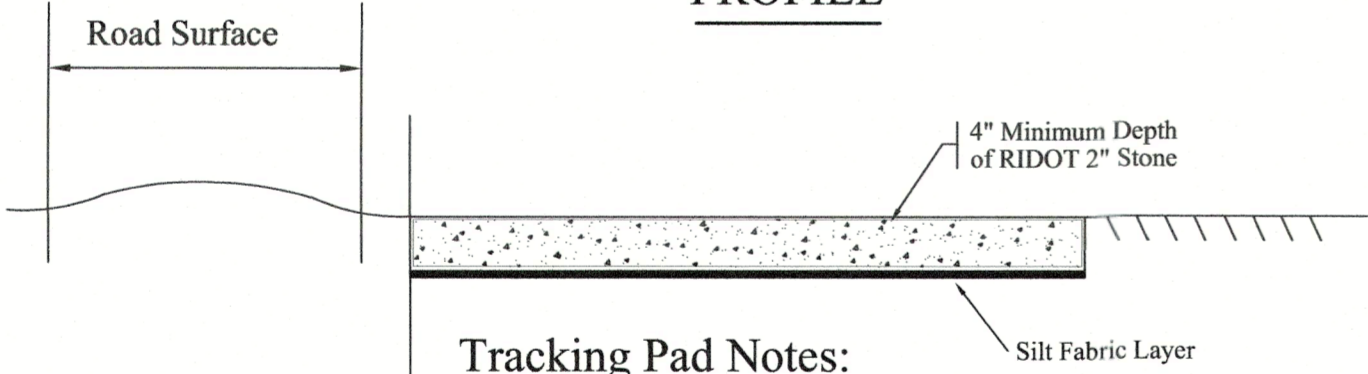
Tracking Pad For Construction Entrance Detail

Not To Scale

PLAN



PROFILE

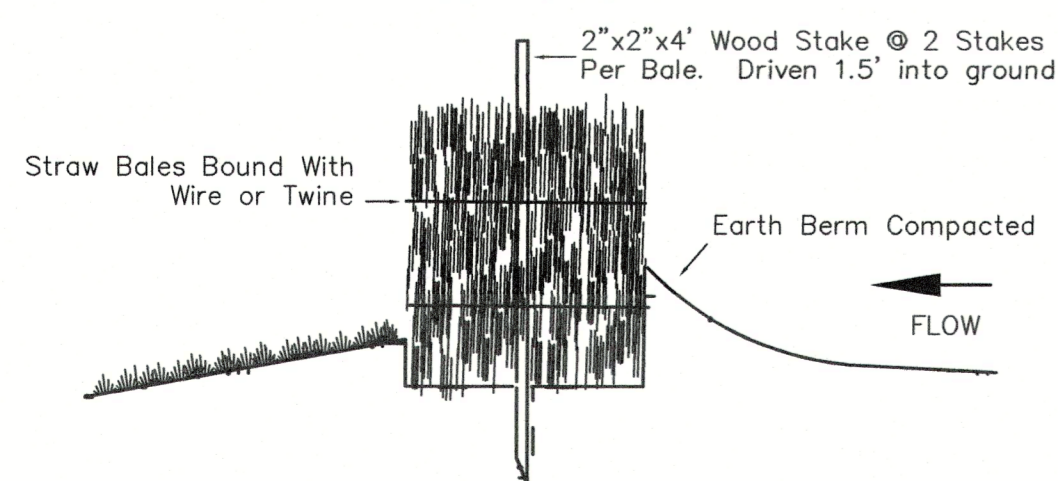


Tracking Pad Notes:

- Permits where applicable, to be obtained by CONTRACTOR working on or near any public or private ROW.
- Tracking pad to be installed immediately subsequent to clearing of vegetation.
- Inspect and maintain tracking pad installation regularly.
- Where project roadway/driveway slopes DOWN to public or private roadway, CONTRACTOR to ensure surface runoff remains on the subject site.

Straw Bale Detail

Not To Scale

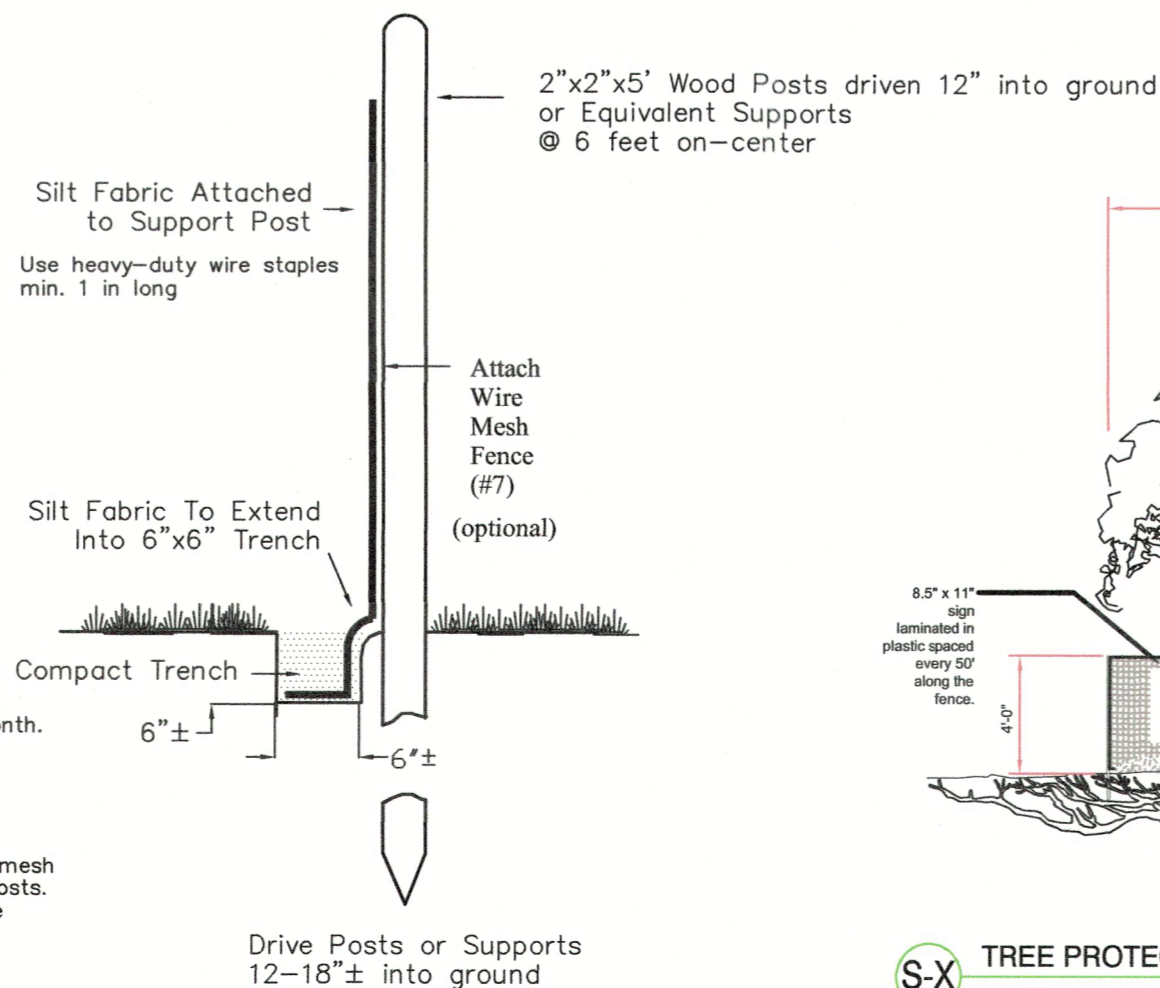


- Wedge loose straw between bales. Backfill and compact the excavated soil.
- Inspect and maintain all straw bale installations regularly. Minimum inspection once per month.

- Silt fabric available from EJ Prescott, Inc. 203-875-9711.
- Recommended Equivalent Opening Size (EOS) for silt fabric is 70 (US Standard Sieve No.) unless indicated otherwise.
- Avoid use of joints in fabric. When joints are necessary, splice fabric at a support post with a minimum six (6) inch overlap and securely fasten both ends to support.
- Where silt fabric is installed with minimum three (3) foot height but no reinforcement at six (6) foot intervals, fabric tensile strength to be minimum 200 pounds (per ASTM D-1682).
- Inspect and maintain all silt fence installations regularly. Minimum inspection once per month.
- Equivalent supports are 1.33lb/ft steel posts with a minimum length of 5 feet. Steel posts must have projections for fastening wire to them.
- Silt fencing to be supported through-out, where by wire mesh fencing attached to the upslope side of the support posts. Mesh to be min 42 inch wide, min. 14 gauge and have maximum mesh opening of 6 inches.
- Wrap silt fence around end stakes a minimum of 1 1/4 turns.

Silt Fence Detail

Not To Scale



Tree Protection

SEDIMENTATION CONTROL PROGRAM

- The CONTRACTOR shall exercise extreme care so as to prevent any unsuitable materials from entering the wetlands, perimeter wetlands, riverbank wetlands, floodplain areas and/or areas subject to storm flowage where some may be represented herein.
  - All disturbed areas subject to erosive action, whether newly filled or excavated, shall receive stabilization protection.
  - Disturbed banks and slopes not receiving rip-rap shall be seeded and protected with fiber mulch or equivalent.
  - During construction, the CONTRACTOR and/or OWNER shall be responsible for maintaining drainage and runoff flow areas during storm events and periods of rainfall.
  - Erosion and sedimentation control measures and devices shall be inspected and maintained promptly after each rainfall.
  - CONTRACTOR shall respect all designated stockpile and/or burial sites as may be delineated herein. In the event that these areas are not identified on site mapping and/or in the event that the identified areas are unsuitable for these purposes, new areas shall be agreed upon prior to use by CONTRACTOR and DESIGNER.
  - All limits of clearing and/or vegetative disturbance as represented herein shall be protected with straw bales and/or silt fences in accordance with specifications herein.
8. Unless directed to the contrary, the CONTRACTOR shall remove sediment loading from detention/retention/temporary settling basins at intervals not to exceed sixty (60) days. Removal to be in accordance with specifications herein.
- Care shall be exercised not to place removed sediment within the path of existing, newly created (temporary or permanent), or proposed watercourses or those areas subject to storm water flow.
  - Additional straw bales or silt fabric shall be located as conditions warrant or as directed by DESIGNER.
  - Reference is hereby made to the "Rhode Island Soil Erosion and Sedimentation Control Handbook" as prepared by the Rhode Island Department of Environmental Management et al, as amended, and is recommended for additional information to the specifications herein.
12. All sediment and/or debris shall be removed from all specified detention/retention/temporary settling basins as may be directed by DESIGNER and/or the municipal engineering and/or highway departments.

ORDER OF PROCEDURE

- Immediately upon completion of the clearing and grubbing operations and prior to any rough grading, temporary straw bales and/or silt fencing shall be placed at the limits of clearing and vegetative disturbance as represented herein.
- All erosion and sedimentation controls shall be periodically maintained as per the respective programs during construction.
- If work progress is to be interrupted at any time, see other stabilization measures herein for temporary control.
- Temporary straw bales and/or silt fencing along any proposed roadway may be removed subsequent to approved stabilization.
- Straw bales and/or silt fencing at all drainage outlets must remain in place until such time as a desirable stand of grass or ground cover has been established and the project receives approval from the designer and/or the municipality.

Regarding Selection of Straw Bales and/or Silt Fence:

- Designer allows either straw bales or silt fencing to be placed in those areas identified as requiring erosion and sedimentation control measures.
- In those specific areas which may be subject to extreme disturbance, the Designer recommends that straw bales be placed nearest to disturbance and that silt fencing be placed behind the straw bales (i.e. further away from disturbance).

EROSION CONTROL AND SOIL STABILIZATION PROGRAM

- Denuded slopes shall not be unattended or exposed for excessive periods of time, such as the inactive winter season.
- All disturbed slopes, whether newly created or exposed prior to October 15 shall be seeded or protected by that date for any work completed during each construction year.
- The topsoil for seeding shall have a sandy loam texture, relatively free of subsoil materials, stones, roots, and/or debris.
- All legume seed, where specified, shall be inoculated in accordance with manufacturer's specifications.
- The design seed mixture shall be as follows:
 

A. Mowed Areas - All flats or slopes less than 3:1			
Mixture	Seeding Rate % by weight	Seeding Dates	
Red Fescue	75	April 01 to June 15	
Kentucky Bluegrass	15	Aug 15 to Oct 15	
Colonial Bentgrass	5		
Perennial Ryegrass	5		
B. Unmowed/Infrequently Mowed Areas - Slopes greater than 3:1			
Red Fescue	75	April 01 to June 15	
Colonial Bentgrass-Exeter	5	Aug 15 to Oct 15	
Perennial Ryegrass	5		
Birdsfoot Trefoil-Empire	15		
Total: 100 pounds per acre			
- Temporary treatments shall consist of straw or fiber mulch or protective covers such as a mat of fiber lining and shall be incorporated into the work as warranted or as directed by DESIGNER.
- Straw applications should be in the amount of 1.5 to 2 tons per acre. These applications should be kept moist. On slopes or where subject to disturbance, straw applications should be secured by "peg and twine" or "brush anchor" methods.
- All straw bales or temporary protection shall remain in place until an acceptable stand of grass or approved ground cover has been established. If needed, temporary seeding may be utilized to minimize erosion. A temporary seeding guide together with recommended species is as follows:

Species	Pounds/1000 sf	Pounds/Acres	Seeding Dates
Annual Ryegrass	1.5	60	03-15 to 06-15
Per. Ryegrass	1.5	60	03-15 to 06-15
Sudangrass	1.0	40	05-15 to 08-15
Millet	1.0	40	05-15 to 08-15
Winter Rye	3.0	120	08-15 to 10-15
Oat	3.0	120	03-15 to 06-15
Weep Lovegrass	0.5	20	05-01 to 06-01

- Apply evenly at 2 tons of ground limestone per acre or according to soil tests.
  - Apply evenly 10-10-10 analysis fertilizer or according to soil tests.
  - Apply mulch immediately after seeding.
- The CONTRACTOR must repair, reseed and/or replant any areas that do not develop within one (1) growing season from the time of installation.
  - The normal acceptable seasonal seeding dates are per these notes.
  - All fill shall be thoroughly compacted upon placement in conformance with local/state codes or ordinances.
  - Stabilization as indicated herein shall be achieved within fifteen (15) days of final grading.
  - Stockpiles of topsoil, subsoil or soils containing silts shall not be located near waterways, where waterways may be represented. Placement of these materials shall be in areas indicated on plans or as directed by OWNER provided these areas are not in conflict with specifications herein. CONTRACTOR shall arrange for these areas to be identified on site by the DESIGNER prior to any site disturbance.

14. Burial of excavated topsoil, stumps and rocks shall be in areas indicated on plans. These proposed burial sites shall be subject to subsurface exploration prior to any site disturbance. All stockpiled materials shall be either transported from the site or buried in accordance with these specifications prior to final road surfacing, where surfacing is applicable.

- Where stockpiles of these materials are to remain for extended periods of time or when said stockpiles are to remain through the inactive winter season, such stockpiles shall have sideslopes no greater than 3:1 and said stockpiles shall be seeded and stabilized. CONTRACTOR shall protect these stockpile areas with a perimeter of straw bales and/or silt fence.

15. Where stockpiles of these materials are to remain for extended periods of time or when said stockpiles are to remain through the inactive winter season, such stockpiles shall have sideslopes no greater than 3:1 and said stockpiles shall be seeded and stabilized. CONTRACTOR shall protect these stockpile areas with a perimeter of straw bales and/or silt fence.

EROSION CONTROL AND SOIL STABILIZATION PROGRAM(continued)

- The detention/retention basins as may be specified on the attached mapping and the drainage system specified on the attached mapping shall receive one (1) final clearing/clearing prior to acceptance of the project by OWNER and the municipality. Sediments and/or debris shall be disposed of in a proper manner as approved by the DESIGNER.
- State law requires that anyone who excavates within the proximity of a public utility must notify utility companies at least 48 hours before digging. The "Call Before You Dig" telephone number is 800-922-4455. The CONTRACTOR shall be required to initiate this notification.
- Contact person(s) for this project is (at the time of submission):
 

Kim Jones  
1650 Bennington Hollow Lane  
Reston, VA 20194

- Indicates that this condition applies to the project.
- Indicates that this condition DOES NOT APPLY to the project.

Existing Physical Environment and Uses:

The existing parcel is generally located on the westerly side of Ministerial Road in town. There is an existing dwelling on the parcel, together with an existing driveway, septic system, and associated landscaping. The parcel has an area of 7.9 acres +/- . There are no regulated freshwater or coastal wetland features on the site or in the immediate vicinity. The parcel is not located within any FEMA Flood Hazard Zone.

The site soils are depicted on the Rhode Island Soil Survey as Gloucester/Hinckley (GhD and GhC) soils. Generally, these are sands, somewhat excessively and excessively drained soils on side slopes, crests of upland hills, terraces, outwash plains, and recessional moraines

I have performed Soil Evaluations on this site (Permit #2032-1944) and have confirmed the generally sandy characteristics of the soils. Additionally, I have confirmed, and RIDEM has accepted, that there is no groundwater to a depth of 120".

The site has significant topographic relief associated with it and care will be required during the construction phase.

Proposed Use:

The "State of Rhode Island Stormwater Management Guidance for Individual Single-Family Residential Lot Development", dated 02-13-2013 indicates that stormwater management must be incorporated on individual single-family residential lots that create 600 square feet or more of NEW impervious roof surface area, and all new driveway and parking areas.

Our stormwater design addresses the combined existing roof area of the proposed dwelling.

The entire roof area equals 3240 sf (proposed dwelling) and will be handled by four (4) infiltration trenches at 48" deep and sized to provide 3300 sf of drainage area.

The driveway, which is proposed to be a gravel surface, will be pitched to the 'inward' side where surface water runoff will be captured and treated by vegetated swales.

Figure 2. Vegetated Swale, Typical Cross-Section

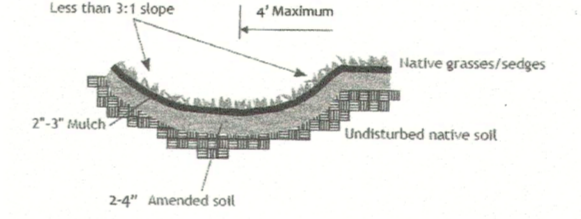


Figure 3. Dry Wall, Typical Cross-Section

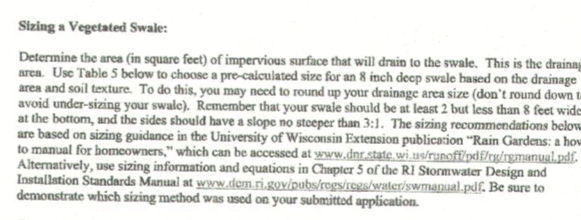


Table 2. Vegetated Swale Dimensions

Drainage Area (sq. ft.)	Bottom Surface Area (sq. ft.)	Top Surface Area (sq. ft.)	Volume (cu. ft.)
100	100	100	100
200	200	200	200
300	300	300	300
400	400	400	400
500	500	500	500
600	600	600	600
700	700	700	700
800	800	800	800
900	900	900	900
1000	1000	1000	1000

Table 3. Infiltration Trench Dimensions

Infiltration Trench (sq. ft.)	Infiltration Trench (sq. ft.)							
	4 in. deep	6 in. deep	8 in. deep	10 in. deep	12 in. deep	14 in. deep	16 in. deep	18 in. deep
100	100	100	100	100	100	100	100	100
200	200	200	200	200	200	200	200	200
300	300	300	300	300	300	300	300	300
400	400	400	400	400	400	400	400	400
500	500	500	500	500	500	500	500	500
600	600	600	600	600	600	600	600	600
700	700	700	700	700	700	700	700	700
800	800	800	800	800	800	800	800	800
900	900	900	900	900	900	900	900	900
1000	1000	1000	1000	1000	1000	1000	1000	1000

Table 4. Infiltration Trench Dimensions

Infiltration Trench (sq. ft.)	Infiltration Trench (sq. ft.)							
	4 in. deep	6 in. deep	8 in. deep	10 in. deep	12 in. deep	14 in. deep	16 in. deep	18 in. deep
100	100	100	100	100	100	100	100	100
200	200	200	200	200	200	200	200	200
300	300	300	300	300	300	300	300	300
400	400	400	400	400	400	400	400	400
500	500	500	500	500	500	500	500	500
600	600	600	600	600	600	600	600	600
700	700	700	700	700	700	700	700	700
800	800	800	800	800	800	800	800	800
900	900	900	900	900	900	900	900	900
1000	1000	1000	1000	1000	1000	1000	1000	1000

EROSION & SEDIMENT CONTROL PLAN

Prepared For Lee G. Hemmerle Trust

Assessor's Plat 74 Parcel 7

350 Ministerial Road

South Kingstown, Rhode Island

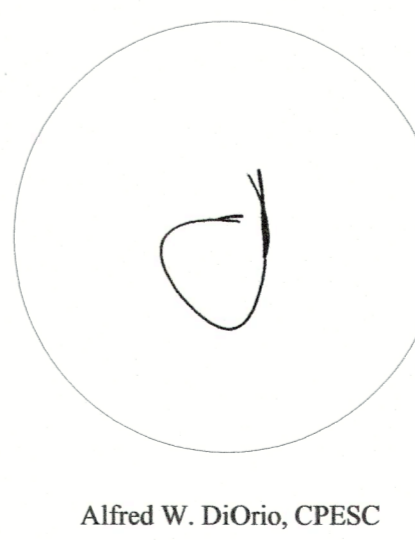
Scale: As Noted

April 26, 2022 Sheet 8 of 8

Revision Schedule	
Revision Date	Revision Description

Alfred W. DiOrto, RLS, Inc.

Professional Land Surveyors • Land Use Consultants  
Certified Professional Erosion Control Specialists  
Licensed OWS Designers • Installers • Inspectors • Soil Evaluators  
Hopkinton, Rhode Island



- COPYRIGHTED MATERIALS -

Copyright 2022 Alfred W. DiOrto, RLS, Inc.  
Quotation Not Permitted. Material May Not Be  
Reproduced or Wholly or in Part in Any Form whatsoever.



Plan No.

File: LGH\_080320.dwg